

MOUNT VERNON SCHOOLS

MADISON ELEMENTARY SCHOOL

MASTER PLAN

MOUNT VERNON, WASHINGTON



PROJECT INFORMATION

- PROJECT NAME: MADISON ELEMENTARY SCHOOL
- OWNER:
MOUNT VERNON SCHOOLS
124 E. LAWRENCE STREET, MOUNT VERNON, WA, 98273
360-428-6120
SUZANNE GILBERT
- ARCHITECT:
TCF ARCHITECTURE
902 N SECOND ST, TACOMA, WA, 98403
253-572-3993
BRIAN HO
- ZONING: SOUTH PARCEL ZONED PUBLIC. NORTH PARCEL ZONED RESIDENTIAL PENDING RE-ZONE TO PUBLIC
- SITE ACREAGE:
LOT 1: 8.1 ACRES (352,836 SQUARE FEET)
LOT 2: 8.4 ACRES (365,904 SQUARE FEET)
- BUILDING CODE: 2015 IBC
- USE: PUBLIC SCHOOL
- OCCUPANCY GROUP: EDUCATIONAL GROUP E
- CONSTRUCTION TYPE: TYPE II-B
- BUILDING SQUARE FOOTAGE: 71,700 SF (INCLUDES: LOWER, MAIN AND UPPER FLOORS)
- BUILDING HEIGHT MEASURED FROM AVERAGE GRADE: 46'-3"
- PERCENT LAND COVERAGE: 6.2%
- BUILDING SETBACKS: FRONT YARD - 10 FT, SIDE YARD - 20 FT

PARKING INFORMATION

- TOTAL PARKING PROVIDED: 107 SPACES
90° PARKING: 68 SPACES
45° ANGLE PARKING: 39 SPACES
ADA PARKING: 5 SPACES
COMPACT PARKING: 0 SPACES

SHEET INDEX

SHEET NO.	DESCRIPTION
T 1.00	COVER SHEET
C 1.00	MASTER PLAN SITE PLAN
C 4.00	MASTER PLAN EXISTING CONDITIONS
L 1.00	OVERALL SITE PLAN
L 2.00	OVERALL LANDSCAPE PLAN
L 2.03	LANDSCAPE NOTES AND DETAILS
L 2.00A	OVERALL BUFFER LANDSCAPE PLAN
L 2.00B	OVERALL BIORETENTION LANDSCAPE PLAN
L 2.00C	OVERALL ORNAMENTAL LANDSCAPE PLAN
L 4.00	SITE DETAILS
L 4.01	SITE DETAILS

LEGAL DESCRIPTION

LOTS 1 & 2 OF MOUNT VERNON SHORT PLAT MV-5-93 AS RECORDED JANUARY 12, 1994 UNDER AUDITOR'S FILE NUMBER 9401120063, RECORDS OF SKAGIT COUNTY, WASHINGTON.

BEING A PORTION OF THE SOUTHEAST 1/4, OF THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 34 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN.

SITUATE IN THE COUNTY OF SKAGIT, STATE OF WASHINGTON.

Project Title
**MADISON
ELEMENTARY
SCHOOL**
907 EAST FIR STREET
MOUNT VERNON, WA 98273

Project Numbers

MASTER PLANNING
NOT FOR CONSTRUCTION

Revision & Issue Dates

FEBRUARY 7, 2018

MASTER
PLANNING

Sheet Title
**MASTER PLAN
COVER SHEET**

Drawn By _____ Checked By _____

Sheet Number

T 1.00

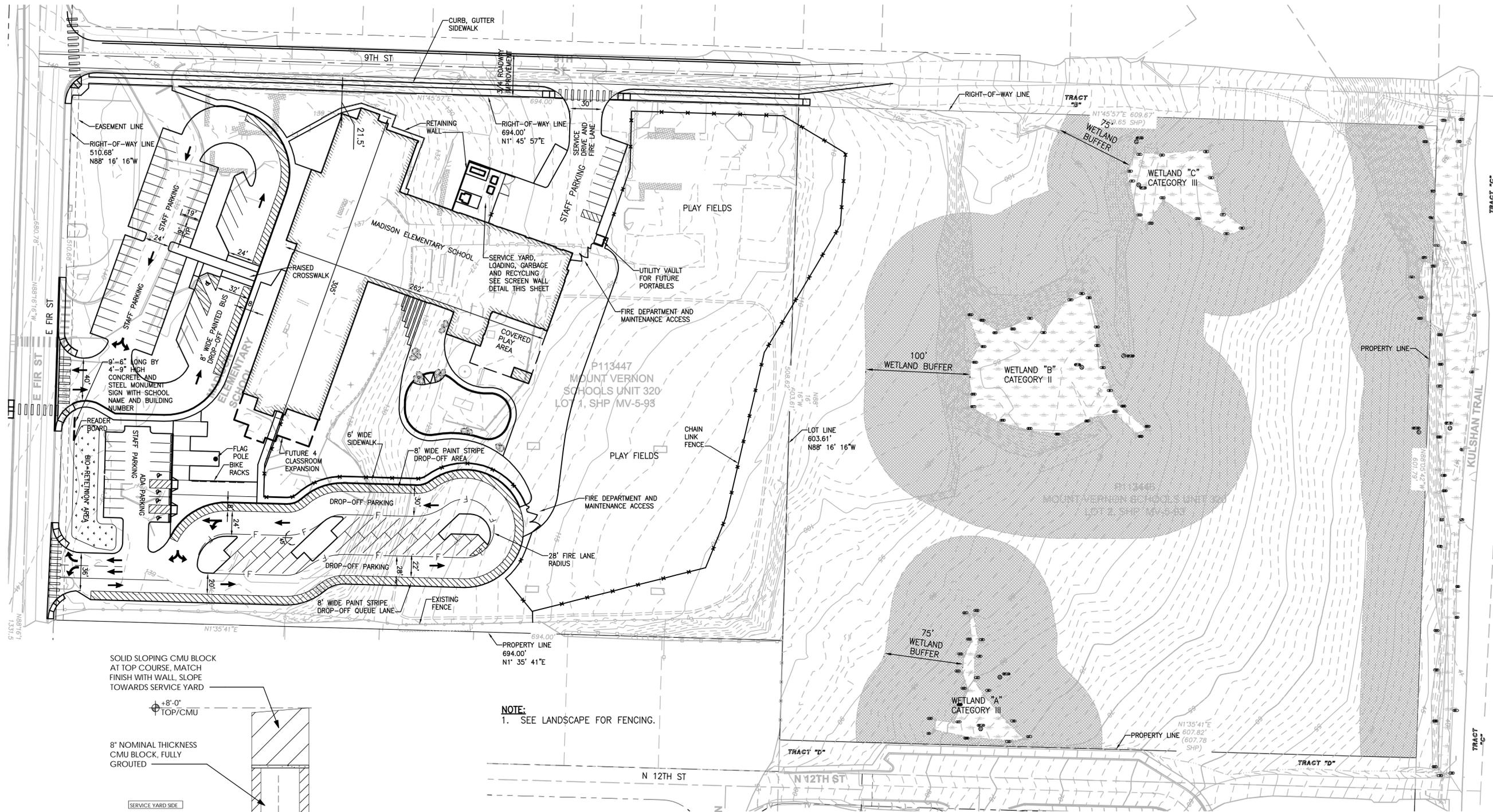
Sheet Number _____ Of _____

All material herein constitutes the original and unpublished work of the architect and may not be used, duplicated or disclosed without the written consent of the architect. Copyright © 2017 by TCF Architecture, PLLC. All rights reserved.

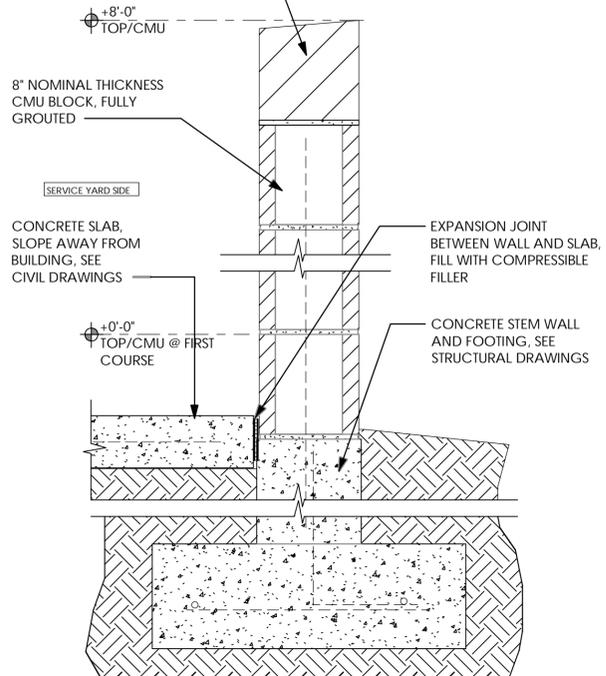


Project Title
**MADISON
ELEMENTARY
SCHOOL**
907 EAST FIR STREET
MOUNT VERNON, WA 98273
Project Numbers

MASTER PLANNING
NOT FOR CONSTRUCTION
Revision & Issue Dates
FEBRUARY 7, 2018
MASTER PLANNING

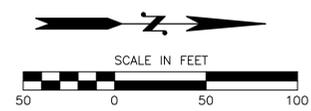


SOLID SLOPING CMU BLOCK
AT TOP COURSE, MATCH
FINISH WITH WALL, SLOPE
TOWARDS SERVICE YARD



CMU SCREEN WALL SECTION

NOTE:
1. SEE LANDSCAPE FOR FENCING.



CITY OF MOUNT VERNON
MASTER PLAN APPROVAL
DATE

Sheet Title
**MASTER PLAN
SITE PLAN**

Drawn By _____ Checked By _____

Sheet Number
C 1.00

Sheet Number _____ Of _____
All material herein constitutes the original and unpublished work of the architect and may not be used, duplicated or disclosed without the written consent of the architect. Copyright © 2017 by TCF Architecture, PLLC. All rights reserved.



- NOTES:**
1. BASIS OF BEARINGS: GRID NORTH, WASHINGTON COORDINATE SYSTEM NORTH ZONE BEING N88°16'16"W BETWEEN FOUND CASED MONUMENTS IN EAST FIRE STREET DELINEATING THE SOUTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 17, T 34 NORTH, RANGE 4 EAST, W.M.
 2. VERTICAL DATUM IS NAVD 88 BASED ON GPS OBSERVATIONS.



