

LEGAL DESCRIPTION

Skagit Radiology

Parcel A of Boundary Line Adjustment as shown on Survey recorded on March 14, 2018, under Auditor's File No. 201803140056, records of Skagit County, Washington, described as follows:

The North 264 feet of the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 20, Township 34 North, Range 4 East, W.M., lying East of South 13th Street,

EXCEPT that portion conveyed to the City of Mount Vernon under Auditor's File No. 200710230021 being a re-recording of 200706120001, records of Skagit County, Washington,

AND EXCEPT the South 72.00 feet thereof, as measured from the adjacent North line of Binding Site Plan recorded under Auditor's File No. 200808120060,

AND ALSO EXCEPT road rights of way.

Parcel B of Boundary Line Adjustment as shown on Survey recorded on March 14, 2018, under Auditor's File No. 201803140056, records of Skagit County, Washington, described as follows:

The North 234.00 feet of Tract A, "GREENSTREET ADDITION, MOUNT VERNON, WASH.," as per plat recorded in Volume 7 of Plats, page 6, records of Skagit County, Washington,

EXCEPT the South 72.00 feet thereof, as measured from the adjacent North line of Binding Site Plan recorded under Auditor's File No. 200808120060.

Situate in the Mount Vernon, County of Skagit, State of Washington.

SEPA ENVIRONMENTAL CHECKLIST

Purpose of checklist:

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

Instructions for applicants:

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Instructions for Lead Agencies:

Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

Use of checklist for nonproject proposals:

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (part D). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements –that do not contribute meaningfully to the analysis of the proposal.

A. Background

1. Name of proposed project, if applicable:
Skagit Radiology DIC
2. Name of applicant:
Helix Design Group
3. Address and phone number of applicant and contact person:
Matt Ebersole
Helix Design Group
6021 12th Street East, Suite 201
Tacoma, WA 98424
4. Date checklist prepared:
04/12/18
5. Agency requesting checklist:
City of Mount Vernon
6. Proposed timing or schedule (including phasing, if applicable):
Start construction mid-August
7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.
No
8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.
Geo Technical Report
9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.
No
10. List any government approvals or permits that will be needed for your proposal, if known.
SEPA Determination
Building Permits
Mechanical/Electrical/Plumbing Permits
Site Construction Permits – Fill and Grade
Demolition Permit
11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)
Demolish existing building and associated paving and replace with a 16,000 sf Digital Imaging Center with 51 parking stalls proposed associated drive lanes and landscape areas.
12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

1320 East Division Street, Mount Vernon, WA 98273.
Parcels P26702 and P26698

B. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site:

(circle one): **Flat**, rolling, hilly, steep slopes, mountainous, other _____

b. What is the steepest slope on the site (approximate percent slope)?

2 Percent

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

Silt with some sand/silty clay. The soils conversation service indicates that onsite soils are Bow Urban complex having a C/D rating

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

None

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.

The majority of the site will be disturbed in some manner or Approximately 34,974 sf. It is anticipated that approximately 1,683 Cy yard of Cut and 2,800 cy of fill will be required. Material will be sourced from and disposed of at permitted sites and the location of both is currently unknown

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Erosion could occur due to ground disturbing activities. Appropriate best management practices will be used during construction and augement the TESC plan that will be performed and approved by the City of Mount Vernon prior to commencement of construction.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

The proposed site will have approximately 75 percent impervious surfaces

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

An erosions sediment control plan with be done for the site, as a part of the construction plan approval process. After permitting implementation of Best Management Practices utilizes by the site certified erosions and sediment control lead, as necessary, to minimize potential erosion that could occur onsite.

2. Air

- a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.

Typical emissions associated with construction of an office building and site improvements.

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

None known or are anticipated

- c. Proposed measures to reduce or control emissions or other impacts to air, if any:

None

3. Water

- a. Surface Water:

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

None Known

- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

N/A

- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

No wetlands or waters exist on the existing fully developed site

- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No withdrawals are anticipated, existing improvements will require re-grading of the existing site but will discharge to the city system in the existing location.

- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No

- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No

- b. Ground Water:

- 1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

No

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

N/A

c. Water runoff (including stormwater):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

The site will collect and convey roof water from the site and discharge to existing storm storm system on the perimeter of the site. The site parking and drive isle will sheet flow to a proposed bio retention facility in the center of the parking lot. Runoff will be collect in an under drain under the bioretention or by a Cb over flow and conveyed via a pipe to a exist CB on the N.E corner of the site the existing point of discharge for the site. This water will flow to a cb which lies within East Division Street which directs the water Northward through a series of catch basins and pipes and eventual to a pump station with the Cities yard on Shop Lane. This pump station discharges water to the Skagit River.

- 2) Could waste materials enter ground or surface waters? If so, generally describe.
None are anticipated. All pollution generating impervious surface will be treated onsite within the bioretention facility.
- 3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.
No

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any:

Surface will be controlled by collection and conveyance of the onsite system.

4. **Plants**

a. Check the types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
 evergreen tree: fir, cedar, pine, other
 shrubs
 grass

- ____ pasture
- ____ crop or grain
- ____ Orchards, vineyards or other permanent crops.
- ____ wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other
- ____ water plants: water lily, eelgrass, milfoil, other
- ____ other types of vegetation

- b. What kind and amount of vegetation will be removed or altered?
 The site has minimal existing landscaping or 6 percent of the site. The proposed site shall have 24% landscaping.
- c. List threatened and endangered species known to be on or near the site.
 None known
- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:
 None. Approximately 24% of the site will be New landscaping and plantings.
- e. List all noxious weeds and invasive species known to be on or near the site.
 None known.

5. Animals

- a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site.
- Examples include:
- birds: hawk, heron, eagle, songbirds, other:
 - mammals: deer, bear, elk, beaver, other:
 - fish: bass, salmon, trout, herring, shellfish, other _____

None observed.

- b. List any threatened and endangered species known to be on or near the site.
 None known.
- c. Is the site part of a migration route? If so, explain.
 The site is in a part of the Pacific Flyway. However, the site is currently fully developed as well as the surrounding area hence any impact would be minimal, if any
- d. Proposed measures to preserve or enhance wildlife, if any:
 The proposed site will have 6,175 sf of additional landscaping providing more area for wildlife.
- e. List any invasive animal species known to be on or near the site.
 None known.

6. Energy and Natural Resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

Electric heating and cooling.

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

Not anticipated.

- c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

The building will be designed per the current state energy code.

7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

Typical risk of building fire in a fully fire sprinklered building.

- 1) Describe any known or possible contamination at the site from present or past uses.

None known.

- 2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.

None known.

- 3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

The proposed Medical office use may require the use of chemical and the disposal of bio-medical waste. All Department of Health requirements will be met to address all medical waste disposal and chemical storage and use.

- 4) Describe special emergency services that might be required.

Typical fire, police and medical services associated with medical office use.

- 5) Proposed measures to reduce or control environmental health hazards, if any:

None.

- b. Noise

- 1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

Traffic from adjacent streets.

- 2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Short term construction noise during typical work hours. Long term public vehicle noise/traffic associated with a medical digital imaging center.

3) Proposed measures to reduce or control noise impacts, if any:

None

8. Land and Shoreline Use

a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

The current use is medical office and the proposed use is medical office. Nearby uses are also medical office and hospital uses. A school is across East Division Street. No affect is anticipated.

b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use?

No

1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:

No

c. Describe any structures on the site.

Existing wood framed building operating as medical office/clinic.

d. Will any structures be demolished? If so, what?

Yes

e. What is the current zoning classification of the site?

HD Health Care Development District

f. What is the current comprehensive plan designation of the site?

The current comprehensive plan designation is Health Care Development District

g. If applicable, what is the current shoreline master program designation of the site?

N/A

h. Has any part of the site been classified as a critical area by the city or county? If so, specify.

No

i. Approximately how many people would reside or work in the completed project?

15-20 in the first floor clinic, second floor unknown medical office at this time.

j. Approximately how many people would the completed project displace?

None

k. Proposed measures to avoid or reduce displacement impacts, if any:

The new building will replace the existing building with a state of the art facility.

