

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITES

69 – 81

(LU05-035)

CONSTRUCTION PLANS FOR REO FAMILY PROPERTIES, LLC

PROJECT CONTACTS:

OWNER
REO FAMILY PROPERTIES, LLC
305 FREEWAY DRIVE
MOUNT VERNON, WA 98273
PHONE: (360)336-3123
FAX: (360)336-5057
CELL: (360)391-1440
CONTACT: STAN OLSON

**PUGET SOUND ENERGY
POTELCO**
18601 ANDIS ROAD
BURLINGTON, WA 98233
TEL: (360)707-7545
FAX: (360)707-7515
CONTACT: MIKE BRENNEN

CIVIL ENGINEER
RAVNIK & ASSOCIATES, INC.
108 E. GILKEY ROAD
P.O. BOX 361
BURLINGTON, WA 98233
PHONE: (360)707-2048
FAX: (360)707-2216
CONTACT: JOHN RAVNIK

COMCAST
400 SEQUOIA DRIVE
BELLINGHAM, WA 98226
TEL: (360)527-8244
FAX: (360)527-8302
CONTACT: BOB TIERNEY

CASCADE NATURAL GAS
1520 SOUTH 2ND
MOUNT VERNON, WA 98273
TEL: (360)336-6155
FAX: (360)336-2564
CONTACT: MIKE POPPE
JOEL JOHNSTONE

WATER PURVEYOR
SKAGIT PUD #1
P.O. BOX 1436
MOUNT VERNON, WA 98273
TEL: (360)424-7104
FAX: (360)424-8764
CONTACT: TIM HILTZ

UTILITY LOCATE
(800)424-5555

SURVEYOR
METRON & ASSOCIATES
307 N. OLYMPIA AVE., STE 205
ARLINGTON, WA 98223
PHONE: (360)435-3777
FAX: (360)435-4822
CONTACT: TOM BARRY

VERIZON
595 PEASE ROAD
BURLINGTON, WA 98233
TEL: (360)707-0641
FAX: (360)757-4338
CONTACT: MARK HEHN

**STRUCTURAL ENGINEER
OF POND WALLS & FOOTINGS**
AJD ENGINEERING
ALLEN DANSKINE, P.E.
5081 SAMISH WAY
BELLINGHAM, WA 98229
PH: (360) 770-1746
FAX: (360) 752-1277
EMAIL: allen@ajdengineering.com

LEGAL DESCRIPTION:

PARCEL A:
THAT PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE EAST LINE OF THE FORMER PACIFIC HIGHWAY ALONG THE WEST LINE OF SAID SUBDIVISION 330 FEET SOUTH OF THE NORTH LINE OF SAID SUBDIVISION; THENCE EAST TO THE WEST RIGHT OF WAY LINE OF PRIMARY STATE HIGHWAY NO. 1 AS CONVEYED TO THE STATE OF WASHINGTON BY DEED RECORDED APRIL 14, 1953, UNDER AUDITOR'S FILE NO. 487101; THENCE SOUTH ALONG THE WEST LINE OF SAID HIGHWAY RIGHT OF WAY 330 FEET, MORE OR LESS, TO THE SOUTH LINE OF SAID SUBDIVISION; THENCE WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION TO THE EAST LINE OF THE FORMER PACIFIC HIGHWAY; THENCE NORTH ALONG THE HIGHWAY TO THE POINT OF BEGINNING.
EXCEPT DRAINAGE DISTRICT NO. 17 DITCH RIGHTS OF WAY.

PARCEL B:
THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., EXCEPT THE FORMER PACIFIC HIGHWAY ALONG THE WEST LINE OF SAID SUBDIVISION, ALSO EXCEPT DRAINAGE DISTRICT NO. 17 DITCH RIGHT OF WAY, EXCEPT THE SOUTH 70 FEET THEREOF.

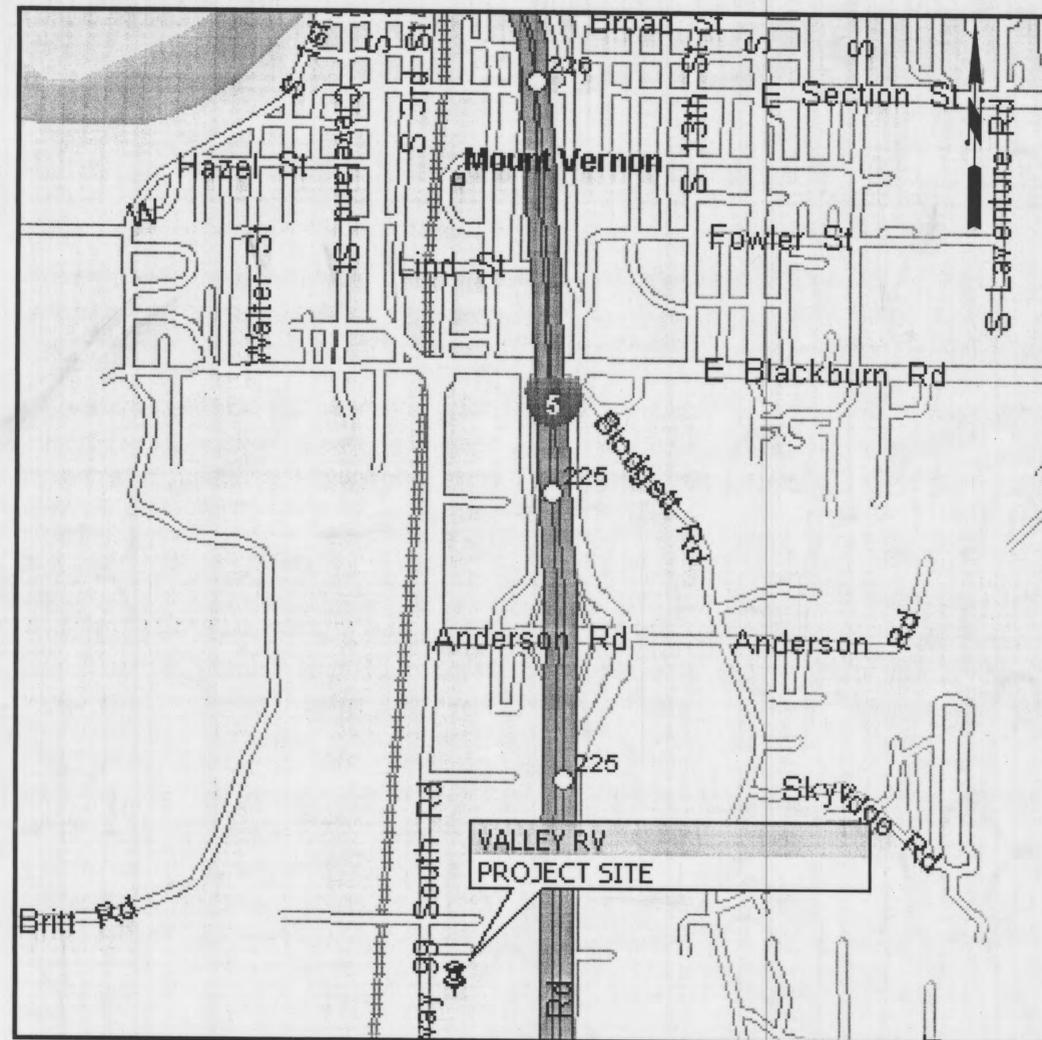
PARCEL C:
THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., EXCEPT DRAINAGE DISTRICT NO. 17 DITCH RIGHT OF WAY; ALSO EXCEPT THAT PORTION CONVEYED TO THE STATE OF WASHINGTON FOR HIGHWAY PURPOSES BY DEEDS RECORDED MARCH 17, 1953, AND APRIL 14, 1953, UNDER AUDITOR'S FILE NOS. 486030 AND 487104, RESPECTIVELY.

VERTICAL DATUM - N.G.V.D. 28

PROJECT BENCHMARK - NORTHWEST NUT ON TOP FLANGE OF FIRE HYDRANT LOCATED IN THE EAST RIGHT-OF-WAY OF OLD HIGHWAY 99 SOUTH AS SHOWN HEREON.
PROJECT BENCHMARK ELEVATION = 11.50 FEET N.G.V.D.
BASED ON THE T.O. NGVD MONUMENT "6-331 1952", ELEV. = 11.14'

UNDERGROUND UTILITY NOTE:
UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON SURFACE INDICATORS. NO UNDERGROUND LOCATE SERVICE WAS UTILIZED FOR THEIR LOCATION. THE USE OF THIS MAP FOR THEIR EXACT LOCATION IS NOT WARRANTED. PRIOR TO CONSTRUCTION USER SHOULD CALL THE UTILITY LOCATE SERVICE AT 1-800-424-5555 48 HOURS BEFORE CONSTRUCTION.