Project Title
MADISON ELEMENTARY SCHOOL
 907 EAST FIR STREET
 MOUNT VERNON, WA 98273
 Project Numbers

MASTER PLANNING
 NOT FOR CONSTRUCTION
 Revision & Issue Dates
FEBRUARY 7, 2018 MASTER PLANNING

Sheet Title
MASTER PLAN EXISTING CONDITIONS

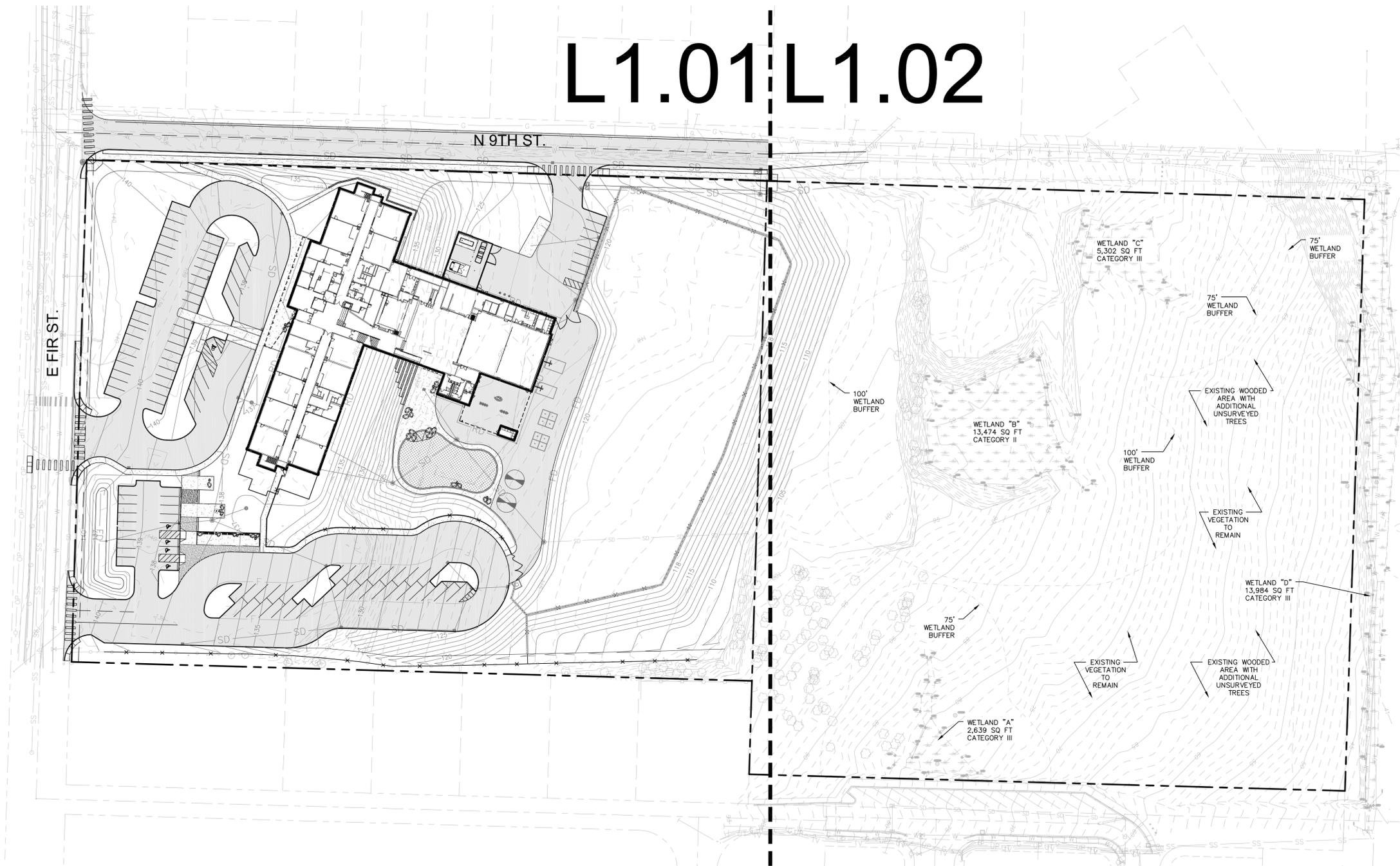
Drawn By _____ Checked By _____

Sheet Number
C 4.00

CITY OF MOUNT VERNON
 MASTER PLAN APPROVAL _____ DATE _____

Sheet Number _____ Of _____
 All material herein constitutes the original and unpublished work of the architect and may not be used, duplicated or disclosed without the written consent of the architect. Copyright © 2017 by TCF Architecture, PLLC. All rights reserved.

L1.01 | L1.02



Project Title
**MADISON
ELEMENTARY
SCHOOL**
907 EAST FIR STREET
MOUNT VERNON, WA 98273

Project Numbers

MASTER PLANNING
NOT FOR CONSTRUCTION
Revision & Issue Dates
FEBRUARY 7, 2018 MASTER PLANNING

City of MOUNT VERNON

**LANDSCAPE PLAN APPROVAL
MOUNT VERNON MUNICIPAL CODE (MVMC)
CHAPTER 17.83**

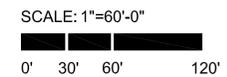
This plan sheet is approved for construction in accordance with the City of Mount Vernon ordinances and policies. This plan sheet is required to be part of either a Fill & Grade Permit or a Building Permit application.

This plan sheet is not a permit approval; and it does not imply or convey permission to construct any item unless and until this plan sheet is accompanied by an approved permit expressly describing the work shown on this plan. The permit received for the improvements shown on this plan sheet shall be issued by City staff on a City form that is signed by the staff person authorized to sign such permits.

Compliance with all applicable laws is the responsibility of the professional whose name appears on this sheet, the landowner, and the developer completing this work. The City is not responsible for, and does not authorize work that is required to comply with Federal, State, County or other local laws, permits or mandates that the City does not have jurisdiction over.

This approval will expire in one year from the date noted on the permit that is received for this work.

LAND USE No: _____ APPROVED BY: _____
DATE: _____ APPROVAL SIGNATURE: _____



WEISMANDESIGNGROUP

LANDSCAPE ARCHITECTURE 2329 E MADISON ST SEATTLE WA 98112 206-322-1132 WWW.WDINC.COM

Sheet Title
**OVERALL SITE
PLAN**

Drawn By: TY Checked By: NH

Sheet Number

L1.00

Sheet Number Of

All material herein constitutes the original and unpublished work of the architect and may not be used, duplicated or disclosed without the written consent of the architect. Copyright © 2017 by TCF Architecture, PLLC. All rights reserved.

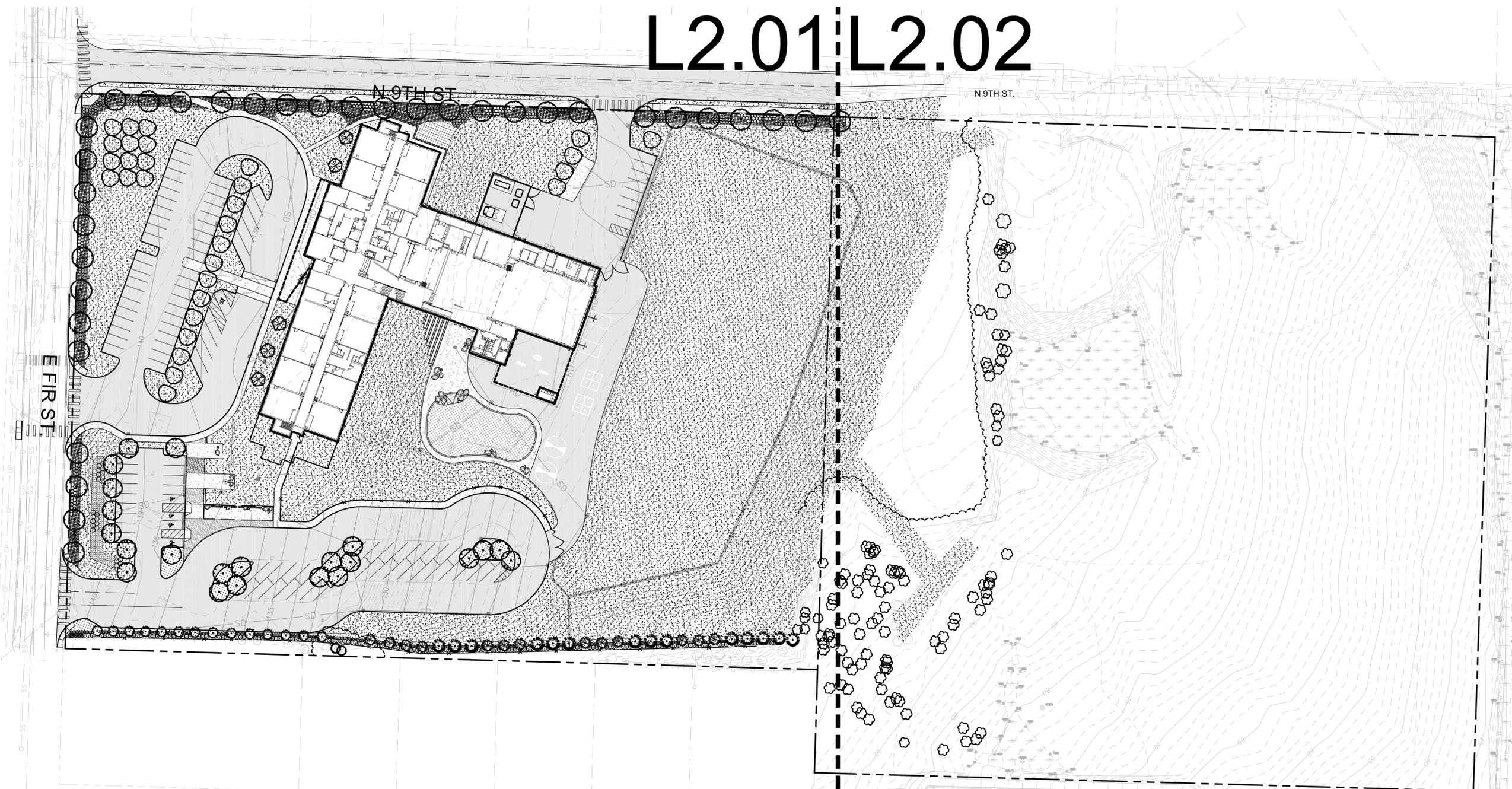
L2.01 | L2.02



Project Title
**MADISON
ELEMENTARY
SCHOOL**
907 EAST FIR STREET
MOUNT VERNON, WA 98273

Project Numbers

MASTER PLANNING
NOT FOR CONSTRUCTION
Revision & Issue Dates
FEBRUARY 7, 2018 MASTER PLANNING



LANDSCAPE SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	QUANTITY	SIZE/CONDITION/REMARKS
DECIDUOUS TREES			
	CERCIDIPHYLLUM JAPONICUM KATSURA	33	MIN. 2" CALIPER, 10-12' HT. WELL-BRANCHED ABOVE 6' HT., MATCHED., FULL AND BUSHY
	ACER RUBRUM 'BOWHALL' BOWHALL MAPLE	30	MIN. 2" CALIPER, 10-12' HT. WELL-BRANCHED ABOVE 6' HT., MATCHED., FULL AND BUSHY
	GINKGO BILOBA 'PRINCETON SENTRY' PRINCETON SENTRY GINKGO	22	MIN. 2" CALIPER, 10-12' HT. WELL-BRANCHED ABOVE 6' HT., MATCHED., FULL AND BUSHY
	STEWARTIA PSEUDOCAMELLIA JAPANESE STEWARTIA	5	MIN. 2" CALIPER, 10-12' HT. WELL-BRANCHED ABOVE 6' HT., MATCHED., FULL AND BUSHY
EVERGREEN TREES			
	* THUJA PLICATA 'HOGAN' HOGAN CEDAR	14	MIN. 7' HT., FULL & BUSHY TO BASE, B&B
	* PSEUDOTSUGA MENZIESII DOUGLAS FIR	14	MIN. 7' HT., FULL & BUSHY TO BASE, B&B
	PICEA OMORIKA SERBIAN SPRUCE	13	MIN. 7' HT., FULL & BUSHY TO BASE, B&B
SHRUBS			
	* CORNUS SERICEA 'ARCTIC FIRE' ARCTIC FIRE RED TWIG DOGWOOD	23	MIN. 5 GAL CONT., FULL & BUSHY
	* CORNUS STOLONIFERA 'KELSEY' KELSEY DOGWOOD	426	MIN. 2 GAL CONT., FULL & BUSHY
	* MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE	288	MIN. 2 GAL CONT., FULL & BUSHY
	* VACCINIUM OVATUM EVERGREEN HUCKLEBERRY	127	MIN. 2 GAL CONT., FULL & BUSHY
	* SPIRAEA BETULIFOLIA VAR. LUCIDA SHINY-LEAF SPIREA	171	MIN. 2 GAL CONT., FULL & BUSHY