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

The new building replaces the existing with a similar use.

m. Proposed measures to reduce or control impacts to agricultural and forest lands of long-term commercial significance, if any:

None

9. Housing

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

None

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

None

c. Proposed measures to reduce or control housing impacts, if any:

N/A

10. Aesthetics

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

Approximately 37'.

b. What views in the immediate vicinity would be altered or obstructed?

Views from adjacent properties would be altered with the development of the proposed project, however it's not anticipated that any views will be entirely obstructed.

b. Proposed measures to reduce or control aesthetic impacts, if any:

The use of a variety of high quality building materials and the installation of perimeter and interior landscaping will provide architectural interest and visual buffers as needed.

11. Light and Glare

a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Light from vehicular traffic to and from the site would be present during the early morning and evening hours. Light from parking lot lights and glare from windows could occur as well.

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

It is not anticipated that any amount of light or glare produced by the completed project would create a safety hazard or interfere with views.

- c. What existing off-site sources of light or glare may affect your proposal?

Light from traffic on East division, South 13th, South 14th and adjacent uses could be present but would not be anticipated to affect the project.

- d. Proposed measures to reduce or control light and glare impacts, if any:

Parking lot lighting will be shielded. The use of perimeter landscaping will help to contain light or glare from the project.

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?

Mount Vernon High School is across the street with outdoor recreation including tennis courts, baseball diamonds and a track and field/football/soccer stadium.

- b. Would the proposed project displace any existing recreational uses? If so, describe.

No recreational use will be displaced.

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

No specific measures are proposed

13. Historic and cultural preservation

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers? If so, specifically describe.

None are known. The DAHP WISAARD map was investigated.

- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation?

This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

None are known.

- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.

DAHP website was consulted and an EZ-1 Form submitted. The reply from DAHP is attached.

- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

If any resources are discovered, construction will be immediately halted and DAHP, as well as local tribes will be consulted.

14. Transportation

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

Access to the site is from a new driveway proposed on South 14th Street

- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

The nearest transit services are located approximately one block to the east and west along East Division Street.

- c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate?

The completed project will have 51 parking stalls. The existing site has 54 stalls.

- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private). _____

None are anticipated

- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No

- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates?

A Traffic Concurrency Application is under review as a part of this SEPA application, this will determine the PM peak hour trips from the proposed site by the Cities traffic engineer and impacts to transportation from the proposed development. In the interim the PM peak hour trip may be approximated. The IT manual states that Medical Office is 4.36 PM peak hour trips per 1000 sf of gross floor area on a weekday. The proposed building is 16,000 sf therefore is can be calculated as $(4.36 \text{ trips}/1000 \text{ sf} \times 16,000 \text{ sf}) = 69.76 \text{ Trips}$.

- g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.

None are anticipated

- h. Proposed measures to reduce or control transportation impacts, if any:

Payment to traffic impact fees to the City of Mount Vernon, if required, will reduce transportation impacts.

15. Public Services

- a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe.

Yes, the proposed development will result in the increased need for public services including fire and police protection.

- b. Proposed measures to reduce or control direct impacts on public services, if any.

Sprinkler system in the new building.

16. Utilities

- a. Circle utilities currently available at the site:

electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other _____

- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

Water - Skagit PUD

Telephone - Frontier Communications

Electricity – PSE

Sewer – City of Mount Vernon

Storm Drainage – City of Mount Vernon

C. Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Under penalty of perjury I swear that all information provided is true and correct.

Signature: _____

Name of signee _____

Position and Agency/Organization _____

Date Submitted: _____

D. supplemental sheet for nonproject actions

(IT IS NOT NECESSARY to use this sheet for project actions)

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise?

Proposed measures to avoid or reduce such increases are:

2. How would the proposal be likely to affect plants, animals, fish, or marine life?

Proposed measures to protect or conserve plants, animals, fish, or marine life are:

3. How would the proposal be likely to deplete energy or natural resources?

Proposed measures to protect or conserve energy and natural resources are:

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

Proposed measures to protect such resources or to avoid or reduce impacts are:

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

Proposed measures to avoid or reduce shoreline and land use impacts are:

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

Proposed measures to reduce or respond to such demand(s) are:

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.

Skagit DIC Drainage Memo

City of Mount Vernon, WA

May 1, 2018

Prepared By:

Sound Development Group, L.L.C.
P.O. Box 1705
Mount Vernon, WA 98273
Phone: (360) 404-2010
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Email: office@sdg-llc.com

Project No.: 18022

I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WASHINGTON.

DATE: _____

BY: _____



Executive Summary:

This drainage analysis examines stormwater requirements, for the redevelopment of the Skagit Digital Imaging Site, in the Southwest quarter of Section 20, Township 34 North, Range 4 East, City of Mount Vernon, Skagit County, Washington. The site is bounded on the north by East Division Street, by South 14th Street to the east, South 13 Street to the west and an existing medical building to the south.

The 34,974 sf (0.803 acre) site is comprised of 2- Skagit County Parcels, P26698 being 30,830 sf (0.708 ac) in size and P52962 being 4,144 sf (0.095 ac).

The site is currently fully developed with two existing buildings, associated parking and drive lane areas with minimal landscaping. The redevelopment of the site will include the construction of a two story 16,000 square digital imaging center, with associated access road, parking areas, utilities and landscaping, per current City standards.

No downstream conveyance or capacity issues are foreseen due the improvements on-site. Due to a net decrease in impervious surfaces to the site and no known issues of the downstream conveyance system per discussions with City staff.

The site discharges to a City storm water system within East Division Street. The storm water is conveyed north and east from the site, in a manmade City owned system, to a lift station at the City's yard, adjacent to I-5, on Skagit County Parcel 26104. This storm lift station then discharges the stormwater to the Skagit River. The Skagit River is a Basic Treatment Receiving Water, as well as a large water body. See attached Flow Chart for Determining Requirements for Redevelopment.

The site redevelopment area will include approximately 34,974 sf of site disturbance. The area is currently developed with the aforementioned two buildings, 6,269 sf, as well as existing asphalt parking and drive lanes, 26,441 sf, and landscaping 2,264 sf. The re-development will result in approximately 26,376 sf of replaced impervious surface, 17,098 sf asphalt and drive lanes, 1,179 sf of sidewalk, 8,099 sf of building foot print and 8,598 sf of landscaping. The site must comply with minimum requirements 1 through 9, of the Redevelopment Flow Chart, Figure 2.4.2, DOE SWMM Volume I.

The Stormwater Site plan has been prepared to meet the 2014 SWMM "Stormwater Site Plan" requirements.

Existing Conditions:

The site is currently a Skagit DIC Center, with all associated site improvements, including asphalt parking and drive lanes, landscaping and utilities.

Stormwater runoff currently flows to the several catch basins onsite, where it is captured and conveyed to the existing storm system Within Division Street, which conveys water through a manmade, City maintained system, and discharges via a pump station to the Skagit River.

Developed Conditions:

Stormwater from the proposed site will be captured and discharged, as described above, to the existing City storm system.

Approximately 17,098 square feet of pollution generating impervious asphalt surface will be removed and replaced, with an additional 1,179 square feet of hard surface area.

A bioretention cell with underlying gravel trench bed, will be installed in the center of parking area, to capture and treat stormwater runoff from the proposed pollution generating hard surfaces, and a small area of non-pollution generating hard surfaces.

The proposed bioretention cell and its underlying gravel trench bed will be detailed and designed utilizing WWHM2012 at the time of Civil Plan Set submittal.

It is anticipated that the building and roof material will be considered non-pollution generating, and will be tight lined to the existing storm system.

The site's storm water will be discharged from the site via a manmade conveyance and pump system that directly discharges to the Skagit River. Said system further has no known issues and therefore detention/flow control is not anticipated.

Conclusions:

No impacts are foreseen due to this development. The site will have a net decrease in runoff rates contributing to the City's storm system, after development. There is a net decrease in pollution generating impervious hard surfaces by 4,343 square feet. All new PGIS surface from this development will be treated in a bioretention facility within the proposed parking lot, the current site has no water quality provisions. Therefore after development there will be less flow contributed to the downstream, as well as improved water quality. Hence no adverse impacts are anticipated due to this development.