CALL TWO
BUSINESS DAYS
BEFORE YOU DIG
1-800-424-5555



VICINITY MAP

SHEET SCHEDULE:	
SHEET 1	OF 15 COVER
SHEET 2	OF 15 EXISTING CONDITIONS & SITE PREPARATION
SHEET 3	OF 15 PROPOSED LOT & EASEMENT LAYOUT
SHEET 4	OF 15 ONSITE PLAN & PROFILE
SHEET 5	OF 15 OVERALL SITE PLAN
SHEET 6	OF 15 OLD HWY 99 ROAD PLAN & PROFILE
SHEET 7	OF 15 OLD HWY 99 ROAD PLAN & PROFILE
SHEET 8	OF 15 DETAILS
SHEET 8A	OF 15 BRIDGE DETAILS
SHEET 9	OF 15 DETAILS
SHEET 10	OF 15 DETENTION POND DETAILS
SHEET 11	OF 15 PUMP ASSEMBLY DETAIL
SHEET 12	OF 15 WATER DETAILS
SHEET 13	OF 15 SPECIFICATIONS
SHEET 14	OF 15 SPECIFICATIONS
SHEET 15	OF 15 SPECIFICATIONS
SHEET A-1	OF 2 ALTERNATE "A" SANITARY SEWER SOUTH OF PROJECT AREA
SHEET A-2	OF 2 ALTERNATE "A" SANITARY SEWER SOUTH OF PROJECT AREA
SHEET 1	OF 1 POWER PLAN EXHIBIT

EASEMENTS:

ALL EASEMENTS HEREIN ARE FOR REFERENCE ONLY. THE SIZE AND USE OF ALL EASEMENTS SHALL CONFORM TO THE FINAL PLAT OF REO FAMILY PROPERTIES, LLC, AS RECORDED IN SKAGIT COUNTY UNDER A.F.#200607070069

For As-Constructed
Information Only

ENGINEER



EXPIRES 6.3.08

DATE

PLAN STATUS: AS-CONSTRUCTED

SCALE: AS NOTED

DRAWN BY: H. NELSON

CHECKED BY: J. RAVNIK

DATE: 6-13-06

SHEET TITLE:

**CONSTRUCTION PLANS
FOR
REO FAMILY PROPERTIES, LLC**

S.W. 1/4 OF SECTION 32, TWP 34 N., RGE 4E, W.M.

DRAWING NO.

04041SIT.ASB.dwg

JOB NO.
04041

SHEET NO.
1 OF 15

LEGEND

-----	EXISTING RIGHT OF WAY LINE CENTERLINE	●	PROPOSED CLEANOUT ASSEMBLY FOR STORM OR SANITARY SEWER
-----	EXISTING RIGHT OF WAY LINE	—SD—	PROPOSED STORM DRAIN
-----	EXISTING PROPERTY LINE	■	PROPOSED STORM CATCH BASIN
○	EXISTING PROPERTY CORNER	—SS—	PROPOSED SANITARY SEWER
—SD—	EXISTING STORM DRAIN	—P,C,T,G,FO—	PROPOSED BIOFILTRATION SWALE
□	EXISTING STORM CATCH BASIN	—W—	PROPOSED POWER, CABLE TELEPHONE, GAS LINE, & FIBER OPTIC
—SS—	EXISTING SANITARY SEWER	—W—	PROPOSED WATERLINE
○	EXISTING SANITARY MANHOLE	⊕	PROPOSED WATER VALVE
—W—	EXISTING WATERLINE	⊕	PROPOSED FIRE HYDRANT
⊕	EXISTING WATER VALVE	⊕	PROPOSED WATER METER
⊕	EXISTING FIRE HYDRANT	====	ROLLED CURB
—PCTG—	EXISTING POWER, CABLE TELEPHONE, GAS LINE	▨	PROPOSED CONCRETE
—OHP—	EXISTING POWER, CABLE	▨	PROPOSED ASPHALT
⊕ _{UP}	EXISTING UTILITY POLE	▨	PROPOSED CRUSHED ROCK
—G—	EXISTING GAS LINE	TBR	TO BE REMOVED
—28—	EXISTING GROUND CONTOUR LINE		
-----	EXISTING EDGE OF ASPHALT		
-----	EXISTING FENCELINE		
⊕	EXISTING WATER METER		
▨	EXISTING ASPHALT		
▨	EXISTING GRAVEL		
-----	EXISTING SWALE		

CITY OF MOUNT VERNON

DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING SERVICES

DEVELOPMENT SERVICES # LU 02-035 D02-328
PUBLIC WORKS #
INSPECTIONS

Recommended For Approval

Signature Mount Vernon Fire Marshal Date

Signature Mount Vernon Planning Review Date

Signature Mount Vernon Civil Review Date

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Date

This approval will expire in one year from the date noted above.

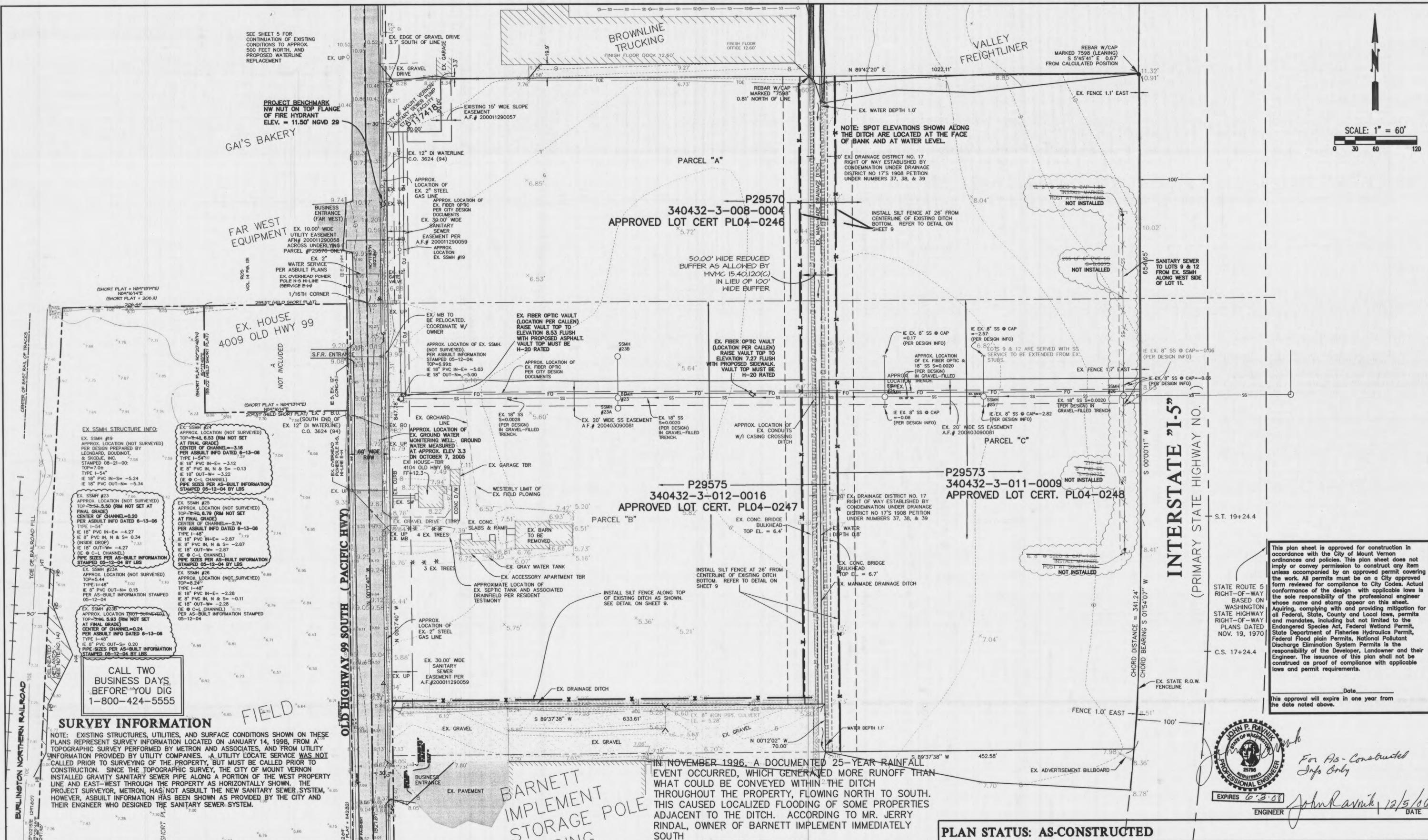
Ravnik & Associates, Inc.

CIVIL ENGINEERING & LAND-USE PLANNING
108 E. GILKEY RD./P.O. BOX 361
BURLINGTON, WA 98233
PH: (360) 707-2048 FAX: (360) 707-2216

SHEET DESCRIPTION:

COVER SHEET

REV. NO.	REVISION	DATE	BY	APPROVED
1	WATERLINE ASBUILTS PROVIDED BY PUD INSPECTOR	5/23/06	DLS	JPR
2	ASBUILT INFORMATION PROVIDED BY METRON SURVEY	5/05/06	DLS	JPR
3	ASBUILT INFORMATION PROVIDED BY METRON SURVEY	6/09/06	DLS	JPR



PROJECT BENCHMARK
NW NUT ON TOP FLANGE
OF FIRE HYDRANT
ELEV. = 11.50' NGVD 29

NOTE: SPOT ELEVATIONS SHOWN ALONG
THE DITCH ARE LOCATED AT THE FACE
OF BANK AND AT WATER LEVEL.

P29570
340432-3-008-0004
APPROVED LOT CERT. PLO4-0246

P29575
340432-3-012-0016
APPROVED LOT CERT. PLO4-0247

P29573
340432-3-011-0009
APPROVED LOT CERT. PLO4-0248

INTERSTATE "I-5"
(PRIMARY STATE HIGHWAY NO. 1)

OLD HIGHWAY 99 SOUTH (PACIFIC HWY)

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Date: _____
This approval will expire in one year from the date noted above.