(LEGEND SHOWN AT 1"=30'-0" SCALE)
* INDICATES PACIFIC NORTHWEST NATIVE SPECIES

SYMBOL	BOTANICAL/COMMON NAME	SIZE/CONDITION/REMARKS
	* BIORETENTION PLANTING MIX	2148
	30% CAREX OBNUPTA SLOUGH SEDGE	644
	20% JUNCUS ACUMINATUS TAPERED BULRUSH	430
	20% JUNCUS ENSIFOLIUS DAGGER LEAF RUSH	430
	30% SCIRPUS MICROCARPUS SMALL FRUITED BULRUSH	644
	* NATIVE GROUNDCOVER MIX	3586
	50% GUALTHERIA SHALLON SALAL	1793
	25% POLYSTICHUM MUNITUM SWORD FERN	896
	25% MAHONIA REPENS CREEPING MAHONIA	897
	* GROUNDCOVER MIX	3176
	50% FRAGARIA CHILOENSIS COASTAL STRAWBERRY	1588
	50% RUBUS CALCYNOIDES 'EMERALD CARPET' CREEPING RASPBERRY	1588
	SEEDED LAWN W/ IMPORT TOPSOIL	SEE SPECIFICATIONS
	EXISTING TREES TO REMAIN	PRESERVE AND PROTECT, SEE CIVIL FOR ADDITIONAL REQUIREMENTS
	APPROXIMATE EXTENTS OF EXISTING CANOPY	PRESERVE AND PROTECT, SEE CIVIL FOR ADDITIONAL REQUIREMENTS



LANDSCAPE PLAN APPROVAL MOUNT VERNON MUNICIPAL CODE (MVMC) CHAPTER 17.93

This plan sheet is approved for construction in accordance with the City of Mount Vernon ordinances and policies. This plan sheet is required to be part of either a Fill & Graco Permit or a Building Permit application.

This plan sheet is not a permit approval, and it does not imply or convey permission to construct any item unless and until the plan sheet is accompanied by an approved permit expressly describing the work shown on this plan. The permit received for the improvements shown on this plan sheet shall be issued by City staff on a City form that is signed by the staff person authorized to sign such permits.

Compliance with all applicable laws is the responsibility of the professional whose name appears on this sheet, the landowner, and the developer completing this work. The City is not responsible for and does not authorize work that is required to comply with Federal, State, County or other local laws, permits or mandates that the City does not have jurisdiction over.

This approval will expire in one year from the date noted on the permit that is received for this work.

LAND USE No: _____ APPROVED BY: _____
DATE: _____ APPROVAL SIGNATURE: _____

OVERALL LANDSCAPE PLAN

Drawn By: TY Checked By: NH

Sheet Number

L2.00

Sheet Number Of

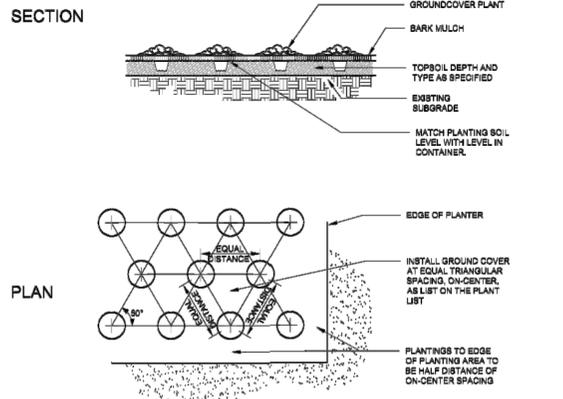
SCALE: 1"=50'-0"
0' 25' 50' 100'



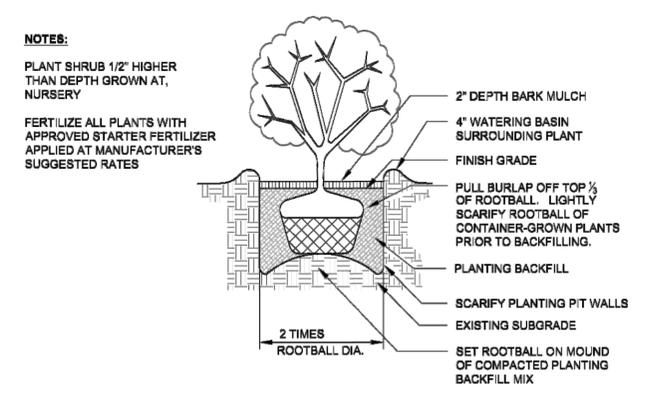
WEISMANDESIGNGROUP

LANDSCAPE ARCHITECTURE
2329 E MADISON ST SEATTLE WA 98112
206-322-1132 WWW.WDNG.COM

All material herein constitutes the original and unpublished work of the architect and may not be used, duplicated or disclosed without the written consent of the architect. Copyright © 2017 by TCF Architecture, PLLC. All rights reserved.



1 GROUNDCOVER PLANTING Scale: NTS



2 SHRUB PLANTING Scale: NTS

LANDSCAPE NOTES:

- SUBMIT COLOR PHOTOS REPRESENTATIVE OF PROPOSED NURSERY STOCK FOR EACH PLANT SPECIES AND VARIETY LISTED IN LANDSCAPE SCHEDULE. FINAL APPROVAL OF PLANT MATERIAL WILL NOT BE PROVIDED UNTIL DELIVERY AND REVIEW ON SITE.
- CONTAINERIZED TREES ARE STRONGLY DISCOURAGED. TREES WITH LARGE CIRCLING ROOTS OR TOO DEEP ROOT SYSTEMS WILL BE REJECTED.
- ALL ROOT PACKAGES MUST BE FREE OF ANY WEEDS.
- TREE STAKING REQUIREMENTS WILL BE DETERMINED BY LANDSCAPE ARCHITECT AT THE TIME OF PLANTING. PROPERLY PROPORTIONED AND PLANTED TREES WITH HEALTHY ROOT PACKAGES MAY NOT REQUIRE STAKING.
- ALL TREE STAKES MUST BE REMOVED BY THE CONTRACTOR BY THE END OF THE FIRST FULL GROWING SEASON.
- IN THE DIRECTION OF THE LANDSCAPE ARCHITECT, PRUNING MAY BE REQUIRED TO REMOVE DAMAGED, CROSSING, MISSHAPEN OR LOW BRANCHING LIMBS. TREES SHOULD NOT REQUIRE SIGNIFICANT PRUNING TO CORRECT HEALTH OR AESTHETIC DEFICIENCIES.
- INSTALL 3" DEPTH SPECIFIED MULCH IN ALL LANDSCAPE AREAS, EXCEPT LAWN AREAS.
- PROVIDE A 6' DIAMETER MULCH CIRCLE AROUND ALL TREES PLANTED IN LAWN AREAS.
- FOR TOPSOIL INSTALLATION DETAILS, SEE TOPSOIL PREPARATION NOTES.
- REFER TO CIVIL DEMOLITION DRAWINGS AND SPECIFICATIONS FOR REMOVAL REQUIREMENTS AND PROTECTION FENCING AROUND EXISTING VEGETATION.
- REFER TO TREE PRESERVATION PLANS FOR SCHEDULE OF EXISTING TREES TO BE SAVED OR REMOVED.
- REFER TO CIVIL PLANS FOR UTILITY WORK. CONTRACTOR RESPONSIBLE FOR PATCH AND REPAIR OF ALL EXISTING LANDSCAPE AREAS DISTURBED BY CONSTRUCTION WORK UNDER THIS CONTRACT.
- ALL DISTURBED AND BARE SOIL TO BE COVERED WITH MULCH.
- REFER TO PLANTING AND SEEDING SPECIFICATION FOR ADDITIONAL REQUIREMENTS, INCLUDING EXTENDED MAINTENANCE REQUIREMENTS.

TOPSOIL PREPARATION NOTES:

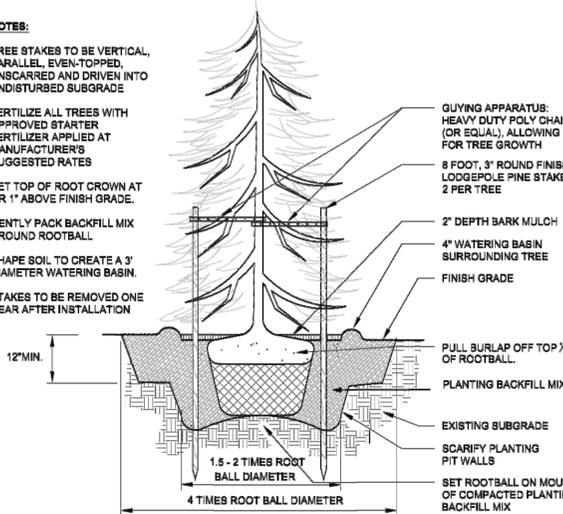
- LANDSCAPE BEDS:
 - IN ALL LANDSCAPE PLANTING BEDS, REMOVE ALL SUBGRADE TO A MINIMUM OF 8" DEEP AS WELL AS ALL ROAD BASE, CONSTRUCTION MATERIALS AND ANYTHING NOT CONTRIBUTING TO VIGOROUS PLANT GROWTH AS NEEDED BEFORE BACK FILLING.
 - BACK FILL ALL PLANTING BEDS WITH APPROVED TOP SOILS FROM ONSITE.
 - TOPSOILS SHALL BE TESTED AT A MINIMUM FOR ORGANIC MATTER, PH, NUTRIENTS, AND HIGH SALTS AND AMENDED AS NEEDED.
 - AFTER UNACCEPTABLE MATERIAL IS REMOVED TOPSOILS SHALL BE INSTALLED IN TWO LIFTS AND INCORPORATED INTO EXISTING SUBGRADE, SEE SPECIFICATIONS.
 - RAKE LEVEL AND DO NOT PACK.
- LAWN AREAS:
 - IN ALL LAWN AREAS, REMOVE ALL SUBGRADE TO A MINIMUM OF 8" DEEP AS WELL AS ALL ROAD BASE, CONSTRUCTION MATERIALS AND ANYTHING NOT CONTRIBUTING TO VIGOROUS PLANT GROWTH AS NEEDED BEFORE BACK FILLING.
 - PLACE 4" OF ACCEPTABLE IMPORT TOPSOIL OVER SUBGRADE. ROTO-TILL OR RIP TURF AREAS TO 8" DEPTH MINIMUM TO PARTIALLY INCORPORATE TOPSOILS. PLACE SECOND LIFT OF TOPSOIL, SEE SPECIFICATIONS.
 - LIGHTLY PACK, LEVEL AND ROLL FOR FINAL ACCEPTABLE SEEDBED.

WARRANTIES:

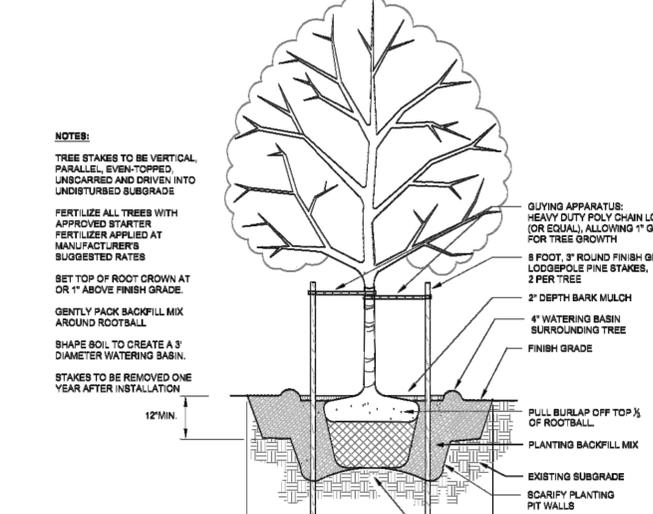
- PLANTS NOT ESTABLISHED OR IN DECLINE SHALL BE REPLACED AT START OF FIRST DORMANT SEASON WITH SAME SIZE OR LARGER PLANT MATERIAL.
- MAINTENANCE SHALL INCLUDE MOWING, WEEDING OF ALL BEDS, INCLUDING INVASIVE PLANTS FROM ALL PLANTED AREAS INCLUDING BUFFERS.
- SEE SPECIFICATIONS FOR ADDITIONAL MAINTENANCE AND WARRANTY REQUIREMENTS.