AFFIDAVIT FOR MAILING LABELS

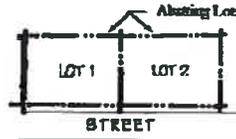
PROJECT NAME: SKAGIT DIC Project File No. _____

P26698, P52962

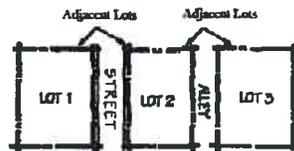
The attached is a list of property of owners within (check one) 100', 300', 500', or those that are adjacent and abutting of the subject site. Below is a summary of the required notification distances per the Mount Vernon Municipal Code. The Community & Economic Development Department will notify these individuals of the proposed development.

- For administrative conditional use permits notice shall be mailed to adjacent and abutting property owners. The code definitions for adjacent and abutting follow.

"Abutting" means to have boundaries that touch. When two parcels have a street or alley that runs between the two parcels, the two parcels are not abutting.



"Adjacent" means lots located across a public street, railroad, or right-of-way.



- For Planned Unit Developments, notice shall be mailed to property owners within 500 feet of the project.
- For Special Use Permits for Accessory Dwelling Units (ADU) or variances not exceeding 20% of the zoning requirements, notice shall be mailed to all property owners within 100 feet of the property.
- For all other applications, including annexations and short plats, notice to all owners located within the boundaries of a project and within 300 feet of the boundary of the development permit. If the applicant owns property abutting or adjacent to the boundary of the development permit, notice shall be sent to the owners of real property within 300 feet of any portion of the boundaries of abutting or adjacent properties owned by the applicant.

Applicant Certification

I, PAT SEVERIN, hereby certify that the above list(s) of
(print name)

property owners and their addresses were obtained from:

- the Skagit County Assessor Records **(no other source is acceptable)**.

Signed 
(Applicant or Authorized Agent)

Date: 4/27/18

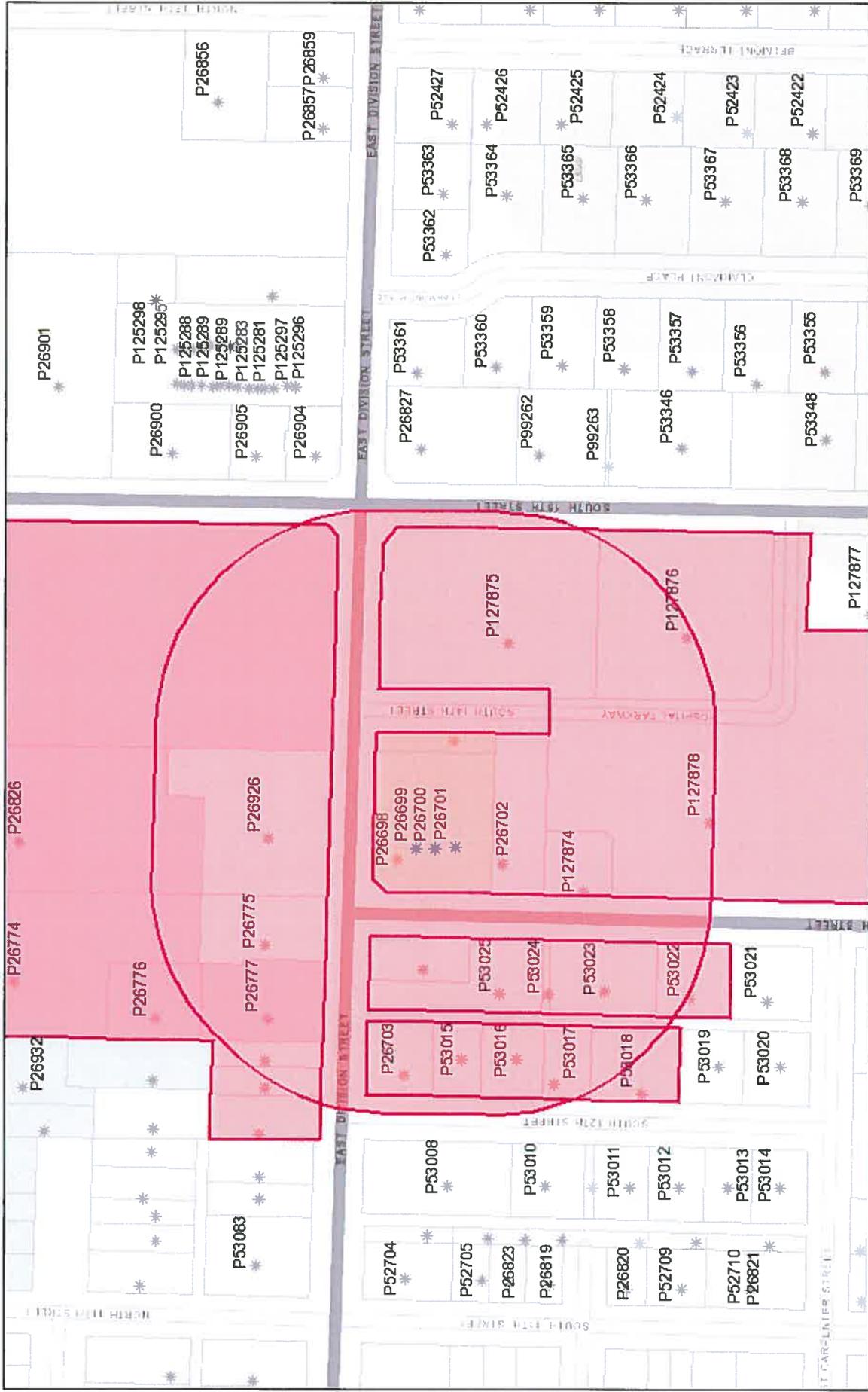
STATE OF WASHINGTON)
) ss.
COUNTY OF SKAGIT)

On this, the 27 day of April, 2018 before me
personally appeared Pat Severin known to me to be the same person
whose name is subscribed to the within instrument and acknowledged that he/she voluntarily executed
the same for the purpose therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.




Notary Public in and for the State of
Washington residing at: Burlington
My Appointment Expires: 3/29/20



April 27, 2018

1:2,257

Legend

- County Boundary
- Senior Citizen Accounts
- Tax Parcel Numbers
- Land Accounts
- Mobile Home Only Accounts
- Building Only Accounts
- Pre Tax Account Property
- Tax Parcels

Data Accuracy Warning: All GIS data was created from available public records and existing map sources. Map features have been adjusted to achieve a best-fit registration. While great care was taken in this process, maps from different sources rarely agree as to the precise location of geographic features. Map discrepancies can be as great as 300 feet.