JOHN P. RAVNIK
Professional Engineer
No. 2578
State of Washington

For As-Constructed Info Only

EXPIRES 6-3-07

ENGINEER *John Ravnik* 12/5/06 DATE

IN NOVEMBER 1996, A DOCUMENTED 25-YEAR RAINFALL EVENT OCCURRED, WHICH GENERATED MORE RUNOFF THAN WHAT COULD BE CONVEYED WITHIN THE DITCH THROUGHOUT THE PROPERTY, FLOWING NORTH TO SOUTH. THIS CAUSED LOCALIZED FLOODING OF SOME PROPERTIES ADJACENT TO THE DITCH. ACCORDING TO MR. JERRY RINDAL, OWNER OF BARNETT IMPLEMENT IMMEDIATELY SOUTH

BARNETT IMPLEMENT STORAGE POLE

SURVEY INFORMATION

NOTE: EXISTING STRUCTURES, UTILITIES, AND SURFACE CONDITIONS SHOWN ON THESE PLANS REPRESENT SURVEY INFORMATION LOCATED ON JANUARY 14, 1998, FROM A TOPOGRAPHIC SURVEY PERFORMED BY METRON AND ASSOCIATES, AND FROM UTILITY INFORMATION PROVIDED BY UTILITY COMPANIES. A UTILITY LOCATE SERVICE WAS NOT CALLED PRIOR TO SURVEYING OF THE PROPERTY, BUT MUST BE CALLED PRIOR TO CONSTRUCTION. SINCE THE TOPOGRAPHIC SURVEY, THE CITY OF MOUNT VERNON INSTALLED GRAVITY SANITARY SEWER PIPE ALONG A PORTION OF THE WEST PROPERTY LINE AND EAST-WEST THROUGH THE PROPERTY AS HORIZONTALLY SHOWN. THE PROJECT SURVEYOR, METRON, HAS NOT ASBUILT THE NEW SANITARY SEWER SYSTEM, HOWEVER, ASBUILT INFORMATION HAS BEEN SHOWN AS PROVIDED BY THE CITY AND THEIR ENGINEER WHO DESIGNED THE SANITARY SEWER SYSTEM.

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555

REV. NO.	REVISION	DATE	BY	APPROVED
1	WATERLINE ASBUILTS PROVIDED BY PUD INSPECTOR	5/23/06	DLS	JPR
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3	ASBUILT INFORMATION PROVIDED BY METRON SURVEY	6/09/06	DLS	JPR

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108 E. GILKEY RD./P.O. BOX 361
BURLINGTON, WA 98233
PH: (360) 707-2048 FAX: (360) 707-2216

SHEET DESCRIPTION:
EXISTING CONDITIONS AND SITE PREPARATION PLAN

PLAN STATUS: AS-CONSTRUCTED		SHEET TITLE: CONSTRUCTION PLANS FOR REO FAMILY PROPERTIES, LLC		DRAWING NO. 04041SIT.ASB.dwg
SCALE: 1" = 60'	DRAWN BY: H. NELSON	SHEET NO. 04041		JOB NO. 04041
DATE: 6-13-06	CHECKED BY: J. RAVNIK	S.W. 1/4 OF SECTION 32, TWP 34 N, RGE 4E, W.M.		SHEET NO. 2 OF 15

PROPOSED PROPERTY AREAS:

TOTAL AREA = 23.98 ACRES
 PROPOSED ROAD RIGHT OF WAY = 1.13 ACRES
 DITCH: TOP OF BANK TO TOP OF BANK = 0.40 ACRES
 (NOT INCLUDING ROAD AND ADJOINING UTILITY EASEMENT)
 TRACT "A" (POND AREA) = 0.79 ACRES

- LOT 1 GROSS = 0.71 ACRES
- LOT 2 GROSS = 0.86 ACRES
- LOT 3 GROSS = 2.11 ACRES
- LOT 4 GROSS = 2.22 ACRES
- LOT 4 WITHOUT DITCH = 2.11 ACRES
- LOT 5 GROSS = 0.77 ACRES
- LOT 6 GROSS = 0.64 ACRES
- LOT 7 GROSS = 0.64 ACRES
- LOT 8 GROSS = 2.47 ACRES
- LOT 9 GROSS = 2.52 ACRES
- LOT 9 WITHOUT DITCH = 2.42 ACRES
- LOT 10 GROSS = 2.22 ACRES
- LOT 11 GROSS = 2.31 ACRES
- LOT 12 GROSS = 3.41 ACRES
- LOT 12 WITHOUT DITCH = 3.31 ACRES
- LOT 13 GROSS = 1.16 ACRES
- LOT 13 WITHOUT DITCH = 1.09 ACRES

BUILDING SETBACKS:

FRONT YARD:
 IF ON ARTERIAL STREETS=25'
 ON ALL OTHER STREETS=20'

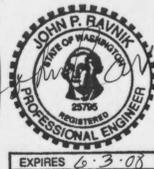
SIDE YARD: 0 FEET

BACK YARD: 0 FEET

FLOOD PLAIN INFORMATION

FLOOD ZONE A02
 FINISH FLOOR ELEVATIONS MUST BE CONSTRUCTED A MINIMUM OF 3 FEET ABOVE THE HIGHEST EX. GROUND ELEVATION WITHIN THE BUILDING'S FOOTPRINT.

CALL TWO BUSINESS DAYS BEFORE YOU DIG
 1-800-424-5555



For As-Constructed Info Only

John Ravnik 10/5/06
 ENGINEER DATE

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Date: _____
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SHEET DESCRIPTION:

PROPOSED LOT LAYOUT

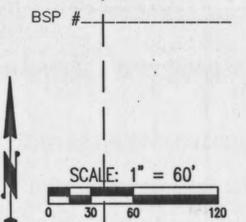
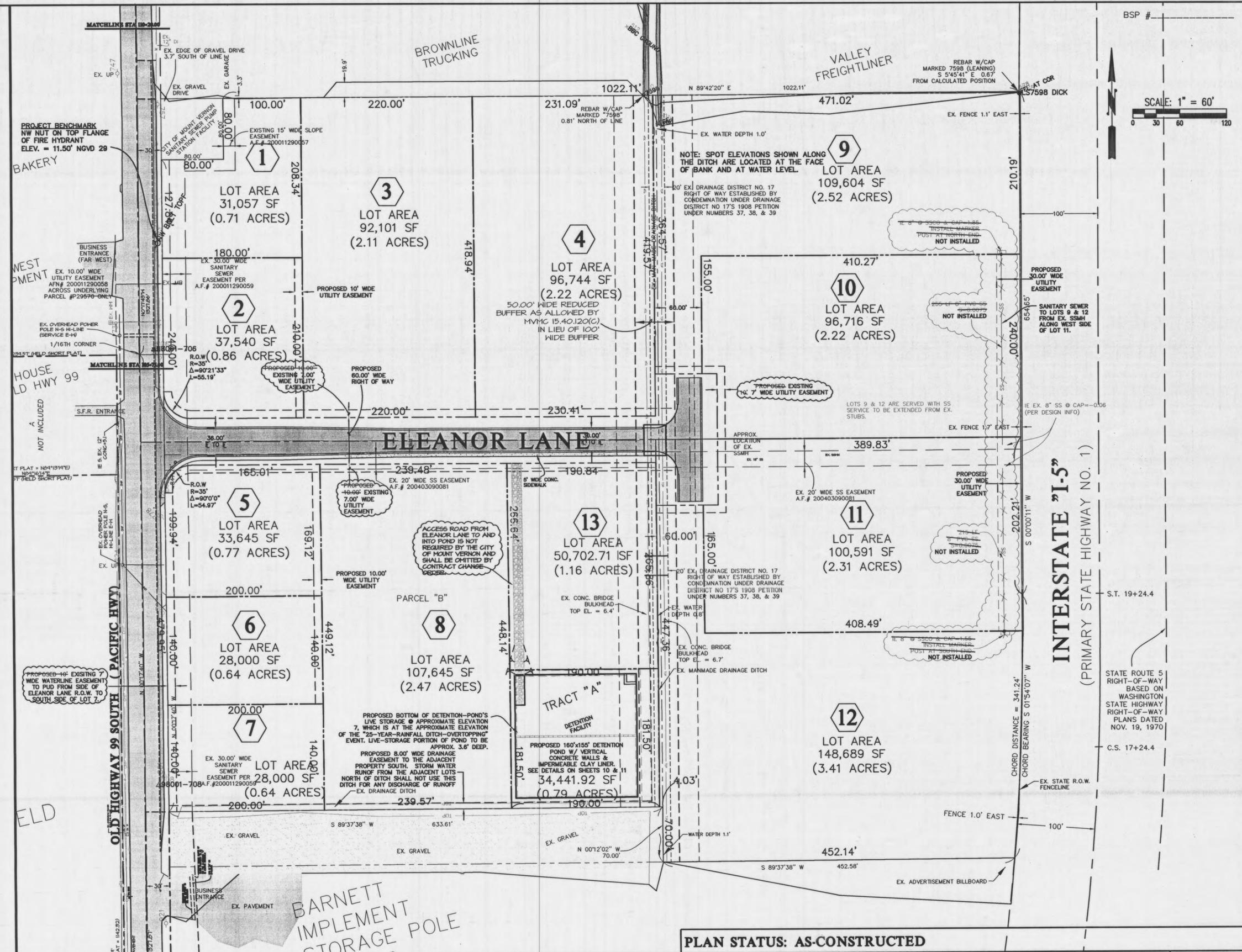
PLAN STATUS: AS-CONSTRUCTED