GENERAL LANDSCAPE APPROVAL NOTES:

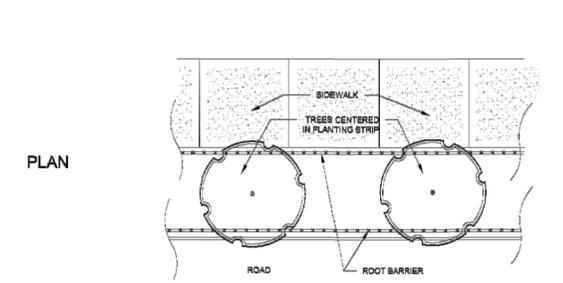
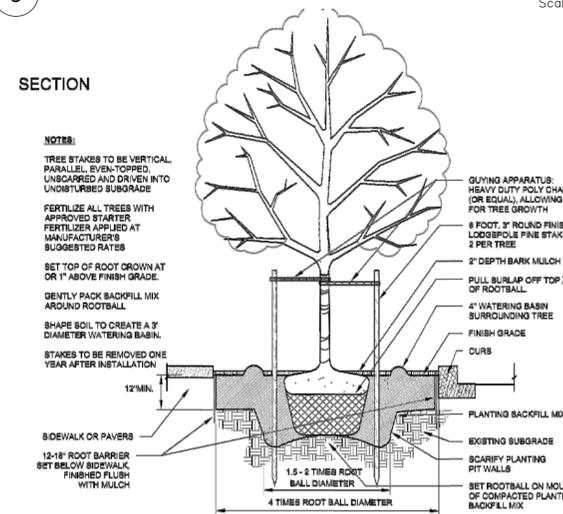
- ALL DIMENSIONS ARE ASSUMED TO BE PARALLEL OR PERPENDICULAR UNLESS OTHERWISE NOTED.
- ALL SOIL GRADES TO BE A MINIMUM SIX-INCHES BELOW ADJACENT FINISH FLOOR ELEVATIONS UNLESS NOTED OTHERWISE ALL GRADES ADJACENT TO A BUILDING SHALL HAVE A MAXIMUM SLOPE OF 5% 3 FEET FROM FOUNDATION.
- ALL GRADES, DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE PROFESSIONAL AND THE CITY.
- APPLICANTS ARE RESPONSIBLE FOR MINIMIZING CONFLICTS WITH UNDERGROUND AND OVERHEAD UTILITIES.
- ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH THIS KIND OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED FOREMAN.
- LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL SITE UTILITIES PRIOR TO LANDSCAPE IMPLEMENTATION.
- LANDSCAPE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING SITE IMPROVEMENTS, PAVING, WALLS, AND UNDERGROUND UTILITIES. DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT NO ADDITIONAL COST.
- CONSTRUCTION DEBRIS MUST BE REMOVED AND NOT BURIED ON SITE.
- TOPSOIL, ORIGINAL TO THE SITE AND IF SUITABLE FOR PLANTING AREAS, MAY BE REQUIRED TO BE STORED DURING SITE CONSTRUCTION FOR REUSE DURING THE LANDSCAPE INSTALLATION PHASE.
- ALL PLANT MATERIAL SIZES AND QUALITY TO CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, 2014, OR AS SUBSEQUENTLY UPDATED.
- ALL PLANT MATERIAL SHALL BE OF NURSERY STOCK AND SHALL BE OF THE TYPE, SIZE AND CONDITION SPECIFIED.
- THE PLANT MATERIAL SHALL EXHIBIT NORMAL HABITS OF GROWTH FOR THE SPECIES, SHALL HAVE BUDS INTACT AND SHALL BE FREE OF DISEASE, INSECTS, SCARS, BRUISES, BREAKS, SEED AND WEED ROOTS.
- PLANT LOCATIONS ON THE PLANS ARE DIAGRAMMATIC AND MAY BE SUBJECT TO ADJUSTMENT IN THE FIELD BY THE LANDSCAPE CONTRACTOR. PLANT LOCATIONS MAY BE ADJUSTED TO AVOID CONFLICT.
- PLANT COUNT IS FOR THE CONTRACTOR'S CONVENIENCE; IF THERE IS A DISCREPANCY, THE PLAN SHALL GOVERN. ACTUAL PLANT QUANTITIES TO BE DETERMINED BY REQUIRED PLANT SPACING.
- SUBSTITUTION OF PLANT VARIETIES DUE TO LACK OF AVAILABILITY SUBJECT TO APPROVAL BY THE OWNERS REPRESENTATIVE AND THE CITY OF MOUNT VERNON.
- TREES SHALL NOT BE PLANTED CLOSER THAN TWO FOOT FROM ANY PERMANENT HARD SURFACE PAVING OR WALKWAY.
- WHERE LANDSCAPING AREAS ARE REQUIRED ALONG STREET FRONTAGES, THE MATURE GROWING HEIGHT OF SHRUBS SHALL NOT EXCEED 36 - INCHES AND NO TREE SHALL HAVE BRANCHES OR FOLIAGE BELOW FIVE FEET OR PLACED WITHIN THE SIGHT TRIANGLE.
- ALL LANDSCAPE AREAS SHALL HAVE ADEQUATE DRAINAGE, EITHER THROUGH NATURAL PERCOLATION OR BY MEANS OF AN INSTALLED DRAINAGE SYSTEM.
- IRRIGATION OR SPRINKLING SYSTEMS FOR WATERING LANDSCAPED AREAS ARE STRONGLY ENCOURAGED. IF IRRIGATION OR SPRINKLING SYSTEMS ARE NOT INSTALLED, THE APPLICANT SHALL DEMONSTRATE THAT ALL OF THE LANDSCAPING THAT WILL BE INSTALLED IS DROUGHT-TOLERANT. ALL LANDSCAPE AREAS, INCLUDING DROUGHT-TOLERANT PLANTINGS, NEED TO RECEIVE TEMPORARY IRRIGATION UNTIL ESTABLISHED TO THRIVE ON THEIR OWN.
- ALL NON-IRRIGATED LANDSCAPE AREAS (NOT-RAIN GARDEN) SHALL HAVE A WETTING AGENT APPLIED AT MANUFACTURER'S RECOMMENDED RATE.
- IF NO AUTOMATIC IRRIGATION IS SUPPLIED, SUPPLEMENTAL HAND WATERING SHALL BE REQUIRED DURING FIRST TWO YEARS TO AID IN PLANT ESTABLISHMENT.
- LANDSCAPING IN THE VICINITY OF ANY FIRE HYDRANT, FIRE DEPARTMENT SPRINKLER CONNECTION, OR STANDPIPE CONNECTION SHALL NOT PREVENT SUCH EQUIPMENT FROM BEING IMMEDIATELY DISCERNIBLE NOR IN ANY OTHER MANNER DETER OR HINDER THE FIRE DEPARTMENT FROM GAINING IMMEDIATE ACCESS TO SAID EQUIPMENT. THE FOLLOWING SHALL ACT AS A GUIDELINE FOR THE LANDSCAPING AROUND SAID EQUIPMENT, WITH FINAL APPROVAL FROM THE CITY FIRE MARSHAL: FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS FOR SPRINKLERS AND STANDPIPES SHALL BE FREE FROM OBSTRUCTION ON ALL SIDES BY A MINIMUM CLEARANCE OF THREE FEET.
- THE APPLICANT IS RESPONSIBLE FOR SUBMITTING REPORTS AND ASSOCIATED MATERIALS DOCUMENTING COMPLIANCE WITH THE CITY'S APPROVED PLANTING PLAN. AS-PLANTED PLANS WILL BE REQUIRED TO BE SUBMITTED PRIOR TO FINAL APPROVAL OR OCCUPANCY.
- ALL REQUIRED LANDSCAPING AND SCREENING AREAS SHALL BE MAINTAINED IN A HEALTHY, GROWING CONDITION. BROKEN, DEAD OR DYING TREES, SHRUBS OR PLANTS SHALL BE REPLACED UPON NOTIFICATION BY THE CITY. ALL LANDSCAPING AND SCREENING AREAS SHALL BE MAINTAINED REASONABLY FREE OF WEEDS AND TRASH. ANY PROPERTY OWNER WHO FAILS TO REASONABLY MAINTAIN AND REPLACE LANDSCAPING AND SCREENING AREAS WILL BE CONSIDERED TO HAVE COMMITTED AN OFFENSE UNDER THE MOUNT VERNON MUNICIPAL CODE.



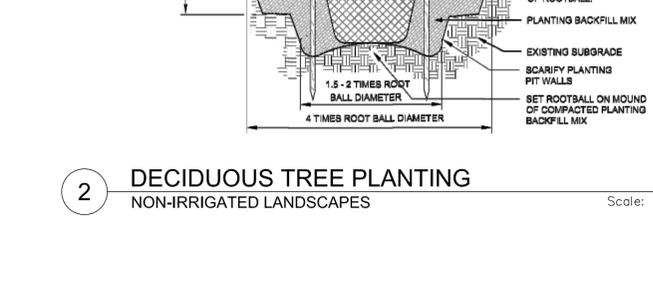
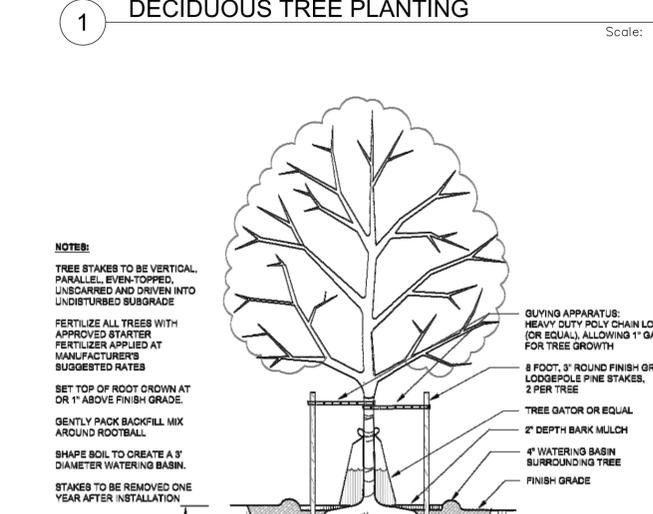
3 CONIFEROUS TREE PLANTING Scale: NTS



1 DECIDUOUS TREE PLANTING Scale: NTS



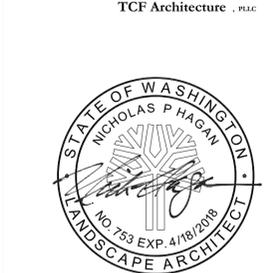
2 DECIDUOUS TREE PLANTING ROOT BARRIER Scale: NTS



2 DECIDUOUS TREE PLANTING NON-IRRIGATED LANDSCAPES Scale: NTS

NON-RESIDENTIAL LANDSCAPE REQUIREMENTS AND FORMULAS:		
Gross Square Footage of Site:	720,807 s.f.	
Landscape Area Required (15%)	See MVMC 17.93.020 for required %	Gross s.f. x required % of landscaping = 720,807 s.f. x 15% = 108,122 s.f.
Landscape Area Provided	Actual % of landscaping provided	558,848 s.f. / 720,807 s.f. = 77.5%
Street Frontages Identified	Includes both public and private roads	East Fir Street (391 L.L.) North 9th Street (641 L.L.)
Width of Landscaping Required Along Street Frontages	10 feet	
Linear Feet of Street Frontages + 30 (street frontages are both public & private streets)	= 34 street trees required along street frontages	
Gross Square Footage of Parking Area:	See MVMC 17.93.030 for definition	76,705 s.f.
Landscape Area Required (10%)	Parking Area x Required %	5.F. of landscaping required within parking areas = 76,705 s.f. x 10% = 7,671 s.f.
Parking Lot Landscaping Provided	Actual s.f. of parking area landscaping provided	8,8982 s.f. (11.7%)
Number of Trees Required in Parking Area	Parking Area + 150 s.f.	Required # of Trees = 7,671 s.f. / 150 s.f. = 52
Number of Trees Provided	Actual # of Trees	52

City of MOUNT VERNON	NON-RESIDENTIAL LANDSCAPE REQUIREMENTS & FORMULAS TO BE PLACE ON SITE PLANS	DETAIL NO.	9
		SCALE	NA
		REVISION DATE	07/2017



CITY OF MOUNT VERNON

LANDSCAPE PLAN APPROVAL
MOUNT VERNON MUNICIPAL CODE (MVMC)
CHAPTER 17.93

This plan sheet is approved for construction in accordance with the City of Mount Vernon ordinances and policies. This plan sheet is required to be part of either a Fill & Grade Permit or a Building Permit application.