Scale: 0 0.0175 0.035 0.06 0.07 mi / 0 0.03 0.06 0.12 km

P127874, P127875, P127876, P127878
PUBLIC HOSPITAL DIST UNIT 1
1415 KINCAID ST
MOUNT VERNON, WA 98274

P26698
EAST DIVISION CORP
1320 E DIVISION ST
MOUNT VERNON, WA 98273

P26699
BOYES JOHN A & STUDLEY MARK A
1320 E DIVISION
MOUNT VERNON, WA 98273

P26700
SKAGIT RADIOLOGY R/E LLC
1320 E DIVISION ST
MOUNT VERNON, WA 98274

P26701
N CASCADE FAMILY PHYSICIANS C/O
FAMILY PRACTICE PROPERTIES
PO BOX 2427
MOUNT VERNON, WA 98273

P26702
EAST DIVISION CORP
1320 E DIVISION ST
MOUNT VERNON, WA 98273

P26703
GARDNER JOEL P & GARDNER DENICE M
1210 E DIVISION ST
MOUNT VERNON, WA 98273

P26774, P26826, P26777, P26776
MOUNT VERNON SCHOOLS UNIT 320
124 E LAWRENCE ST
MOUNT VERNON, WA 98273

P26775
A E HOLLAND PROPERTIES LLC
14358 CHANNEL DRIVE
LA CONNER, WA 98257

P26786
ANDRUS PROPERTIES LLC
1203 E DIVISION ST
MT VERNON, WA 98273

P26787
ANDRUS PROPERTIES LLC
1203 E DIVISION ST
MT VERNON, WA 98273

P26875
RGJG LLC
16591 DONNELLY RD
MOUNT VERNON, WA 98273

P26898
CATHOLIC ARCHBISHOP OF SEATTLE &
% CCAS PROPERTY & CONSTRUCTION
710 9TH AVE
SEATTLE, WA 98104

P26926
1311 DIVISION LLC
1311 E DIVISION STREET
MOUNT VERNON, WA 98273

P52962
EAST DIVISION CORP
1320 E DIVISION ST
MOUNT VERNON, WA 98273

P53015
GARDNER JOEL P & GARDNER DENICE M
1210 E DIVISION ST
MOUNT VERNON, WA 98273

P53016, P53017, P53018, P53022, P53023
, P53024, P53025, P53026
OPTIMUM PROPERTIES LLC
PO BOX 836
MOUNT VERNON, WA 98273

P127874,P127875
Resident
206 SOUTH 13TH STREET
MOUNT VERNON, WA 98273

P127876
Resident
208 HOSPITAL PARKWAY
MOUNT VERNON, WA 98273

P127878
Resident
300 HOSPITAL PARKWAY
MOUNT VERNON, WA 98273

P26700
Resident
1310 E DIVISION ST
MOUNT VERNON, WA 98273

P26701
Resident
120 S 13TH ST
MOUNT VERNON, WA 98273

P26703
Resident
1210 EAST DIVISION STREET
MOUNT VERNON, WA 98274

P26775
Resident
1223 E DIVISION ST
MOUNT VERNON, WA 98273

P26776
Resident
314 N 9TH ST
MOUNT VERNON, WA 98273

P26875
Resident
1123 N DIVISION ST
MOUNT VERNON, WA 98273

P26898
Resident
1321 DIVISION STREET
MOUNT VERNON, WA 98273

P26926
Resident
1315 E DIVISION ST
MOUNT VERNON, WA 98273

P53016
Resident
118 SOUTH 12TH STREET
MOUNT VERNON, WA 98274

P53017
Resident
124 SOUTH 12TH STREET
MOUNT VERNON, WA 98274

P53018
Resident
200 SOUTH 12TH STREET
MOUNT VERNON, WA 98274

P53022
Resident
221-219 SOUTH 13TH STREET
MOUNT VERNON, WA 98274

P53023
Resident
215-217 SOUTH 13TH STREET
MOUNT VERNON, WA 98274

P53024
Resident
205 SOUTH 13TH STREET
MOUNT VERNON, WA 98274

P53025
Resident
111 SOUTH 13TH STREET
MOUNT VERNON, WA 98274



PROJECT NARRATIVE

Date:	May 7, 2018	Subject:	SEPA
To:	City of Mount Vernon	Project:	Skagit Radiology
From:	Helix Design Group	Project #:	Helix project # a17-008

The title of this project is Skagit Radiology DIC. The project site is 0.8 acres (34,974 SF) and address is 1320 East Division Street, Mount Vernon, WA 98273. It is located within HD – Health Care development District per Mount Vernon Municipal Code.

The project includes demolition of the two existing buildings and associated parking at 1320 and 1310 East Division Street (parcels P26698, P52962) and construction of a new, 16,000 sf, 2-story building including a Digital Imaging Center on the first floor and an outpatient clinic on the second floor. The proposed building integrates Mount Vernon Municipal Code and the building's exterior design includes masonry veneer on the first floor and manufactured siding on the second floor with raised metal shed roof & curtainwall window assemblies at the building entry. The 4 corners of the building are expressed with aluminum composite wall panels filling the openings with aluminum storefront window assemblies. Along the façade of the building, a portion of the sidewalk receives a metal roof canopy utilizing steel & glu-laminated structural framing. The proposed building's maximum height is 37'. Total lot coverage is 47% based on 7,764 square feet proposed building footprint, providing 51 total parking stalls including 3 ADA accessible stalls. The existing site access points on South 13th Street, South 14th Street and on East Division Street will be removed and access to the building parking lot will be provided from South 14th Street.

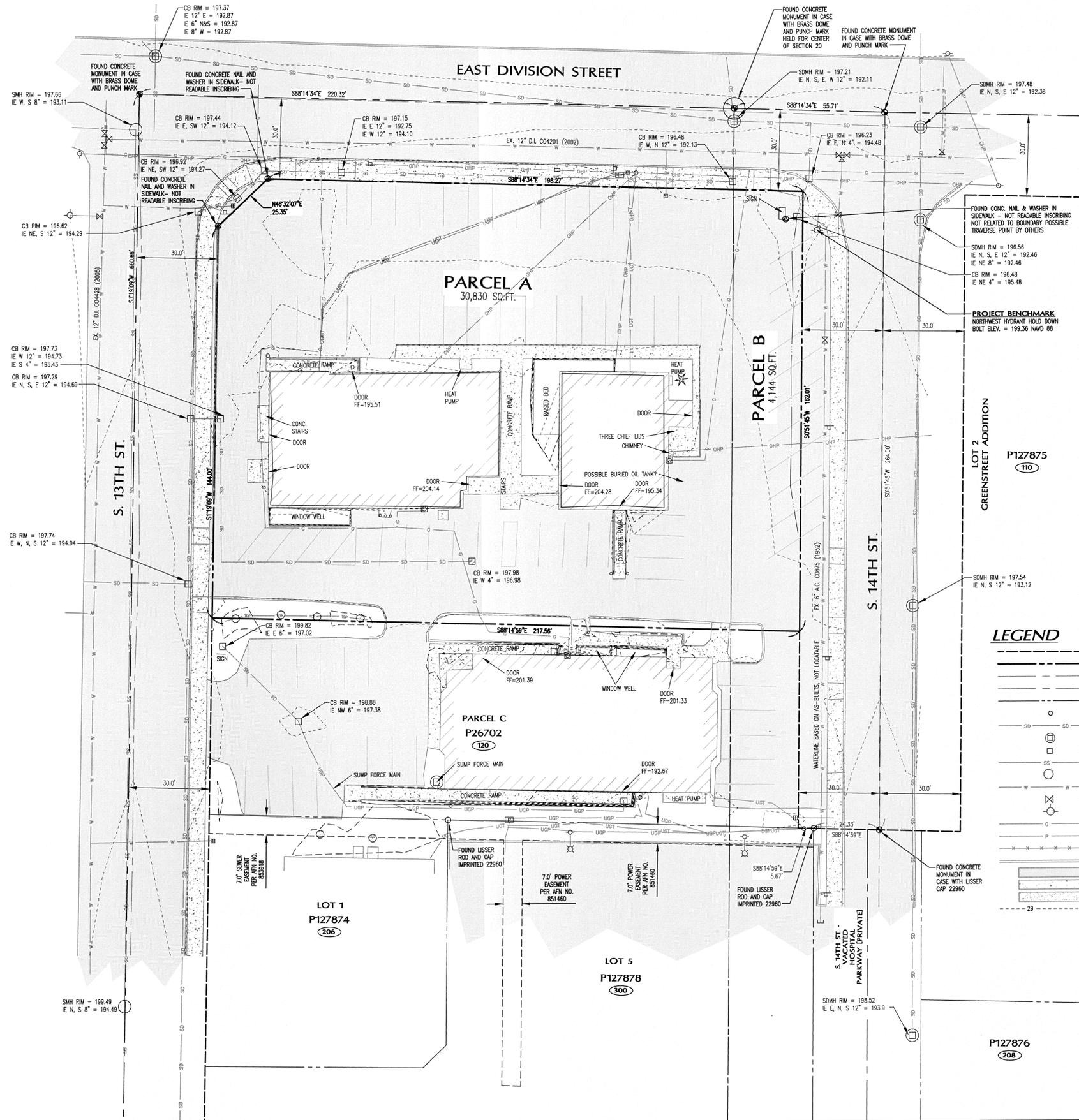
Onsite soils are Bow Urban complex having a C/D rating. The existing underlying soils are silt with some sand to silty clay. These soils are poor draining soils with little to no infiltration capacity.