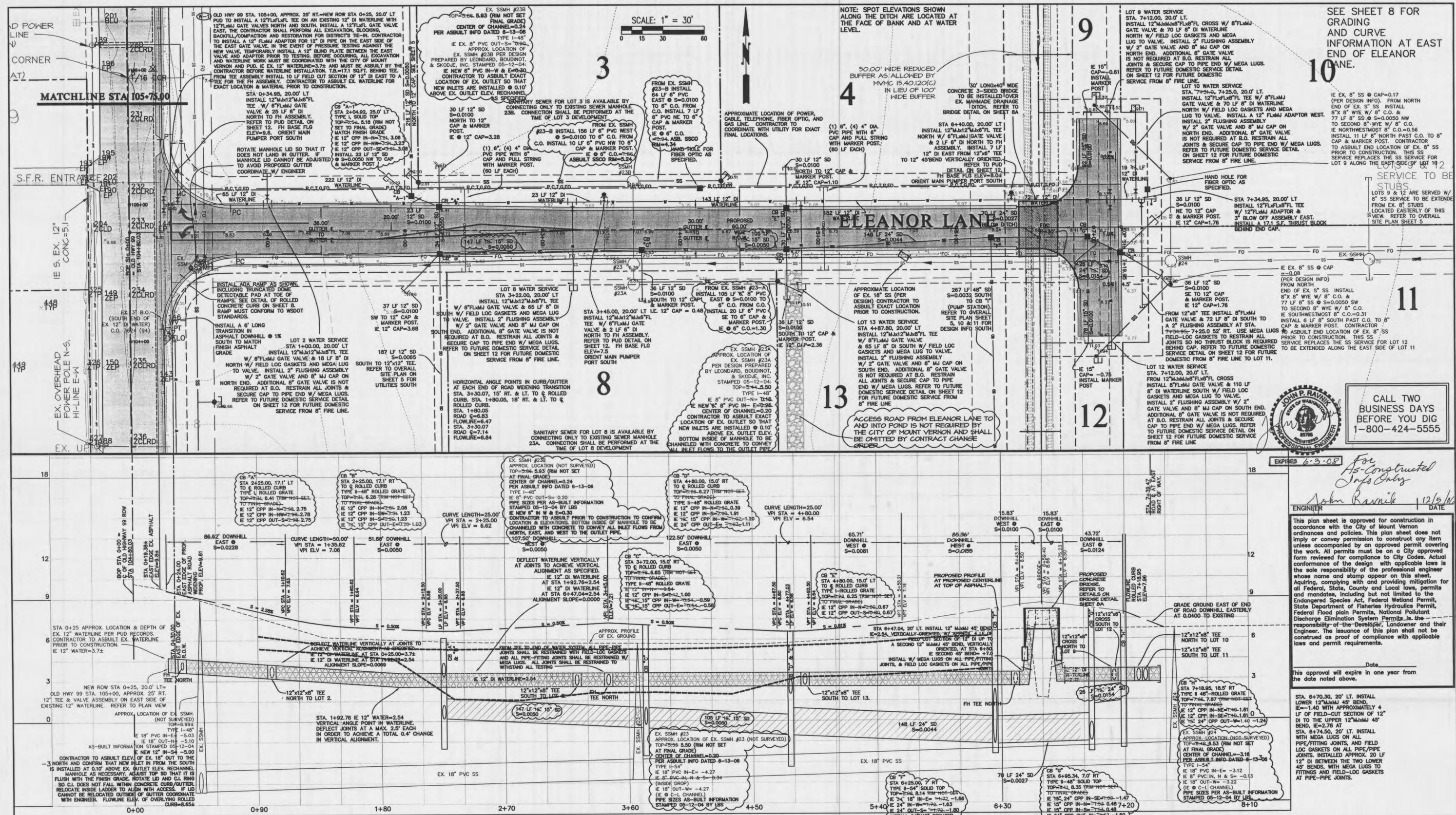
SCALE: 1" = 60'
 DRAWN BY: H. NELSON
 CHECKED BY: J. RAVNIK
 DATE: 6-13-06

SHEET TITLE:
CONSTRUCTION PLANS FOR REO FAMILY PROPERTIES, LLC

S.W. 1/4 OF SECTION 32, TWP 34 N, RGE 4E, W.M.

DRAWING NO. 04041SIT.ASB.dwg
 JOB NO. 04041
 SHEET NO. 3 OF 15





SCALE: 1" = 30'

NOTE: SPOT ELEVATIONS SHOWN ALONG THE DITCH ARE LOCATED AT THE FACE OF BANK AND AT WATER LEVEL.

SEE SHEET 8 FOR GRADING AND CURVE INFORMATION AT EAST END OF ELEANOR LANE.

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555



For Info Only
John Ravnik 12/5/06
DATE

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REV. NO.	REVISION	DATE	BY	APPROVED
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PH: (360) 707-2048 FAX: (360) 707-2216

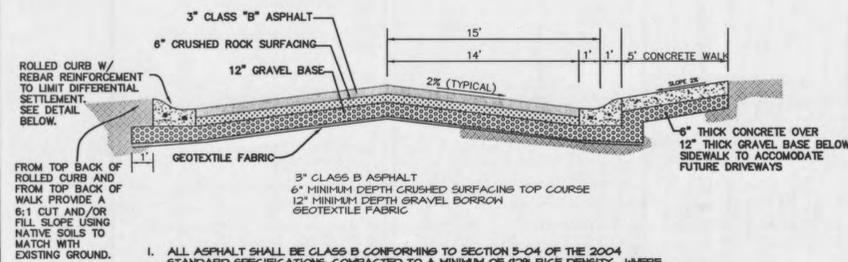
C.O. 4448 W.O. 05-3112

SHEET DESCRIPTION:
**ONSITE PLAN & PROFILE
REVISED SHOWING BRIDGE
CROSSING**

PLAN STATUS: AS-CONSTRUCTED

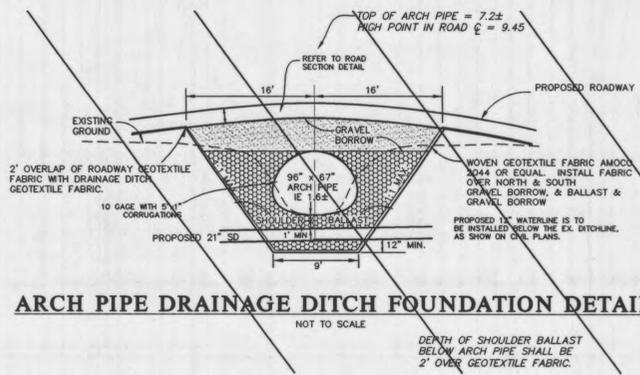
SCALE: 1" = 30' HORIZ.
1" = 3' VERT.
DRAWN BY: H. NELSON
CHECKED BY: J. RAVNIK
DATE: 6-13-06

SHEET TITLE:
**CONSTRUCTION PLANS
FOR
REO FAMILY PROPERTIES, LLC**
S.W. 1/4 OF SECTION 32, TWP 34 N, RGE 4E, W.M.
DRAWING NO. 04041SIT.ASB.dwg
JOB NO. 04041
SHEET NO. 4 OF 15

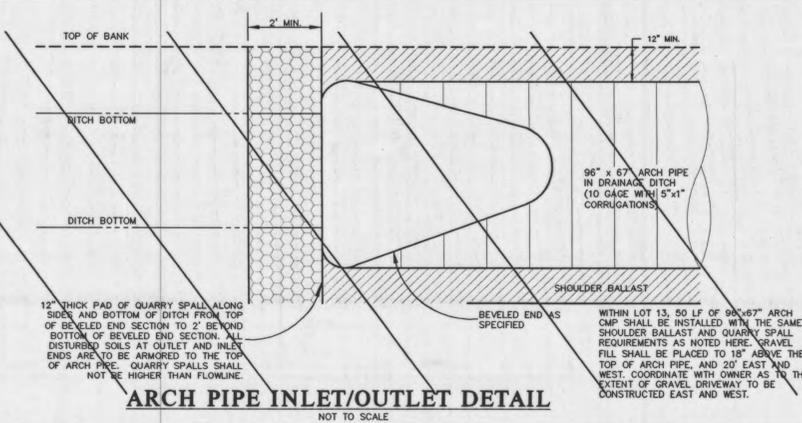


- ALL ASPHALT SHALL BE CLASS B CONFORMING TO SECTION 5-04 OF THE 2004 STANDARD SPECIFICATIONS, COMPACTED TO A MINIMUM OF 92% DENSITY. WHERE PROPOSED ASPHALT ADJUTS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT FULL DEPTH AND TACK COATED IMMEDIATELY BEFORE PAVING. ALL SURFACE JOINTS SHALL BE SEALED WITH CSS 1 AND SAND, APPLIED WITH HEAT.
- CRUSHED SURFACING TOP COURSE & BASE COURSE SHALL CONFORM TO SECTION 4-03.9(3) OF THE 2004 STANDARD SPECIFICATIONS, COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 TESTING. ALL CRUSHED SURFACING SHALL BE SPRAYED WITH SOIL RESIDUAL HERBICIDE A MAXIMUM OF 24 HOURS TO PAVING, ACCORDING TO SECTION 5-04.3(5) OF THE 2004 STANDARD SPECIFICATIONS.
- GRAVEL BORROW PER SECTION 4-03.14(1) OF THE 2004 STANDARD SPECIFICATIONS COMPACTED TO A MINIMUM ON 95% MAXIMUM DENSITY PER ASTM D-1557 TESTING. PERCENTAGE PASSING THE #200 SIEVE SHALL NOT EXCEED 5%.
- THE EXCAVATED SUBGRADE SHALL BE FREE OF TOPSOIL, ORGANICS, AND OTHER DELETERIOUS MATERIAL, COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 TESTING, PREPARED CONFORMING TO SECTION 2-06.3(1) OF THE 2004 STANDARD SPECIFICATIONS, AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT OF STRUCTURAL FILL MATERIAL.
- GEOTEXTILE FABRIC SHALL BE PLACED ON THE PREPARED EXCAVATED SUBGRADE. GEOTEXTILE FABRIC SHALL BE MOVEN, FOR SOIL STABILIZATION, AND MEET THE FOLLOWING REQUIREMENTS: ROT PROOF, APPARENT OPEN SIZE (AOS) #40 SIEVE, PERMEABILITY 0.5 CGS -1, FRACTURE STRENGTH 112 LB. TEAR STRENGTH 112 LB. GRAB STRENGTH 315 LB. AND MAXIMUM TENSILE ELONGATION 20%. FABRIC SHALL BE STRETCHED AS TIGHT AS POSSIBLE BY HAND ON THE PREPARED SUBGRADE. PEGS, OR THE MANUFACTURER'S RECOMMENDED METHOD SHALL BE USED TO HOLD THE FABRIC IN PLACE WHILE THE GRAVEL MATERIAL IS PLACED. JOINTS SHALL BE OVERLAPPED A MINIMUM OF THREE FEET.