This plan sheet is not a permit approval and it does not imply or convey permission to construct any item unless and until the plan sheet is accompanied by an approved permit expressly describing the work shown on this plan. The permit received for the improvements shown on this plan sheet shall be issued by City staff on a City form that is signed by the staff person authorized to sign such permits.

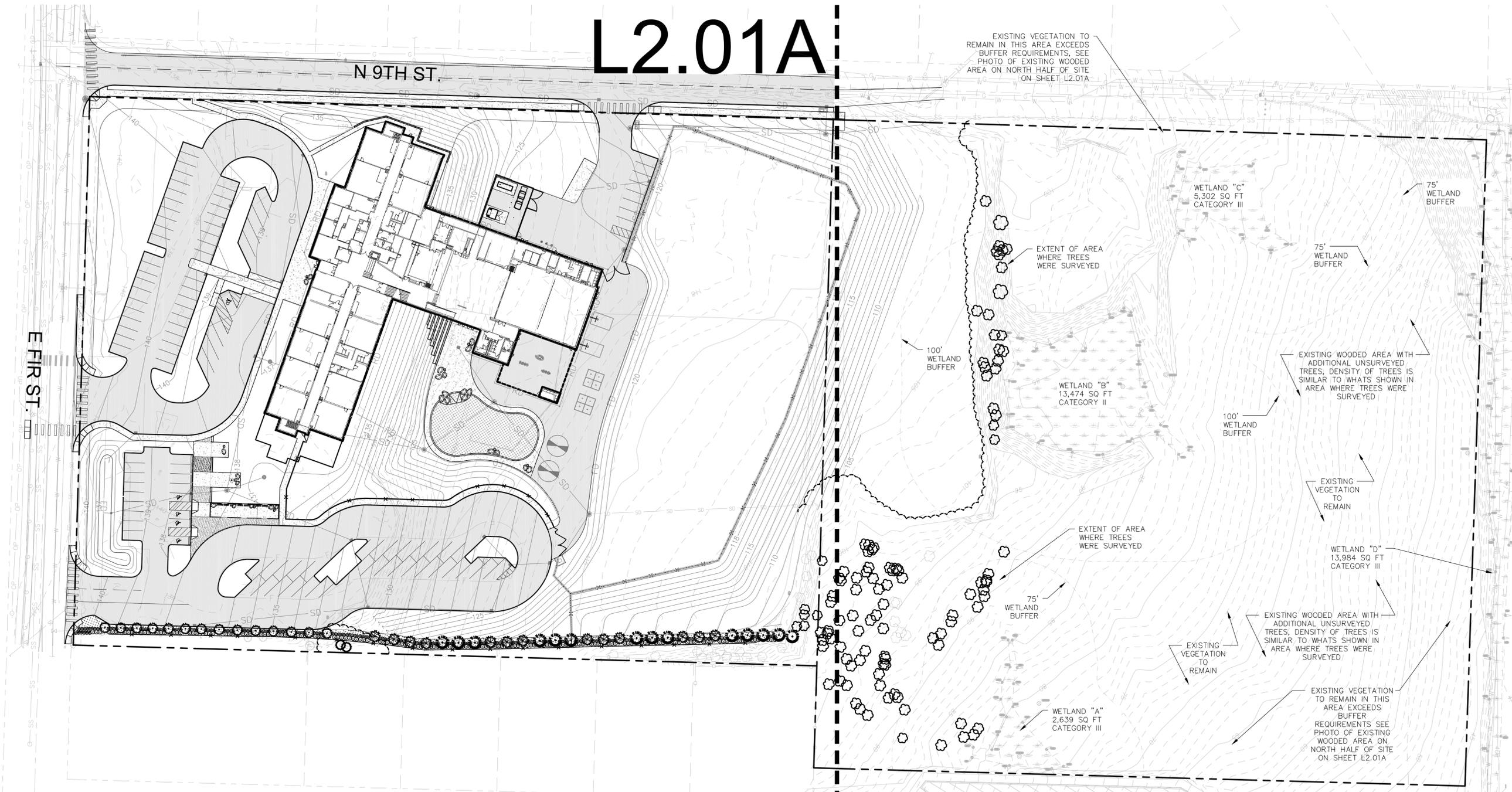
Compliance with all applicable laws is the responsibility of the professional whose name appears on this sheet, the landowner, and the developer completing this work. The City is not responsible for and does not authorize work that is required to comply with Federal, State, County or other local laws, permits or mandates that the City does not have jurisdiction over.

This approval will expire in one year from the date noted on the permit that is received for this work.

LAND USE NO: _____ APPROVED BY: _____
DATE: _____ APPROVAL SIGNATURE: _____



Project Title
MADISON ELEMENTARY SCHOOL
907 EAST FIR STREET
MOUNT VERNON, WA 98273
Project Numbers
MASTER PLANNING
NOT FOR CONSTRUCTION
Revision & Issue Dates
FEBRUARY 7, 2018 MASTER PLANNING



L2.01A

BUFFER LANDSCAPE SCHEDULE

(LEGEND SHOWN AT 1"=30'-0" SCALE)
* INDICATES PACIFIC NORTHWEST NATIVE SPECIES

SYMBOL	QTY.	BOTANICAL/Common Name	QUANTITY	SIZE/CONDITION/REMARKS
EVERGREEN TREES				
	*	THUJA PLICATA 'HOGAN' HOGAN CEDAR	14	MIN. 7' HT., FULL & BUSHY TO BASE, B&B
	*	PSEUDOTSUGA MENZIESII DOUGLAS FIR	14	MIN. 7' HT., FULL & BUSHY TO BASE, B&B
		PICEA OMORIKA SERBIAN SPRUCE	13	MIN. 7' HT., FULL & BUSHY TO BASE, B&B
SHRUBS				
	*	CORNUS STOLONIFERA 'KELSEY' KELSEY DOGWOOD	186	MIN. 2 GAL CONT., FULL & BUSHY
	*	VACCINIUM OVATUM EVERGREEN HUCKLEBERRY	129	MIN. 2 GAL CONT., FULL & BUSHY
NATIVE GROUND COVER MIX				
	*	50% GUALTHERIA SHALLON SALAL	864	MIN. 2 GAL. CONT. @ 18" O.C. TRIANGULAR SPACING, START FIRST ROW 9" FROM EDGE OF PLANTING AREA (EXCEPT SWORD FERNS AT 18" FROM EDGE OF PLANTING).
	*	25% POLYSTICHUM MUNITUM SWORD FERN	432	
	*	25% MAHONIA REPENS CREEPING MAHONIA	432	
		EXISTING TREES TO REMAIN		PRESERVE AND PROTECT, SEE CIVIL FOR ADDITIONAL REQUIREMENTS
		APPROXIMATE EXTENTS OF EXISTING CANOPY		PRESERVE AND PROTECT, SEE CIVIL FOR ADDITIONAL REQUIREMENTS

BUFFER LANDSCAPE CALCULATIONS

CODE REQUIRED EAST LANDSCAPE BUFFER:
TYPE I SCREENING, 10' WIDTH, TREES 15' O.C., MIN 75% EVERGREEN TREES, MEDIUM SHRUBS AT 6' OC. WITH FENCING PER MVMC 17.93.

LF OF REQUIRED BUFFER:	694'
LF OF EXISTING TREES TO REMAIN IN LIEU OF NEW TREES:	80'
TOTAL LF OF NEW TREES REQUIRED:	614'
REQUIRED TREES (AT 15' SPACING):	41
REQUIRED EVERGREEN TREES (75%):	31
PROVIDED TREES:	41
PROVIDED EVERGREEN TREES:	41

NOTE:
EXISTING VEGETATION TO REMAIN IN WOODED AREA ON NORTH HALF OF SITE EXCEEDS BUFFER REQUIREMENTS AND IS NOT FACTORED INTO CALCULATIONS SHOWN ABOVE.

SCALE: 1"=50'-0"

WEISMANDESIGNGROUP

LANDSCAPE ARCHITECTURE
2323 E MADISON ST SEATTLE WA 98112
206-322-1732 WWW.WDIGN.COM

CITY OF MOUNT VERNON

LANDSCAPE PLAN APPROVAL
MOUNT VERNON MUNICIPAL CODE (MVMC)
CHAPTER 17.93

This plan sheet is approved for construction in accordance with the City of Mount Vernon ordinances and policies. This plan sheet is required to be part of either a Fill & Grade Permit or a Building Permit application.

This plan sheet is not a permit approval and it does not imply or convey permission to construct any item unless and until this plan sheet is accompanied by an approved permit expressly describing the work shown on this plan. The permit received for the improvements shown on this plan sheet shall be issued by City staff on a City form that is signed by the staff person authorized to sign such permits.

Compliance with all applicable laws is the responsibility of the professional whose name appears on this sheet, the landowner, and the developer completing this work. The City is not responsible for and does not authorize work that is required to comply with Federal, State, County or other local laws, permits or mandates that the City does not have jurisdiction over.

This approval will expire in one year from the date noted on the permit that is received for this work.