The proposed development requires approximately 1,683 Cy yard of Cut and 2,800 cy of fill.

It is anticipated that minimal offsite improvements are required from the project, except sanitary sewer and fire service lines to site from the adjacent street. Four existing driveway cuts will be removed and replaced as well as one new one installed within the surrounding street right of way.

The estimated construction cost is \$4 million.

IN A PORTION OF THE SW 1/4 OF SECTION 20, TOWNSHIP 34 N., RANGE 4 E., W.M.



LEGAL DESCRIPTION (AFTER BLA)

PARCEL A:
 THE NORTH 264 FEET OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., LYING EAST OF SOUTH 13TH STREET.
 EXCEPT THAT PORTION CONVEYED TO THE CITY OF MOUNT VERNON UNDER AUDITOR'S FILE NO. 200710230021 BEING A RE-RECORDING OF 200706120001, RECORDS OF SKAGIT COUNTY, WASHINGTON.
 AND EXCEPT THE SOUTH 72.00 FEET THERE OF.
 AND ALSO EXCEPT ROAD RIGHT'S OF WAY.
 SITUATED IN SKAGIT COUNTY, WASHINGTON.

PARCEL B:
 THE NORTH 234.00 FEET OF TRACT A, GREENSTREET ADDITION TO MOUNT VERNON, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 6, RECORDS OF SKAGIT COUNTY, WASHINGTON.
 EXCEPT THE SOUTH 72.00 FEET THERE OF, AS MEASURED FROM THE ADJACENT NORTH LINE OF BINDING SITE PLAN RECORDED UNDER AUDITOR FILE NUMBER 200801820060.
 SITUATED IN SKAGIT COUNTY, WASHINGTON.

VERTICAL DATUM

THE VERTICAL DATUM IS BASED ON GPS OBSERVATIONS DONE ON FEBRUARY 27-8, 2017 USING THE WSRN. THE VERTICAL DATUM FOR THIS PROJECT IS NAVD 88 (VERTCON CONVERSION IS NAVD88 - 3.70 = NGV29)

PROJECT BENCHMARK IS NORTHWEST HYDRANT HOLD DOWN BOLT WITH AN ELEVATION OF 199.36' (NAVD 88) AT THE SOUTHWEST QUADRANT OF DIVISION AND 14TH STREET

HORIZONTAL DATUM

NORTH AMERICAN DATUM (NAD) 1983/1991 ADJUSTMENT, GEOID 2012.

BASIS OF BEARING

THE MONUMENTED DIVISION STREET BETWEEN 13TH AND 14TH STREET BEARS SOUTH 88° 13' 34" EAST.

FIELD EQUIPMENT

THIS SURVEY WAS ACCOMPLISHED BY FIELD TRAVERSE WITH A TRIMBLE S6 AND A TRIMBLE S800 DUAL FREQUENCY GPS RECEIVER. STANDARD ERROR DISTANCE +/- 2CM (+ 1 PPM), AND MEETS OR EXCEEDS STANDARDS AS SET FORTH IN W.A.C. CH. 332-130.

ZONING CLASSIFICATION

ZONING: HD - HEALTH CARE DEVELOPMENT DISTRICT

UNDERGROUND UTILITY NOTE

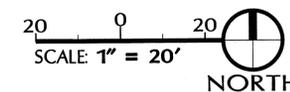
UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED ON SURFACE INDICATORS, AND UTILITY MAPS PROVIDED BY THE CITY OF BURLINGTON. NO UNDERGROUND UTILITY SERVICE WAS USED FOR THEIR EXACT LOCATION. THE USE OF THIS MAP FOR THEIR EXACT LOCATION IS NOT WARRANTED.

SITE INFORMATION

PROPERTY OWNER: EAST DIVISION CORP
 1320 E. DIVISION STREET
 MOUNT VERNON, WA 98273
 PARCEL NUMBER: P26698, P52962
 SITE ADDRESS: 1310 & 1320 E. DIVISION STREET
 SITE AREA: 34,976 (0.80 ACRES)

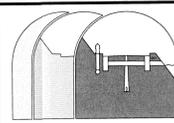
LEGEND

- EXISTING RIGHT OF WAY LINE
- PROPERTY BOUNDARY
- ASBUILT ROAD CENTERLINE
- EXISTING ROAD CENTERLINE
- EXISTING PROPERTY LINE
- EXISTING PROPERTY CORNER
- EXISTING STORM DRAIN
- EXISTING TYPE 2 CB
- EXISTING TYPE 1 CB
- EXISTING SANITARY SEWER
- EXISTING SANITARY MANHOLE
- EXISTING WATERLINE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING GAS LINE
- EXISTING POWERLINE
- EXISTING FENCELINE
- EXISTING CURB & CUTTER
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING GRAVEL
- EXISTING CONTOUR



CALL 48 HOURS BEFORE YOU DIG
 1-800-424-5555

NO.	DATE	REVISIONS	BY	APRVD



Sound Development Group
 ENGINEERING, SURVEYING & LAND DEVELOPMENT SERVICES
 P.O. Box 1705 • 1111 Cleveland Avenue, Suite 202
 Mount Vernon, WA 98273
 Tel: 360-404-2010 Fax: 360-404-2013