TYPICAL CROSS SECTION DETAIL FOR INTERIOR ROAD
NO SCALE

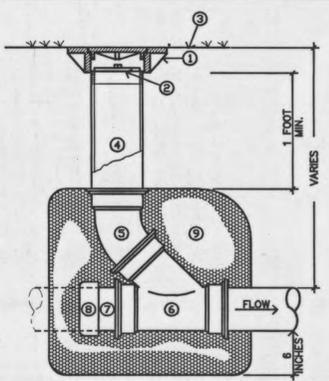


ARCH PIPE DRAINAGE DITCH FOUNDATION DETAIL
NOT TO SCALE

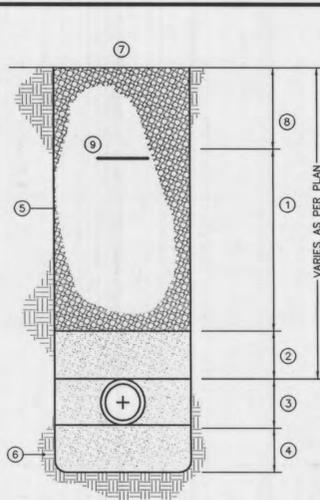


ARCH PIPE INLET/OUTLET DETAIL
NOT TO SCALE

- ALUMINUM OR CAST IRON FOUGHTIGHT VALVE CASING COVER OR EQUAL.
- THREADED PVC PLUG
- RESTORATION SHALL BE IN ACCORDANCE WITH TYPICAL TRENCH REPAIR DETAIL
- PVC STAND PIPE
- PVC 45 BEND
- PVC 45 DEGREE WYE
- SHORT PVC STUB
- PVC CAP OR PIPE AS DICTATED BY PLANS
- PEA GRAVEL OR BUCKSHOT
- ALL JOINTS SHALL BE GASKETED



CLEANOUT ASSEMBLY DETAIL
NO SCALE



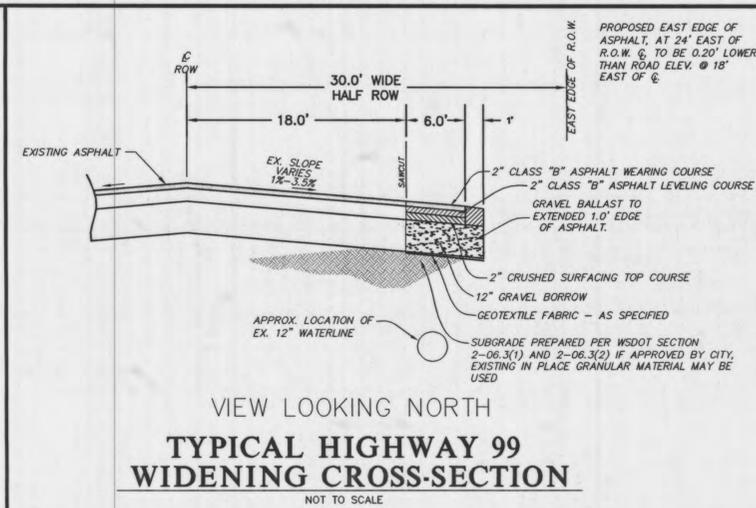
TRENCH NOTES

- BACK FILL SHALL BE NATIVE MATERIAL COMPACTED IN 12 INCH LIFTS. IN CASES WHERE THE MATERIAL IS TOO WET OR UNSUITABLE, 2.50 INCH MINUS BANK RUN GRAVEL SHALL BE USED.
- 6 INCHES OF SAND BACKFILL OR PEA GRAVEL TO BE HAND COMPACTED ABOVE CROWN OF PIPE.
- HAND COMPACTED SAND BACKFILL TO BE TAMPED AROUND THE PIPE. THICKNESS EQUALS OUTSIDE DIAMETER OF PIPE.
- 6 INCHES OF SAND BACKFILL OR PEA GRAVEL TO BE HAND COMPACTED.
- TRENCH LINE.
- UNDISTURBED EARTH.
- RESTORATION SHALL BE IN ACCORDANCE WITH GENERAL NOTE-1.
- 1'-0" OF CLEAN NATIVE SOIL NOT CONTAINING SOIL, ROCKS, STICKS, OR DEBRIS LARGER THAN 2" IN ANY DIMENSION.
- 6" WIDE TRACER TAPE PLACED 12"-18" BELOW FINISHED GRADE, AND PER WSDOT STD SEC 9-15.18

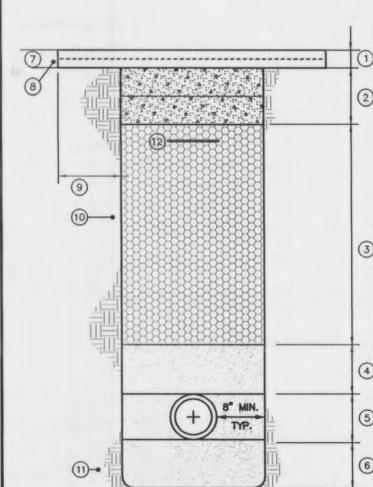
GENERAL NOTES:

- NOTE-1 - RESTORATION SHALL CONSIST OF REMOVING ALL OBJECTS GREATER THAN 1 INCH IN DIAMETER AND BLENDING THE TOP OF THE TRENCH WITH THE SURROUNDING GRADE.
- NOTE-2 - NATIVE MATERIAL TRENCH BACKFILL MAY ONLY BE USED BEYOND FIVE FEET FROM ASPHALT, SHOULDERS, AND HEAVY CONSTRUCTION TRAFFIC AREAS.
- NOTE-3 - NO NATIVE SOIL BACKFILL IS ALLOWED WITHIN ANY UTILITY TRENCHES IN EXISTING OR PROPOSED PUBLIC RIGHT OF WAYS. GRAVEL BACKFILL MUST BE USED IN THESE AREAS.

TYPICAL UTILITY TRENCH DETAIL BEYOND PAVING AND SHOULDER AREAS
NO SCALE



TYPICAL HIGHWAY 99 WIDENING CROSS-SECTION
NOT TO SCALE



TRENCH NOTES

- CLASS B ASPHALT (SEE SECTION FOR DEPTH) COMPACTED TO 92 PERCENT MAX. DENSITY. IF EXISTING ASPHALT IS GREATER THAN 3 INCHES, IT SHALL BE REPLACED PER MOUNT VERNON STREET CUT POLICY WITH AN EQUAL AMOUNT COMPACTED IN 2 INCH LIFTS, UNLESS DESIGNED SECTION IS THICKER.
- COMPACTED DEPTH OF CRUSHED SURFACING TOP & BASE COURSE MATERIAL TO BE COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY, REFER TO ASPHALT SECTIONS.
- GRAVEL BORROW COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY. LOOSE LIFT THICKNESS SHALL NOT EXCEED 8 INCHES IN DEPTH.
- 6" DEPTH OF SAND BACKFILL OR PEA GRAVEL TO BE HAND COMPACTED ABOVE CROWN OF PIPE.
- HAND COMPACTED SAND BACKFILL TO BE TAMPED AROUND THE PIPE. THICKNESS EQUALS OUTSIDE DIAMETER OF PIPE.
- 6" DEPTH OF SAND OR PEA GRAVEL BACKFILL TO BE HAND COMPACTED.
- EXISTING ASPHALT.
- TACK ALL EDGES AND FACES OF EXISTING ASPHALT. SEAL SURFACE JOINT AS SPECIFIED.
- 6 INCH DISTANCE MIN. FOR UTILITIES INSTALLED WITHIN THE LIMITS OF EXISTING ASPHALT.
- TRENCH LINE.
- UNDISTURBED EARTH.
- 6" WIDE TRACER TAPE PLACED 12"-18" BELOW FINISHED GRADE, AND PER WSDOT STD SEC 9-15.18