LAND USER: _____ APPROVED BY: _____
DATE: _____ APPROVAL SIGNATURE: _____

Sheet Title
OVERALL BUFFER LANDSCAPE PLAN

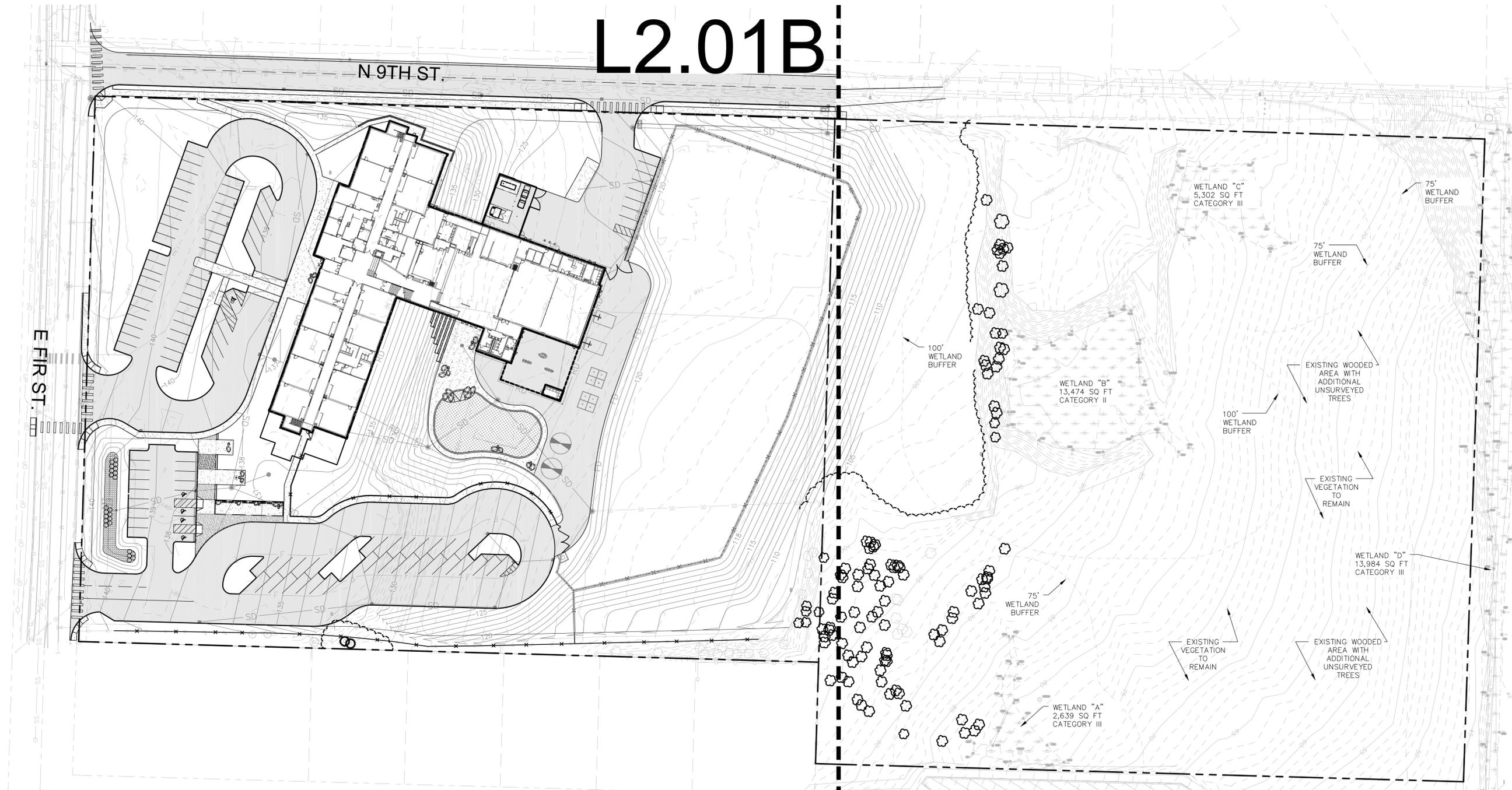
Drawn By: TY
Checked By: NH

Sheet Number
L2.00A

Sheet Number: Of

All material herein constitutes the original and unpublished work of the architect and may not be used, duplicated or disclosed without the written consent of the architect. Copyright © 2017 by TCF Architecture, PLLC. All rights reserved.

L2.01B



BIORETENTION LANDSCAPE SCHEDULE

(LEGEND SHOWN AT 1"=30'-0" SCALE)
* INDICATES PACIFIC NORTHWEST NATIVE SPECIES

SYMBOL	QTY.	BOTANICAL/COMMON NAME	QUANTITY	SIZE/CONDITION/REMARKS
SHRUBS				
⊙	*	CORNUS SERICEA 'ARCTIC FIRE'	23	MIN. 5 GAL CONT., FULL & BUSHY
		ARCTIC FIRE RED TWIG DOGWOOD		
▨	*	BIORETENTION PLANTING MIX	2148	
		30% CAREX OBNUPTA	644	10" PLUGS ⊙ 8" O.C. SPACING
		SLOUGH SEDGE		
		20% JUNCUS ACUMINATUS	430	
		TAPERED BULRUSH		
		20% JUNCUS ENSIFOLIUS	430	
		DAGGER LEAF RUSH		
		30% SCIRPUS MICROCARPUS	644	
		SMALL FRUITED BULRUSH		

SCALE: 1"=50'-0"



WEISMANDESIGNGROUP

LANDSCAPE ARCHITECTURE 2323 E MADISON ST SEATTLE WA 98112 206-322-1732 WWW.WDGN.COM

CITY OF MOUNT VERNON

LANDSCAPE PLAN APPROVAL
MOUNT VERNON MUNICIPAL CODE (MVMC)
CHAPTER 17.93

This plan sheet is approved for construction in accordance with the City of Mount Vernon ordinances and policies. This plan sheet is required to be part of either a Fill & Grade Permit or a Building Permit application.

This plan sheet is not a permit approval and it does not imply or convey permission to construct any item unless and until this plan sheet is accompanied by an approved permit expressly describing the work shown on this plan. The permit received for the improvements shown on this plan sheet shall be issued by City staff on a City form that is signed by the staff person authorized to sign such permits.

Compliance with all applicable laws is the responsibility of the professional whose name appears on this sheet, the landowner, and the developer completing this work. The City is not responsible for and does not authorize work that is required to comply with Federal, State, County or other local laws, permits or mandates that the City does not have jurisdiction over.

This approval will expire in one year from the date noted on the permit that is received for this work.

LAND USER: _____ APPROVED BY: _____
DATE: _____ APPROVAL SIGNATURE: _____



Project Title
MADISON ELEMENTARY SCHOOL
907 EAST FIR STREET
MOUNT VERNON, WA 98273

Project Numbers

MASTER PLANNING
NOT FOR CONSTRUCTION
Revision & Issue Dates
FEBRUARY 7, 2018 MASTER PLANNING

Sheet Title
OVERALL BIORETENTION LANDSCAPE PLAN

Drawn By _____ Checked By _____
TY _____ NH _____

Sheet Number

L2.00B

Sheet Number _____ Of _____

All material herein constitutes the original and unpublished work of the architect and may not be used, duplicated or disclosed without the written consent of the architect. Copyright © 2017 by TCF Architecture, PLLC. All rights reserved.

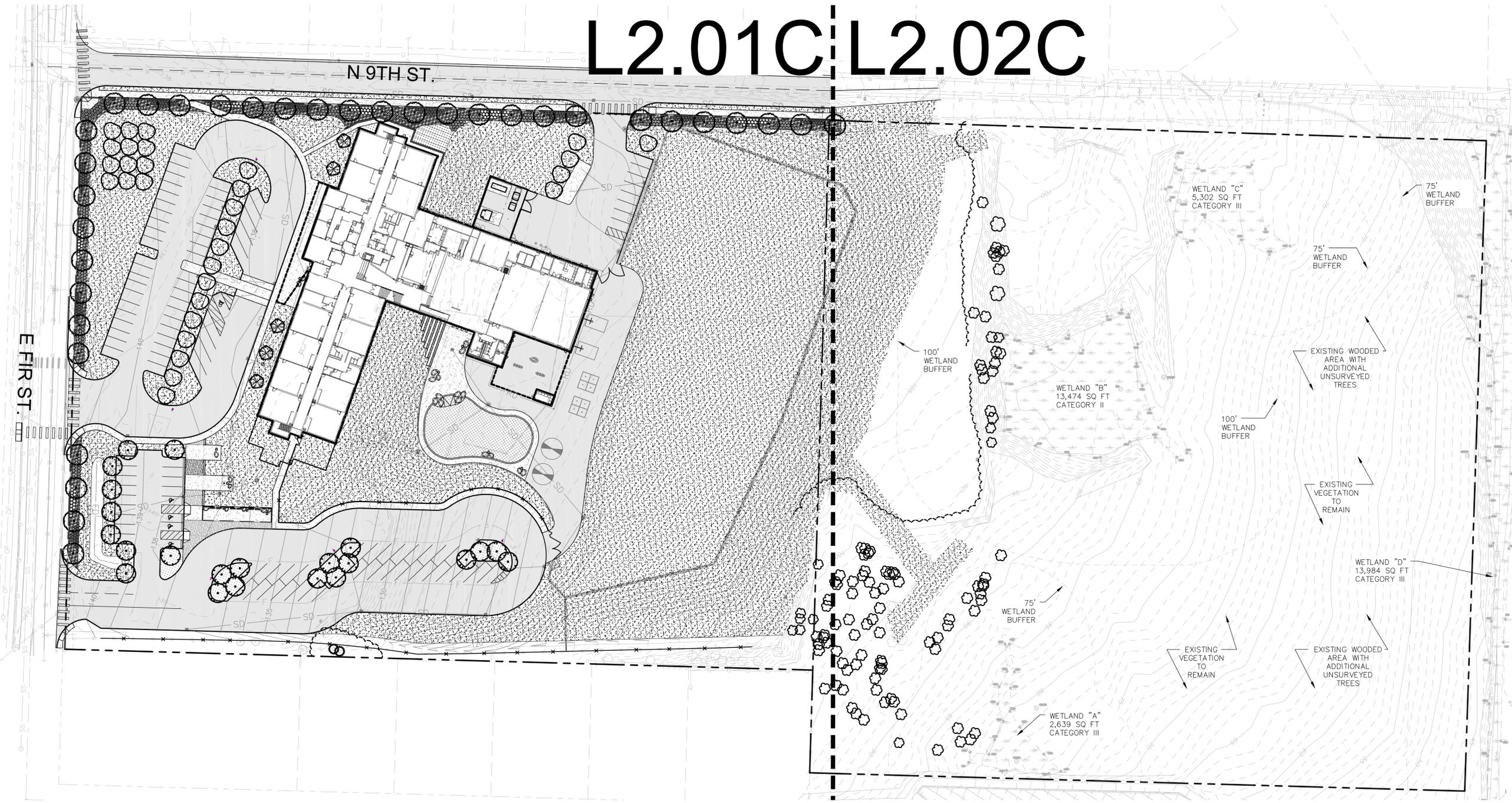
L2.01C | L2.02C



Project Title
**MADISON
ELEMENTARY
SCHOOL**
907 EAST FIR STREET
MOUNT VERNON, WA 98273

Project Numbers

MASTER PLANNING
NOT FOR CONSTRUCTION
Revision & Issue Dates
FEBRUARY 7, 2018 MASTER PLANNING



ORNAMENTAL LANDSCAPE SCHEDULE (LEGEND SHOWN AT 1"=30'-0" SCALE) INDICATES PACIFIC NORTHWEST NATIVE SPECIES

SYMBOL	QTY.	BOTANICAL/COMMON NAME	QUANTITY	SIZE/CONDITION/REMARKS
	33	CERCIDIPHYLLUM JAPONICUM KATSURA		MIN. 2" CALIPER, 10-12' HT. WELL-BRANCHED ABOVE 6" HT., MATCHED., FULL AND BUSHY
	31	ACER RUBRUM 'BOWHALL' BOWHALL MAPLE		MIN. 2" CALIPER, 10-12' HT. WELL-BRANCHED ABOVE 6" HT., MATCHED., FULL AND BUSHY
	21	GINKGO BILOBA 'PRINCETON SENTRY' PRINCETON SENTRY GINKGO		MIN. 2" CALIPER, 10-12' HT. WELL-BRANCHED ABOVE 6" HT., MATCHED., FULL AND BUSHY
	6	STEWARTIA PSEUDOCAMELLIA JAPANESE STEWARTIA SHRUBS		MIN. 2" CALIPER, 10-12' HT. WELL-BRANCHED ABOVE 6" HT., MATCHED., FULL AND BUSHY
	240	* CORNUS STOLONIFERA 'KELSEY' KELSEY DOGWOOD		MIN. 2 GAL CONT., FULL & BUSHY
	288	* MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE		MIN. 2 GAL CONT., FULL & BUSHY
	171	* SPIRAEA BETULIFOLIA VAR. LUCIDA SHINY-LEAF SPIREA		MIN. 2 GAL CONT., FULL & BUSHY