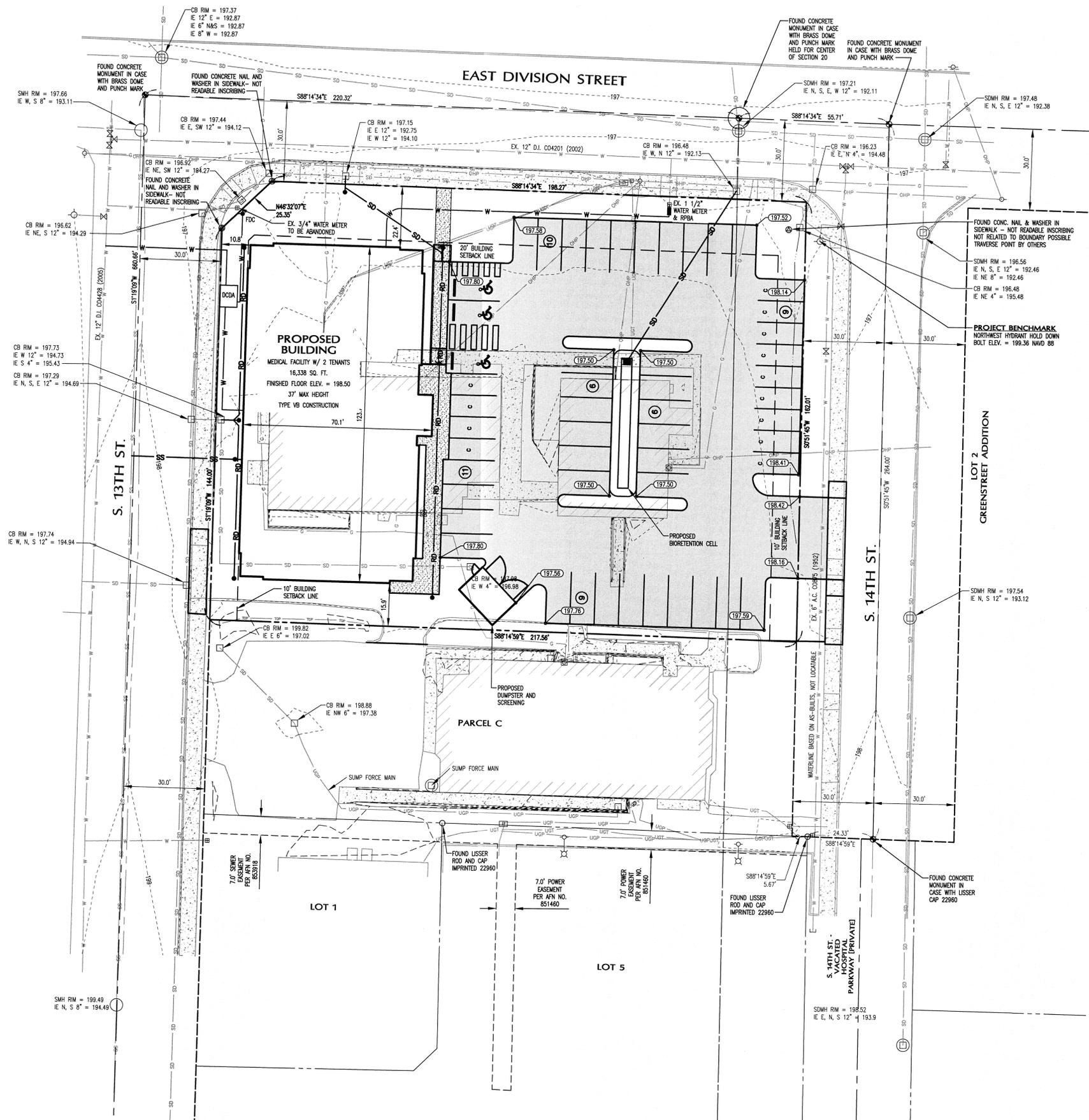
SHEET DESCRIPTION
EXISTING CONDITIONS

SCALE: 1" = 20'
 DRAWN BY: PLAU
 DESIGNED BY: PSEVERIN
 CHECKED BY: PSEVERIN
 FIELD BOOK/PAGE: 05.01.18
 DATE:

PROJECT: **SKAGIT RADIOLOGY DIGITAL IMAGING CENTER**
 FOR **TRICO CONSTRUCTION**
 IN A PORTION OF SECTION 20, TOWNSHIP 34 N., RANGE 4 E., W.M. MOUNT VERNON, WASHINGTON

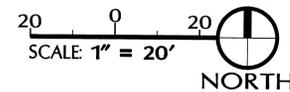
JOB NO. 18022
 DRAWING NAME 18022EXcdwg
 SHEET 1 OF 1

IN A PORTION OF THE SW 1/4 OF SECTION 20, TOWNSHIP 34 N., RANGE 4 E, W.M.



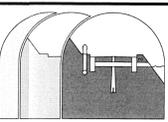
PROPOSED SITE INFORMATION:

SITE AREA:	34,974 S.F.
BUILDING AREA:	16,338 S.F.
PARKING AREA:	16,813 S.F.
SITE LANDSCAPING REQUIRED 34,974 S.F. x 15%:	5,246 S.F.
SITE LANDSCAPING PROVIDED:	8,439 S.F.
PARKING LOT LANDSCAPING REQUIRED 16,813 S.F. x 10%:	1,681 S.F.
PARKING LOT LANDSCAPING PROVIDED:	2,370 S.F.
PARKING REQUIRED 10,938 NET S.F./1000 x 4:	44 STALLS
PARKING PROVIDED:	51 STALLS (3.4 STALLS/1000S.F.)
GRADING QUANTITIES:	
CUT:	1,683 CY
FILL:	2,783 CY



CALL 48 HOURS BEFORE YOU DIG
1-800-424-5555

NO.	DATE	REVISIONS	BY	APPROV



Sound Development Group
ENGINEERING, SURVEYING & LAND DEVELOPMENT SERVICES
P.O. Box 1705 • 1111 Cleveland Avenue, Suite 202
Mount Vernon, WA 98273
Tel: 360-404-2010 Fax: 360-404-2013

SHEET DESCRIPTION
SEPA SITE PLAN

SCALE: 1" = 20'
DRAWN BY: PLAU
DESIGNED BY: PSEVERIN
CHECKED BY: PSEVERIN
FIELD BOOK/PAGE:
DATE: 05.01.18

PROJECT: **SKAGIT RADIOLOGY DIGITAL IMAGING CENTER**
FOR
TRICO CONSTRUCTION
IN A PORTION OF SECTION 20, TOWNSHIP 34 N., RANGE 4 E, W.M. MOUNT VERNON, WASHINGTON

JOB NO. 18022
DRAWING NAME 18022ENG.dwg
SHEET 1 OF 1

FLOOR PLAN LEGEND

DESCRIPTION	SYMBOL AND TEXT
ROOM IDENTIFICATION room name room number	ROOM NAME 100
DOOR door number, min door strike side clearance, distances	
RELITE relite number	R100
WINDOW window type	W1
ELEVATION surface type designation T.O.B. = top of bearing T.O.F. = top of floor	T.O.F.
WORK POINT building corner, starting building layout reference point	WP
OCCUPANT LOAD room occupant count	000
EXIT LOAD exit occupant count	<00
FLOOR DRAIN sloped floor level floor	F.D.
STRUCTURAL COLUMN centered on grid line, centered in wall	
FIRE EXTINGUISHER AND CABINET fire extinguisher and semi-recess cabinet, fire rated cabinet at fire rated walls	F.E.
FLOORING MATERIAL CHANGE transition line, flooring type	VCT CPT
ELECTRICAL PANEL recessed panel	E.P.
HOSE BIB refer to plan for locations	H.B.
DRINKING FOUNTAIN ADA accessible	D.F.
JANITORS SINK square corner janitor floor sink	
ACCENT WALL wall accent color	PT-A
DOWNSPOUT refer to plan for size and locations	D.S.
ROOF LEADER refer to plan for locations	R.L.
OVERFLOW ROOF LEADER install cow tongue (shaped) solid brass spout at face of wall, refer to plan for locations	O.R.L.

GENERAL NOTES

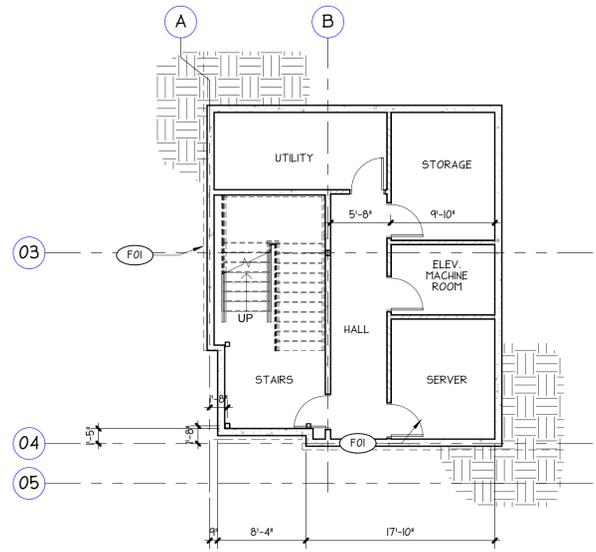
- NOTE
- ABBREVIATIONS:
(D) - DEMOLITION
(R) - RELOCATE
(E) - EXISTING TO REMAIN
(S) - SALVAGE
REFER TO SHEET G020 FOR STANDARD ABBREVIATIONS LIST.
 - INSTALL SOUND BATT INSULATION AT ALL INTERIOR (STUD) WALLS.
 - PROVIDE HARDWOOD SILL AND APRON AT ALL WINDOW SILLS.
 - PROVIDE WALL MOUNTED METAL HANDRAILS AT ALL STAIRS, BOTH SIDES OF STAIRS.
 - PROVIDE WALL MOUNTED STAINLESS STEEL HANDRAILS AT ALL STAIRS, BOTH SIDES OF STAIRS.
 - INSTALL SAFETY STAIR TREAD NOSINGS AT ALL STAIRS.
 - PROVIDE TUBE STEEL COLUMN SUPPORT AT ALL PARTIAL HEIGHT WALLS.