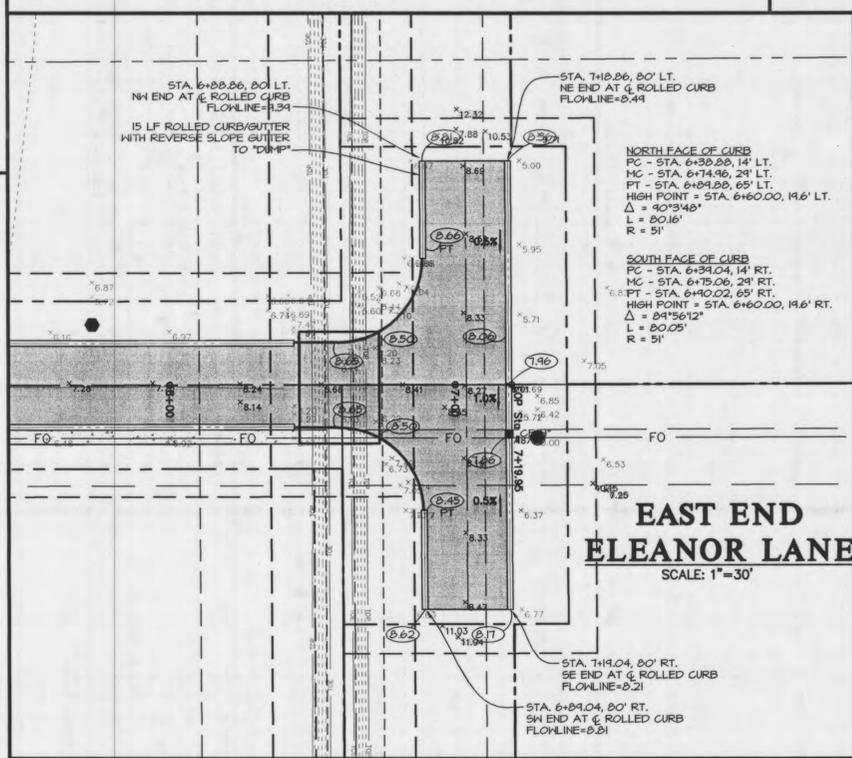
GENERAL NOTES:

- NOTE-1 - THIS UTILITY TRENCH DETAIL IS FOR RIGID OR FLEXIBLE PIPE INSTALLATIONS.
- NOTE-2 - GRAVEL BORROW SHALL BE USED AS TRENCH BACKFILL IN ALL AREAS TO FIVE FEET BEYOND ASPHALT, SHOULDERS, AND HEAVY CONSTRUCTION TRAFFIC AREAS.
- NOTE-3 - ANY SPECIAL CONDITIONS MUST FIRST BE APPROVED BY THE ENGINEER.
- NOTE-4 - NO NATIVE SOIL BACKFILL IS ALLOWED WITHIN ANY UTILITY TRENCHES IN EXISTING OR PROPOSED PUBLIC RIGHT OF WAYS. GRAVEL BACKFILL MUST BE USED IN THESE AREAS.

UTILITY TRENCH DETAIL WITHIN THE PAVING AND SHOULDER AREAS
NO SCALE

- CRUSHED SURFACING TOP COURSE & BASE COURSE SHALL CONFORM TO SECTION 4-03.9(3) OF THE 2004 STANDARD SPECIFICATIONS, COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 TESTING. ALL CRUSHED SURFACING SHALL BE SPRAYED WITH SOIL RESIDUAL HERBICIDE A MAXIMUM OF 24 HOURS TO PAVING, ACCORDING TO SECTION 5-04.3(5) OF THE 2002 STANDARD SPECIFICATIONS.
- GRAVEL BORROW PER SECTION 4-03.14(1) OF THE 2004 STANDARD SPECIFICATIONS COMPACTED TO A MINIMUM ON 95% MAXIMUM DENSITY PER ASTM D-1557 TESTING. PERCENTAGE PASSING THE #200 SIEVE SHALL NOT EXCEED 5%.
- THE EXCAVATED SUBGRADE SHALL BE FREE OF TOPSOIL, ORGANICS, AND OTHER DELETERIOUS MATERIAL, COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 TESTING, PREPARED CONFORMING TO SECTION 2-06.3(1) OF THE 2004 STANDARD SPECIFICATIONS, AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT OF STRUCTURAL FILL MATERIAL.

ALL-WEATHER ACCESS/ EMERGENCY ROAD CROSS-SECTION DETAIL
NOT TO SCALE



EAST END ELEANOR LANE
SCALE: 1"=30'

For As Constructed Info Only

JOHN P. RAVNIK
PROFESSIONAL ENGINEER
EXPIRES 6-3-07

John Ravnik 12/5/06
ENGINEER DATE

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Date _____
CITY OF MOUNT VERNON
This approval will expire in one year from the date noted above.

REV. NO.	REVISION	DATE	BY	APPROVED
1	WATERLINE ASBULTS PROVIDED BY PUD INSPECTOR	5/23/06	DLS	JPR
2	ASBULT INFORMATION PROVIDE BY METRON SURVEY	5/05/06	DLS	JPR
3	ASBULT INFORMATION PROVIDE BY METRON SURVEY	6/09/06	DLS	JPR

Ravnik & Associates, Inc.
CIVIL ENGINEERING & LAND-USE PLANNING
108 E. GILKEY RD./P.O. BOX 361
BURLINGTON, WA 98233
PH: (360) 707-2048 FAX: (360) 707-2216

SHEET DESCRIPTION:

DETAILS

PLAN STATUS: AS-CONSTRUCTED

SCALE: AS NOTED

DRAWN BY: H. NELSON

CHECKED BY: J. RAVNIK

DATE: 6-13-06

SHEET TITLE:

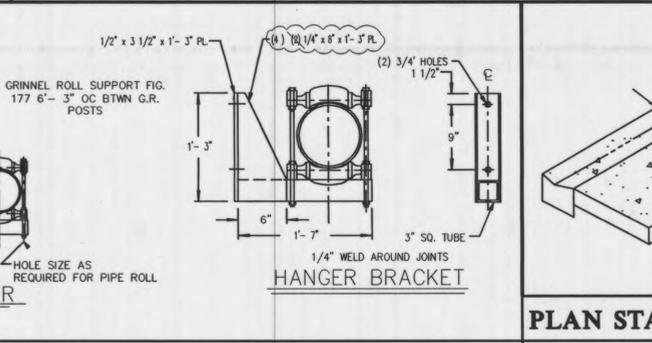
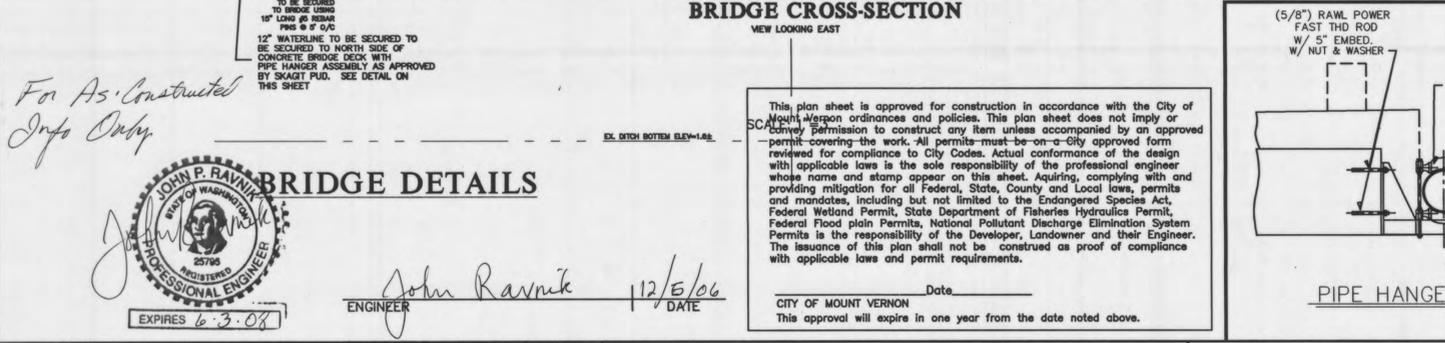
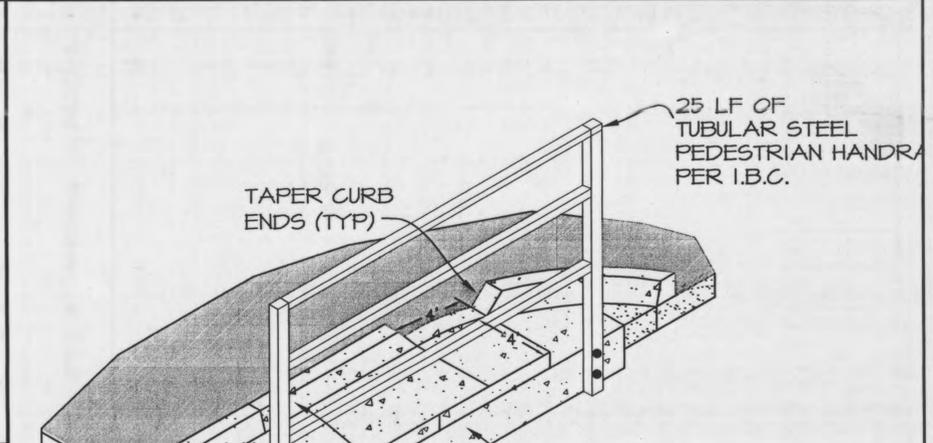
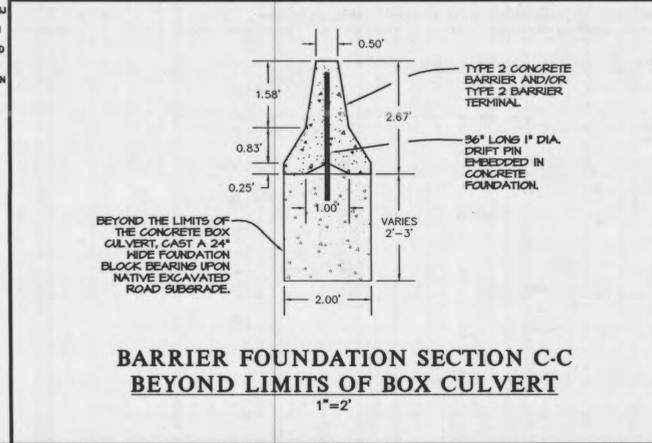
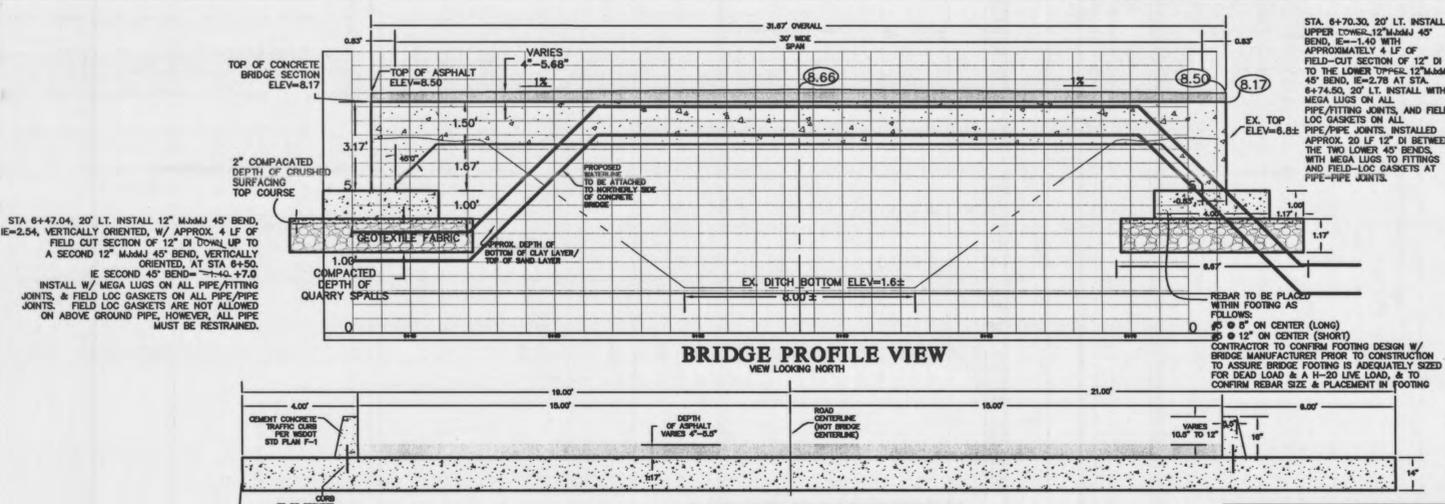
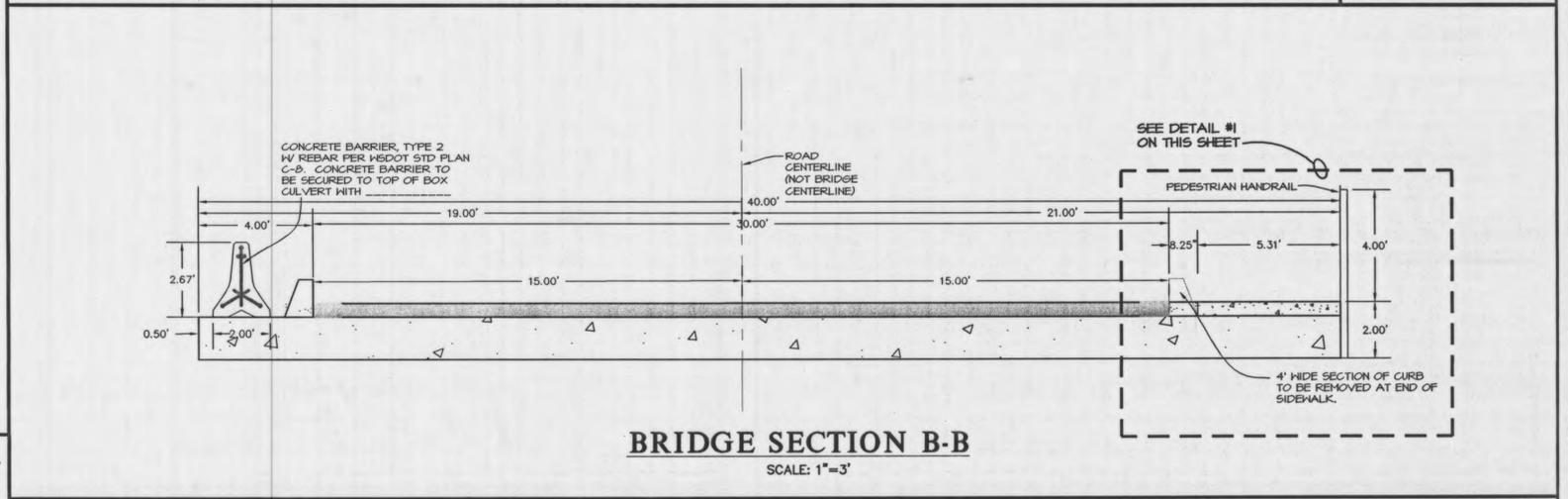
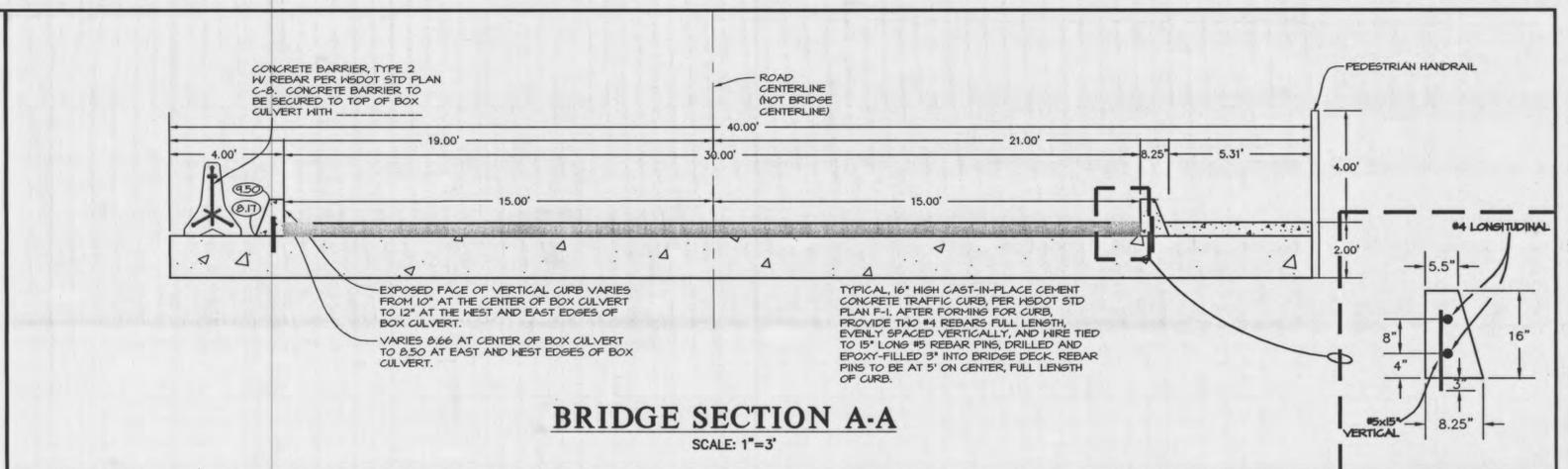
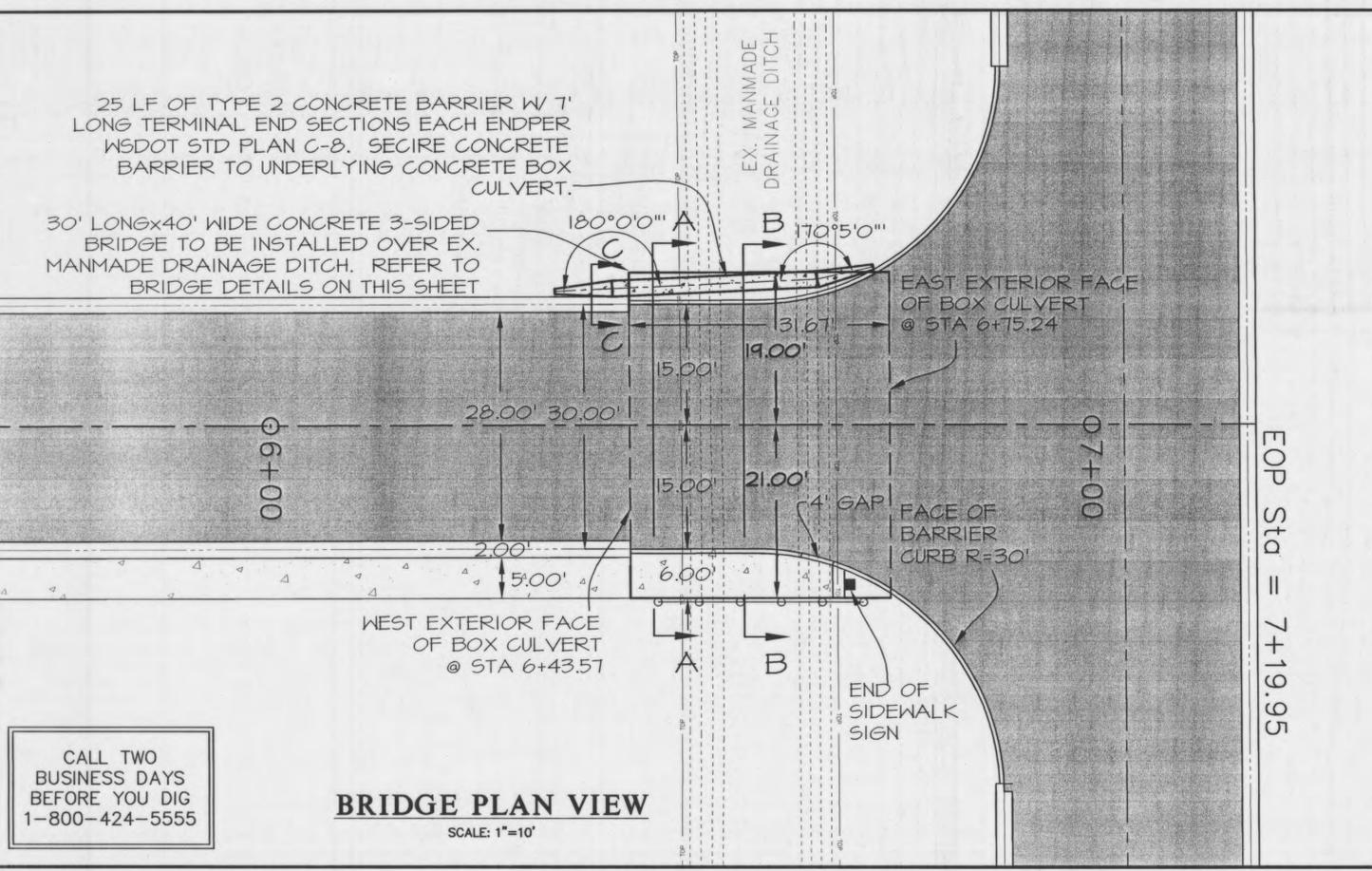
CONSTRUCTION PLANS FOR REO FAMILY PROPERTIES, LLC

S.W. 1/4 OF SECTION 32, TWP 34 N, RGE 4E, W.M.