LANDSCAPE SCHEDULE CONT. (LEGEND SHOWN AT 1"=30'-0" SCALE) INDICATES PACIFIC NORTHWEST NATIVE SPECIES

SYMBOL	QTY.	BOTANICAL/COMMON NAME	QUANTITY	SIZE/CONDITION/REMARKS
	3176	* GROUNDCOVER MIX		MIN. 2 GAL. CONT. @ 18" O.C. TRIANGULAR SPACING, START FIRST ROW 9" FROM EDGE OF PLANTING AREA
	1858	* NATIVE GROUNDCOVER MIX		MIN. 2 GAL. CONT. @ 18" O.C. TRIANGULAR SPACING, START FIRST ROW 9" FROM EDGE OF PLANTING AREA (EXCEPT SWORD FERNS AT 18" FROM EDGE OF PLANTING).
		SEEDED LAWN W/ IMPORT TOPSOIL		SEE SPECIFICATIONS
		EXISTING TREES TO REMAIN		PRESERVE AND PROTECT, SEE CIVIL FOR ADDITIONAL REQUIREMENTS
		APPROXIMATE EXTENTS OF EXISTING CANOPY		PRESERVE AND PROTECT, SEE CIVIL FOR ADDITIONAL REQUIREMENTS

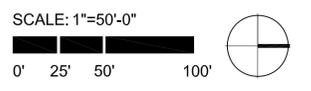
ORNAMENTAL LANDSCAPE CALCULATIONS

CODE REQUIRED OVERALL LANDSCAPE AREA:
15% OF GROSS SITE AREA TO BE LANDSCAPE AREA PER MVMC 17.93.

PROJECT GROSS SITE AREA: 720,807 SF
REQUIRED LANDSCAPE AREA (15%): 108,122 SF
PROVIDED LANDSCAPE AREA: 558,848 SF = 77%

CODE REQUIRED PARKING LOT LANDSCAPING:
10% OF PARKING AREA TO BE LANDSCAPE AREA, 1 TREE PER 150 SF OF REQUIRED LANDSCAPE AREA, PER MVMC 17.93.

PROJECT PARKING AREA: 76,705 SF
REQUIRED LANDSCAPE AREA (10%): 7,671 SF
REQUIRED TREES (1 PER 150 SF): 52
PROVIDED LANDSCAPE AREA: 8,982 SF
PROVIDED TREES: 52



WEISMANDESIGNGROUP

LANDSCAPE ARCHITECTURE
2323 E MADISON ST SEATTLE WA 98112
206-322-1732 WWW.WDGINC.COM

CITY OF MOUNT VERNON

LANDSCAPE PLAN APPROVAL
MOUNT VERNON MUNICIPAL CODE (MVMC)
CHAPTER 17.93

This plan sheet is approved for construction in accordance with the City of Mount Vernon ordinances and policies. This plan sheet is required to be part of either a Fill & Grade Permit or a Building Permit application.

This plan sheet is not a permit approval and it does not imply or convey permission to construct any item unless and until this plan sheet is accompanied by an approved permit expressly describing the work shown on this plan. The permit received for the improvements shown on this plan sheet shall be issued by City staff on a City form that is signed by the staff person authorized to sign such permits.

Compliance with all applicable laws is the responsibility of the professional whose name appears on this sheet, the landowner, and the developer completing this work. The City is not responsible for and does not authorize work that is required to comply with Federal, State, County or other local laws, permits or mandates that the City does not have jurisdiction over.

This approval will expire in one year from the date noted on the permit that is received for this work.

LAND USER: _____ APPROVED BY: _____
DATE: _____ APPROVAL SIGNATURE: _____

OVERALL ORNAMENTAL LANDSCAPE PLAN

Drawn By: TY
Checked By: NH

Sheet Number

L2.00C

Sheet Number of

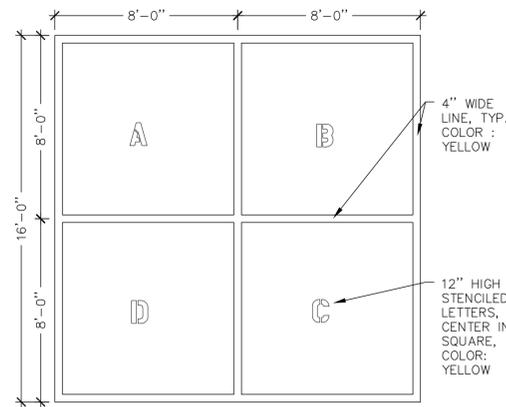
All material herein constitutes the original and unpublished work of the architect and may not be used, duplicated or disclosed without the written consent of the architect. Copyright © 2017 by TCF Architecture, PLLC. All rights reserved.



Project Title
**MADISON
ELEMENTARY
SCHOOL**
907 EAST FIR STREET
MOUNT VERNON, WA 98273

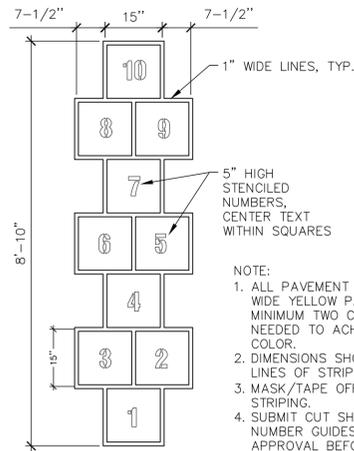
Project Numbers

MASTER PLANNING
NOT FOR CONSTRUCTION
Revision & Issue Dates
FEBRUARY 7, 2018 MASTER PLANNING



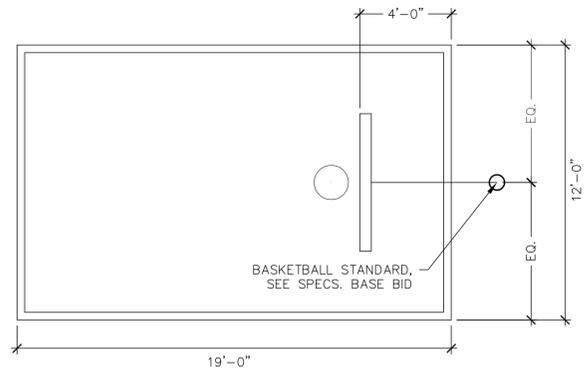
- NOTES:
1. MASK/TAPE OFF ALL LINES FOR STRIPING.
2. SUBMIT CUT SHEETS OF STENCIL LETTER GUIDES TO ARCHITECT FOR APPROVAL BEFORE MARKING PAVEMENT.

1 FOUR SQUARE Scale: 1/4"=1'-0"



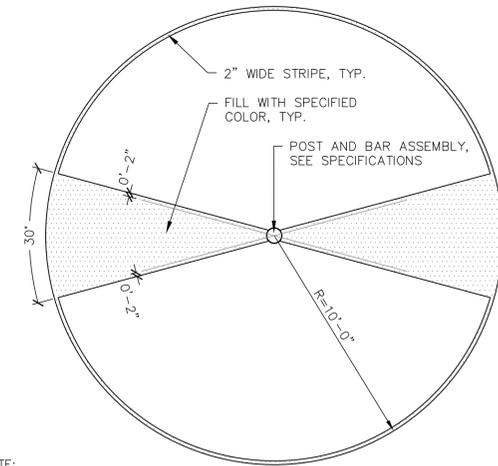
- NOTE:
1. ALL PAVEMENT STRIPING TO BE 1" WIDE YELLOW PAINT. PROVIDE MINIMUM TWO COATS. REPEAT AS NEEDED TO ACHIEVE SOLID, OPAQUE COLOR.
2. DIMENSIONS SHOWN ARE TO CENTER LINES OF STRIPING.
3. MASK/TAPE OFF ALL LINES FOR STRIPING.
4. SUBMIT CUT SHEETS OF STENCIL NUMBER GUIDES TO ARCHITECT FOR APPROVAL BEFORE MARKING PAVEMENT.

2 HOPSCOTCH Scale: 1/2"=1'-0"



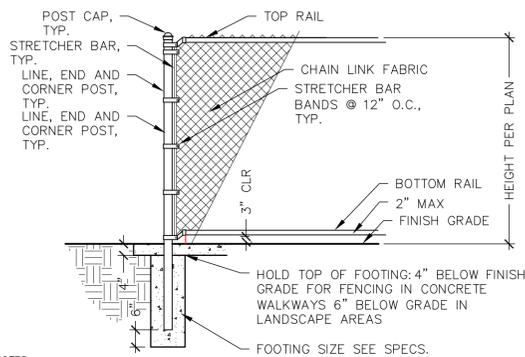
- NOTES:
1. ALL PAVEMENT STRIPING TO BE 4" WIDE YELLOW PAINT. PROVIDE REPEAT COATS AS NEEDED TO ACHIEVE SOLID, OPAQUE COLOR.
2. MASK/TAPE OFF ALL LINES FOR STRIPING.

3 HALF COURT BASKETBALL Scale: 1/4"=1'-0"



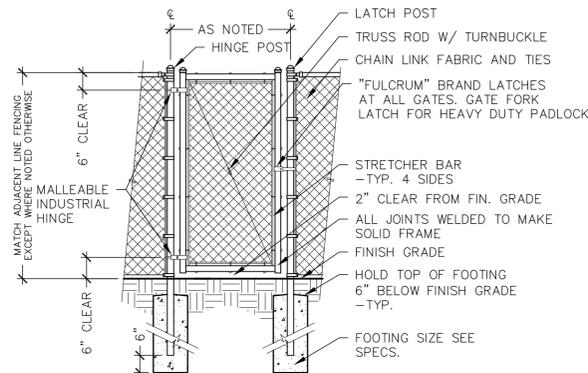
- NOTE:
1. ALL PAVEMENT STRIPING TO BE 2" WIDE YELLOW PAINT. PROVIDE MINIMUM TWO COATS. REPEAT AS NEEDED TO ACHIEVE SOLID, OPAQUE COLOR.
2. MASK/TAPE OFF ALL LINES FOR STRIPING.