FLOOR PLAN NOTES

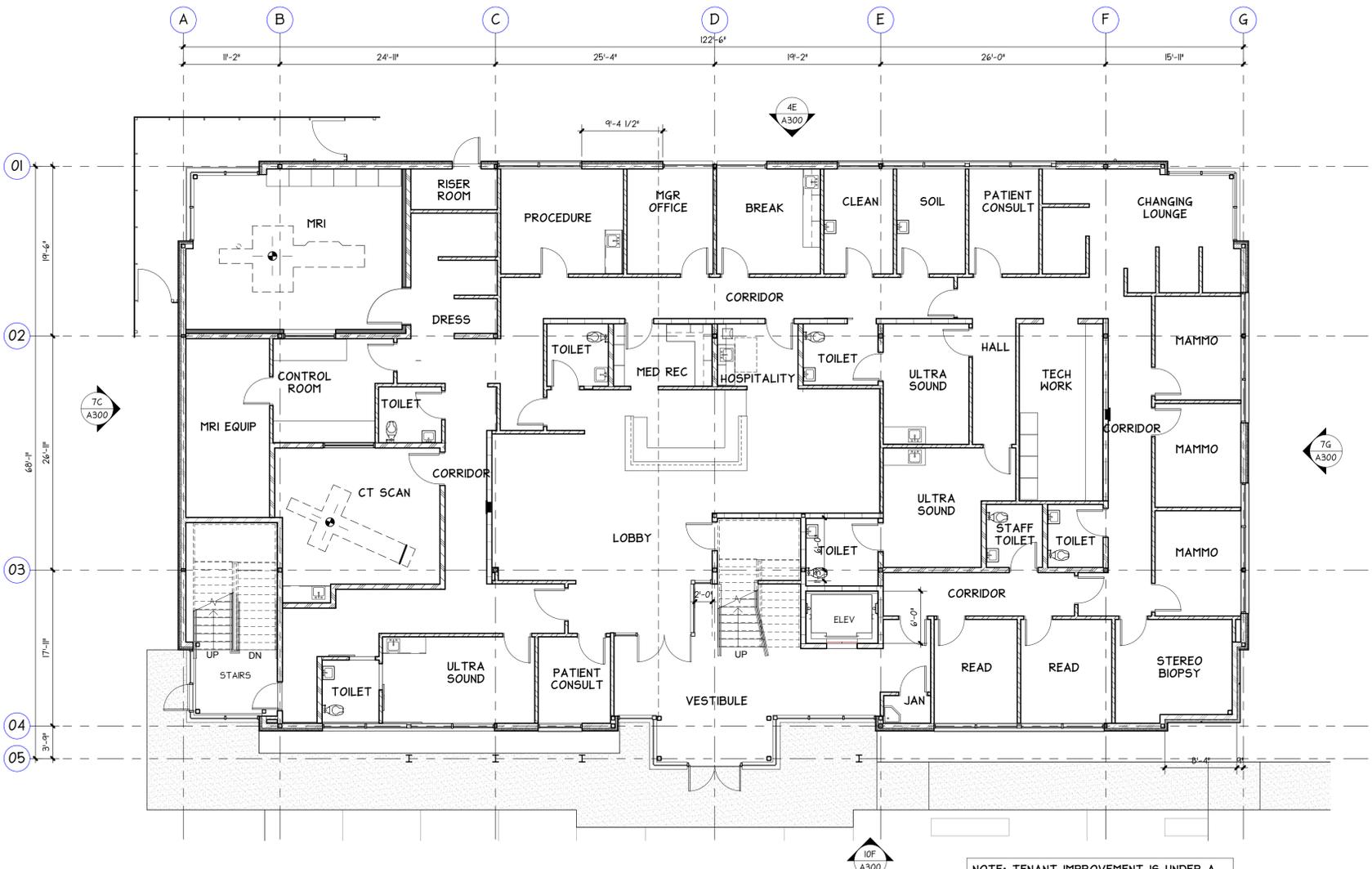
NO.	NOTE
F01	BUILDING PERIMETER ABOVE

WALL TYPES

DESCRIPTION	SYMBOL AND TEXT
WALL TYPE 1 3 5/8" METAL STUDS @ 16" O.C.	
WALL TYPE 2 6" METAL STUDS @ 16" O.C.	
WALL TYPE 3 8" METAL STUDS @ 16" O.C.	
WALL TYPE 4 CAST-IN-PLACE CONCRETE	
WALL TYPE 5 4" C-H METAL STUDS @ 24" O.C. (SHAFTWALL)	
WALL TYPE 6 EXISTING WALL TO REMAIN	

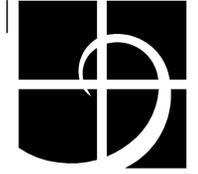


4D BASEMENT FLOOR PLAN
1/8" = 1'-0"
NORTH
SCALE: 1/8" = 1'-0"



10D FIRST FLOOR PLAN
1/8" = 1'-0"
NORTH
SCALE: 1/8" = 1'-0"

NOTE: TENANT IMPROVEMENT IS UNDER A SEPARATE PERMIT AND THE INFORMATION IS SHOWN AS REFERENCE ONLY



Helix
design group



NOT FOR CONSTRUCTION
HELIX DESIGN GROUP, INC

BASEMENT & FIRST FLOOR PLAN

SKAGIT RADIOLOGY DIC MOUNT VERNON

REVISION	DATE

DATE: 05.07.18 JOB NO: a17-008
MOUNT VERNON, WASHINGTON
SEPA SUBMITTAL

A100

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PLOTTED: 5/9/2018 4:42:39 PM PROJECT: 417-008 - SKAGIT RADIOLOGY DIC
 FILE PATH: C:\Users\amb\Desktop\2017 Revit Projects\17-008 Skagit Radiology DIC-A-117.rvt

ELEVATION LEGEND

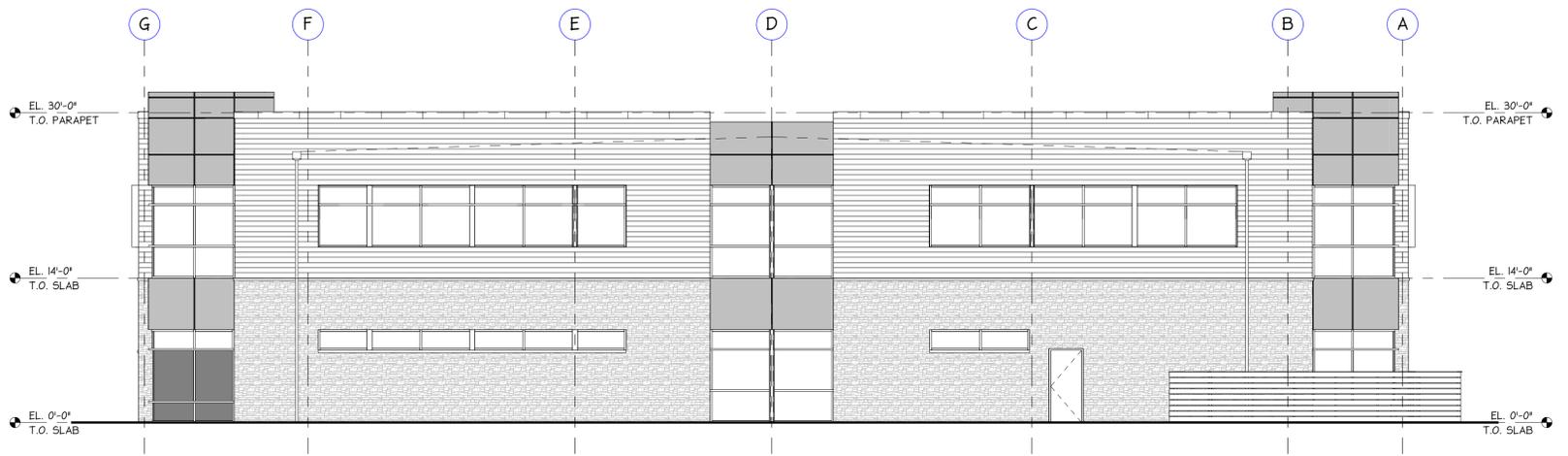
DESCRIPTION	SYMBOL AND TEXT
WINDOW window type designation, refer to window schedule	(W)
STOREFRONT SYSTEM storefront type designation, refer to storefront schedule	(SFI)
CURTAIN WALL SYSTEM curtain wall type designation, refer to curtain wall schedule	(CWI)
WINDOW WALL SYSTEM window wall type designation, refer to window wall schedule	(NWI)
LOUVER louver type designation, refer to louver schedule	(LI)
ASSEMBLY TYPES W = wall type R = roof type S = soffit type F = floor type	(W)
ELEVATION surface type designation T.O.F. = top of floor T.O.B. = top of bearing (E) = existing	T.O.F.