4 TETHER BALL Scale: 1/4"=1'-0"



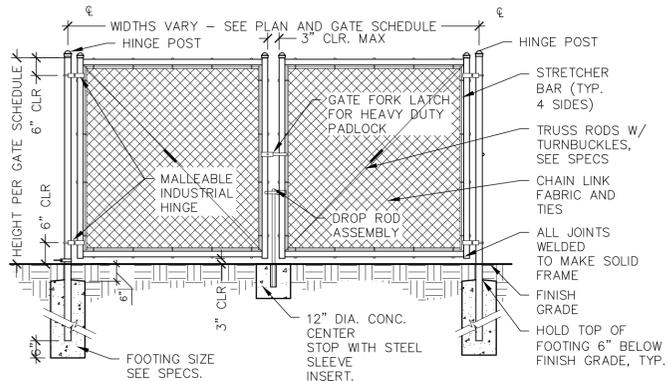
- NOTES:
1. 42" FOOTING DEPTH, 36" EMBEDMENT @ CORNERS AND END POSTS. POST SPACING 10'0" O.C. MAX.
2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON POSTS, RAILING AND OTHER COMPONENTS.
3. PROVIDE 18" CONCRETE MOW STRIPS WHERE FENCE FALLS IN LAWN AREAS. CENTER FENCE ON STRIP.
4. ALL FENCE COMPONENTS TO BE GALVANIZED STEEL, BLACK POWDER COATED/ BLACK VINYL PVC AS SPECIFIED.
5. PROVIDE CRACK CONTROL JOINT CENTERED ON EACH POST
6. PROVIDE BLACK SIGHT OBSCURING SLATS, WHERE NOTED ON PLANS

5 3' TO 6' HT. CHAIN LINK FENCE Scale: 3/8"=1'-0"



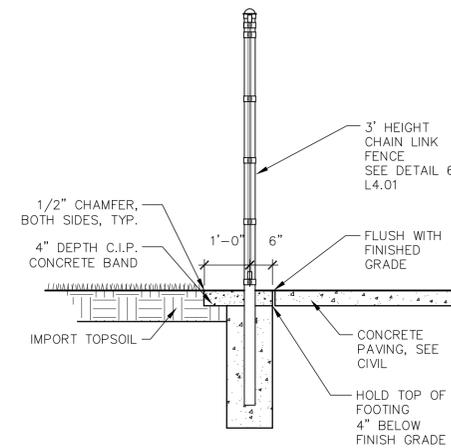
- NOTES:
1. ALL GATES TO BE INSTALLED PLUMB, AND SECURE FOR FULL OPENING WITHOUT INTERFERENCES.
2. ATTACH HARDWARE BY MEANS WHICH WILL PREVENT UNAUTHORIZED REMOVAL.
3. ADJUST HARDWARE FOR SMOOTH OPERATION.
4. ALL FENCE COMPONENTS TO BE GALVANIZED STEEL, BLACK POWDER COATED/ BLACK VINYL PVC AS SPECIFIED.
5. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

6 CHAIN LINK PEDESTRIAN GATE Scale: 3/8"=1'-0"

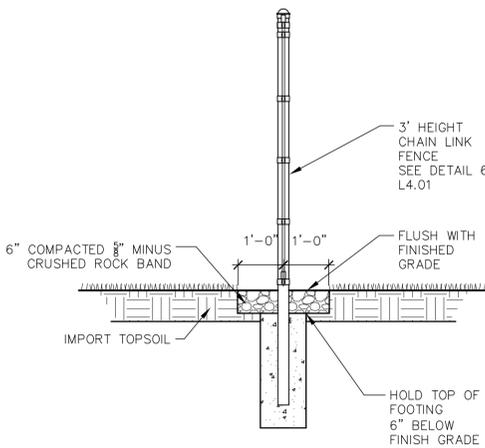


- NOTES:
1. ALL GATES TO BE INSTALLED PLUMB, AND SECURE FOR FULL OPENING WITHOUT INTERFERENCES.
2. ATTACH HARDWARE BY MEANS WHICH WILL PREVENT UNAUTHORIZED REMOVAL.
3. ADJUST HARDWARE FOR SMOOTH OPERATION.
4. PROVIDE CANE BOLT AND RECEPTACLE IN PAVEMENT TO SECURE IN CLOSED POSITION
5. ALL FENCE COMPONENTS TO BE GALVANIZED STEEL, BLACK POWDER COATED/ BLACK VINYL PVC AS SPECIFIED.
6. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

7 CHAIN LINK DOUBLE SWING GATE Scale: 3/8"=1'-0"



8 CONCRETE BAND AT FENCE Scale: 1/2"=1'-0"



9 GRAVEL MOW STRIP AT FENCE Scale: 1/2"=1'-0"

CITY OF MOUNT VERNON

LANDSCAPE PLAN APPROVAL
MOUNT VERNON MUNICIPAL CODE (MVMC)
CHAPTER 17.93

This plan sheet is approved for construction in accordance with the City of Mount Vernon ordinances and policies. This plan sheet is required to be part of either a Fill & Grade Permit or a Building Permit application.

This plan sheet is not a permit approval; and it does not imply or convey permission to construct any item unless and until this plan sheet is accompanied by an approved permit expressly describing the work shown on this plan. The permit received for the improvements shown on this plan sheet shall be issued by City staff on a City form that is signed by the staff person authorized to sign such permits.

Compliance with all applicable laws is the responsibility of the professional whose name appears on this sheet, the landowner, and the developer completing this work. The City is not responsible for and does not authorize work that is required to comply with Federal, State, County or other local laws, permits or mandates that the City does not have jurisdiction over.

This approval will expire in one year from the date noted on the permit that is received for this work.

LAND USE No: _____ APPROVED BY: _____
DATE: _____ APPROVAL SIGNATURE: _____

Sheet Title
SITE DETAILS

Drawn By: TY
Checked By: NH

Sheet Number

L4.00

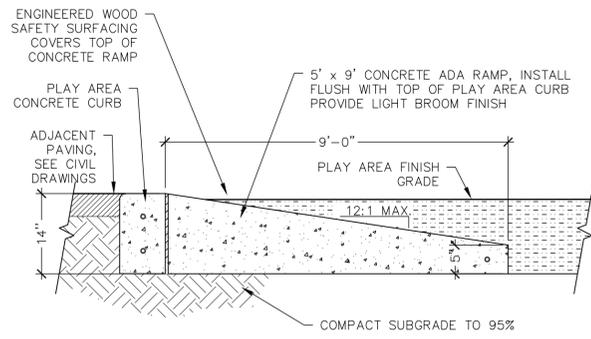


LYDIG

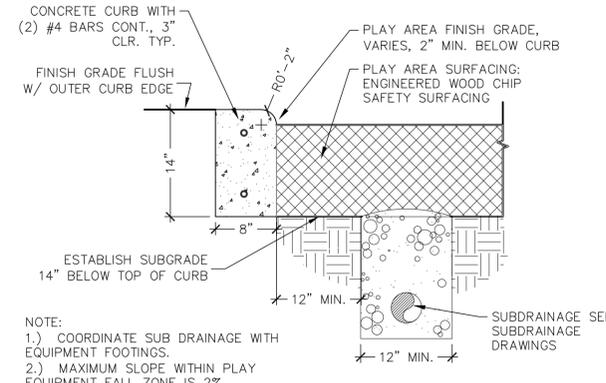


Project Title
**MADISON
ELEMENTARY
SCHOOL**
907 EAST FIR STREET
MOUNT VERNON, WA 98273

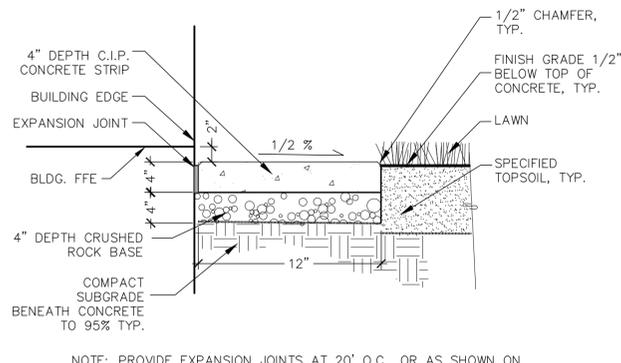
Project Numbers
MASTER PLANNING
NOT FOR CONSTRUCTION
Revision & Issue Dates
FEBRUARY 7, 2018 MASTER PLANNING



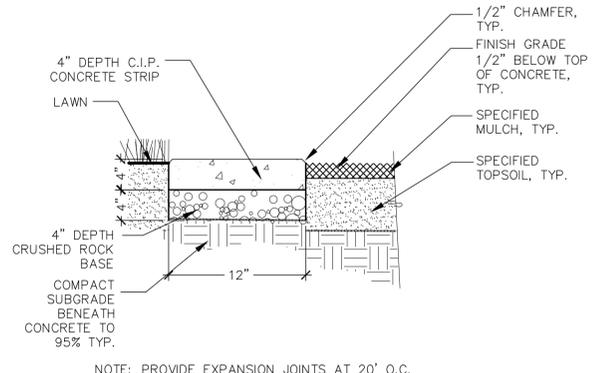
1 ADA RAMP AT PLAY AREA Scale: 3/4"=1'-0"



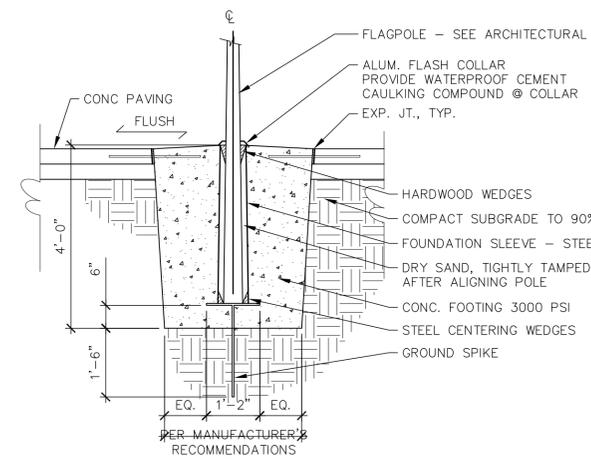
2 CURB & ENGINEERED WOOD CHIPS Scale: 1"=1'-0"



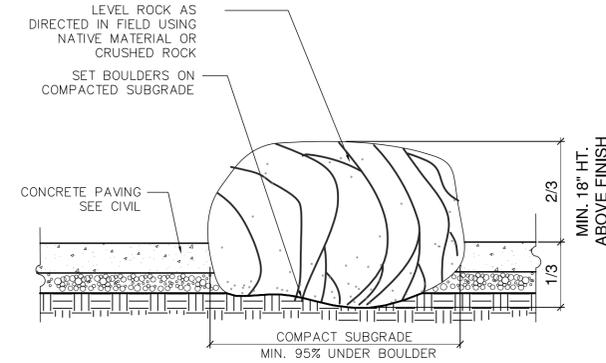
3 12" CONCRETE MOW STRIP AT BUILDING Scale: 1"=1'-0"



4 12" CONCRETE MOW STRIP Scale: 1"=1'-0"



5 FLAG POLE Scale: 1/2"=1'-0"



6 BOULDER IN PAVING Scale: 1/2"=1'-0"

LANDSCAPE PLAN APPROVAL
MOUNT VERNON MUNICIPAL CODE (MVMC)
CHAPTER 17.93

This plan sheet is approved for construction in accordance with the City of Mount Vernon ordinances and policies. This plan sheet is required to be part of either a Fill & Grade Permit or a Building Permit application.

This plan sheet is not a permit approval; and it does not imply or convey permission to construct any item unless and until this plan sheet is accompanied by an approved permit expressly describing the work shown on this plan. The permit received for the improvements shown on this plan sheet shall be issued by City staff on a City form that is signed by the staff person authorized to sign such permits.

Compliance with all applicable laws is the responsibility of the professional whose name appears on this sheet, the licensee, and the developer completing this work. The City is not responsible for and does not authorize work that is required to comply with Federal, State, County or other local laws, permits or mandates that the City does not have jurisdiction over.

This approval will expire in one year from the date noted on the permit that is received for this work.

LAND USE No: _____ APPROVED BY: _____
DATE: _____ APPROVAL SIGNATURE: _____

Sheet Title
SITE DETAILS

Drawn By: TY Checked By: NH

Sheet Number

L4.01

Sheet Number Of

WEISMANDESIGNGROUP

LANDSCAPE ARCHITECTURE 2325 E MADISON ST SEATTLE, WA 98112 206-322-1132 WWW.WDNG.COM

All material herein constitutes the original and unpublished work of the architect and may not be used, duplicated or disclosed without the written consent of the architect. Copyright © 2017 by TCF Architecture, PLLC. All rights reserved.