MATERIALS LEGEND

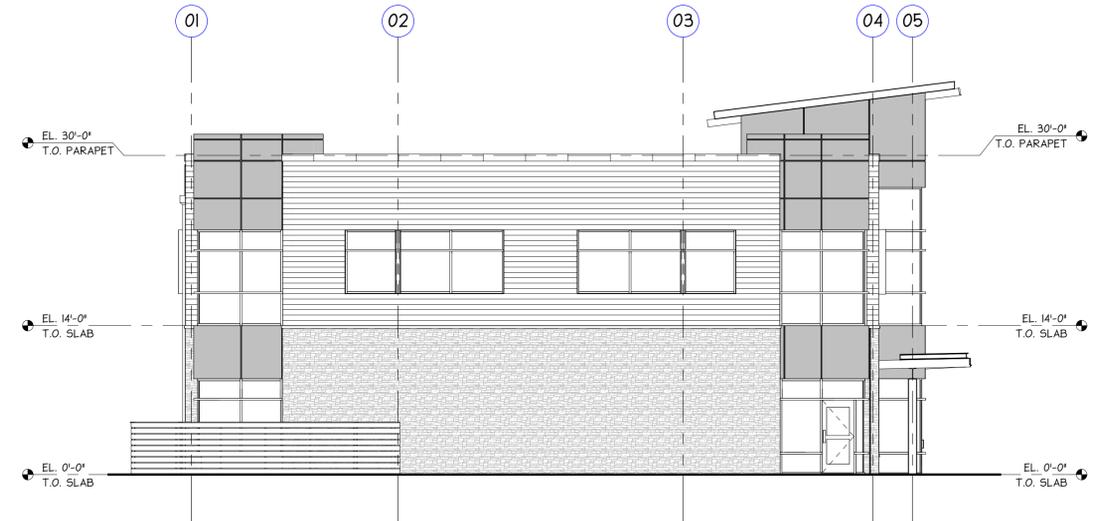
MATERIAL	PATTERN
ALUMINUM COMPOSITE MATERIAL WALL PANEL (ACM) refer schedule for color and finish, reveal pattern per elevations	[Pattern]
MANUFACTURED SIDING (MS) refer to schedule for color and finish	[Pattern]
MANUFACTURED MASONRY VENEER (MMV) refer to schedule for color and finish	[Pattern]

GENERAL NOTES

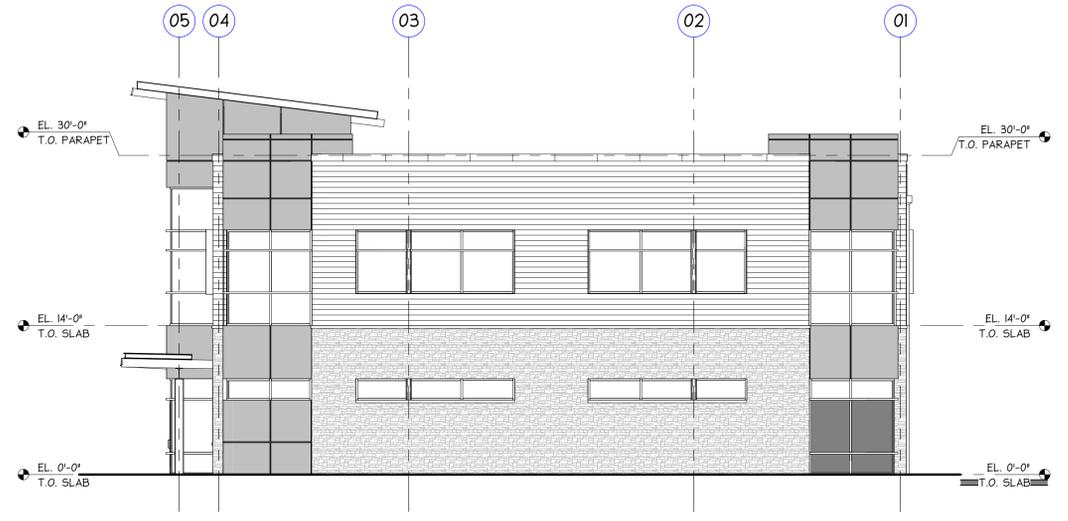
- NOTE
- REFER TO BUILDING ASSEMBLY LEGEND ON SHEET G030 FOR ASSEMBLY TYPES.
 - ABBREVIATIONS:
(D) - DEMOLITION
(R) - RELOCATE
(E) - EXISTING TO REMAIN
(S) - SALVAGE
 - REFER TO SHEET G020 FOR STANDARD ABBREVIATIONS LIST.
 - PANT ALL EXPOSED CONDUITS AND PIPES; MATCH COLOR OF ADJACENT MATERIAL.



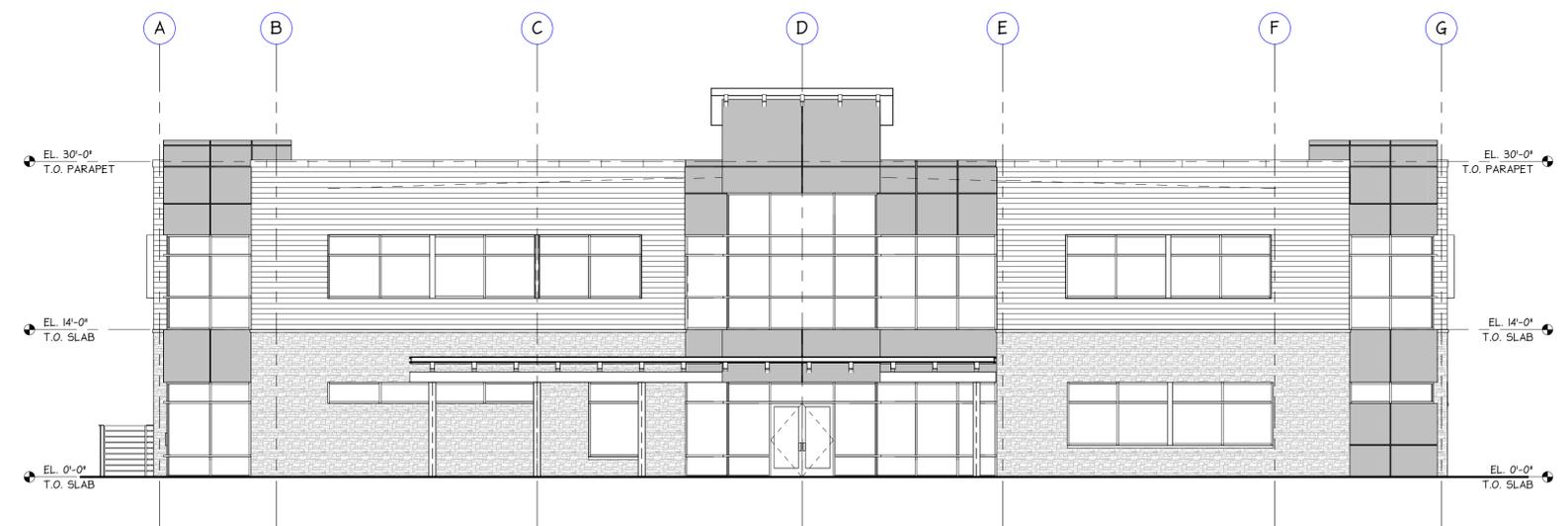
4E WEST ELEVATION
1/8" = 1'-0"



7C SOUTH ELEVATION
1/8" = 1'-0"



7G NORTH ELEVATION
1/8" = 1'-0"



10F EAST ELEVATION
1/8" = 1'-0"



NOT FOR CONSTRUCTION
HELIX DESIGN GROUP, INC

EXTERIOR ELEVATIONS

SKAGIT RADIOLOGY DIC MOUNT VERNON

MOUNT VERNON, WASHINGTON	
REVISION	DATE
DATE	JOB NO.
05.07.18	a17-008
SEPA SUBMITTAL	

A300

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PLOTTED: 5/9/2018 4:42:45 PM PROJECT: skagit - SKAGIT RADIOLOGY DIC
 FILE PATH: C:\Users\anub\Desktop\2017 Revit Projects\skagit - Radiology DIC-A-r17_sub.rvt