DRAWING NO. 04041DET.dwg

JOB NO. 04041

SHEET NO. 8 OF 15



REV. NO.	REVISION	DATE	BY	APPROVED
1	WATERLINE ASBUILTS PROVIDED BY PUD INSPECTOR	5/23/06	DLS	JPR
2	ASBUILT INFORMATION PROVIDE BY METRON SURVEY	5/05/06	DLS	JPR
3	ASBUILT INFORMATION PROVIDE BY METRON SURVEY	6/09/06	DLS	JPR

Ravnik & Associates, Inc.
CIVIL ENGINEERING & LAND-USE PLANNING
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BURLINGTON, WA 98233
PH: (360) 707-2048 FAX: (360) 707-2216

BRIDGE DETAILS

PLAN STATUS: AS-CONSTRUCTED

SCALE: AS NOTED
DRAWN BY: H. NELSON
CHECKED BY: J. RAVNIK
DATE: 6-13-06

SHEET TITLE: CONSTRUCTION PLANS FOR REO FAMILY PROPERTIES, LLC

DRAWING NO. 04041DET.dwg
JOB NO. 04041
SHEET NO. 8A OF 15

S.W. 1/4 OF SECTION 32, TWP 34 N, RGE 4E, W.M.

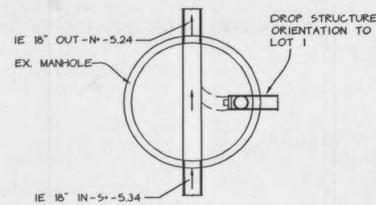
For As-Constructed Info Only

JOHN P. RAVNIK
REGISTERED PROFESSIONAL ENGINEER
25796
EXPIRES 6-3-08

John Ravnik
ENGINEER
12/5/06
DATE

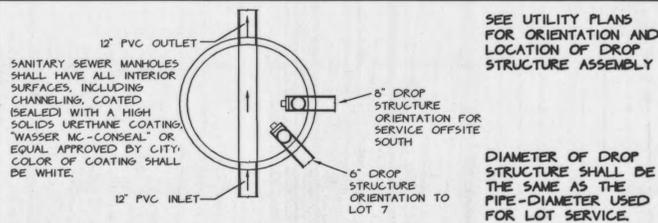
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Date: _____
CITY OF MOUNT VERNON
This approval will expire in one year from the date noted above.



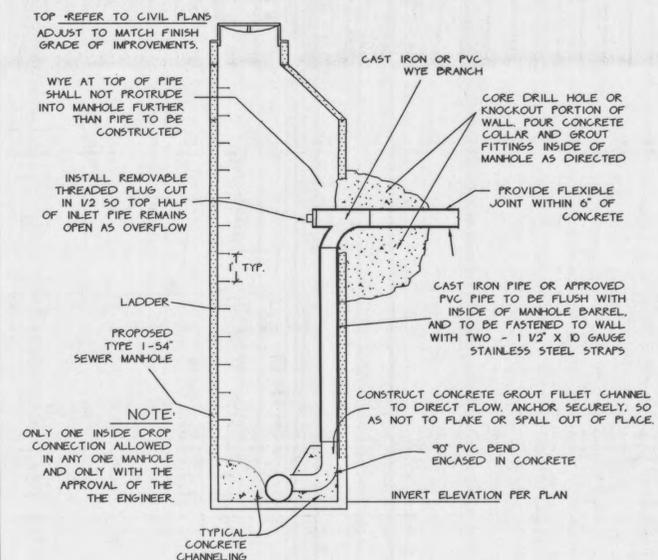
SEE UTILITY PLANS FOR ORIENTATION AND LOCATION OF DROP STRUCTURE ASSEMBLY

DIAMETER OF DROP STRUCTURE SHALL BE THE SAME AS THE PIPE-DIAMETER USED FOR LOT SERVICE.

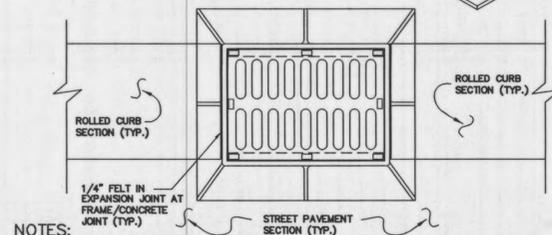
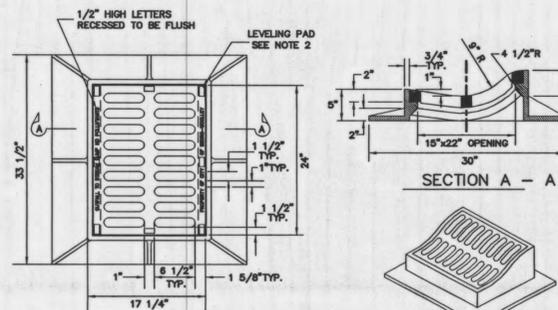


SEE UTILITY PLANS FOR ORIENTATION AND LOCATION OF DROP STRUCTURE ASSEMBLY

DIAMETER OF DROP STRUCTURE SHALL BE THE SAME AS THE PIPE-DIAMETER USED FOR LOT SERVICE.



DROP CONNECTION DETAIL WITHIN PROPOSED SEWER MANHOLES FOR LOT 7 AND OFFSITE SOUTH
NO SCALE

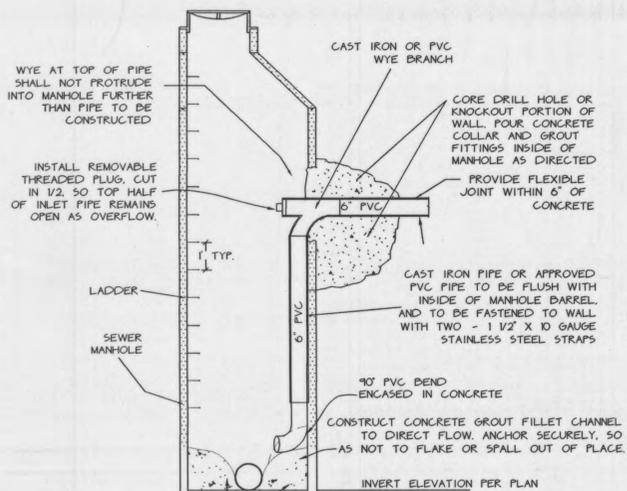


- NOTES:
- FOUNDRY NAME AND OWNER FOR DUCTILE IRON SHOULD BE EMBOSSED ON TOP OF THE GRATE WITH 1/16" RECESSED LETTERS.
 - SEATING OF GRATE SHALL BE ACCOMPLISHED BY 8 INTEGRALLY CAST PADS (1-1/2" X 3/4" X 1/8").

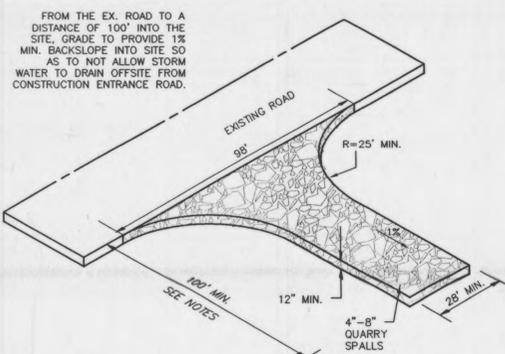
FRAME & GRATE MANUFACTURED BY: SATHER MANUFACTURING CO., INC. EVERETT, WASHINGTON

ROLLED CURB FRAME & GRATE
NO SCALE

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555

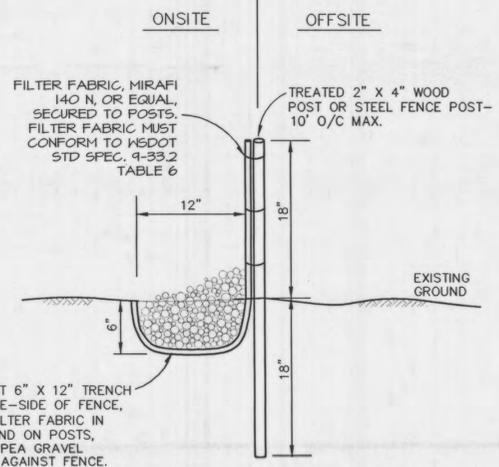


DROP CONNECTION DETAIL WITHIN EXISTING SEWER MANHOLE FOR LOT 1 SERVICE
NO SCALE

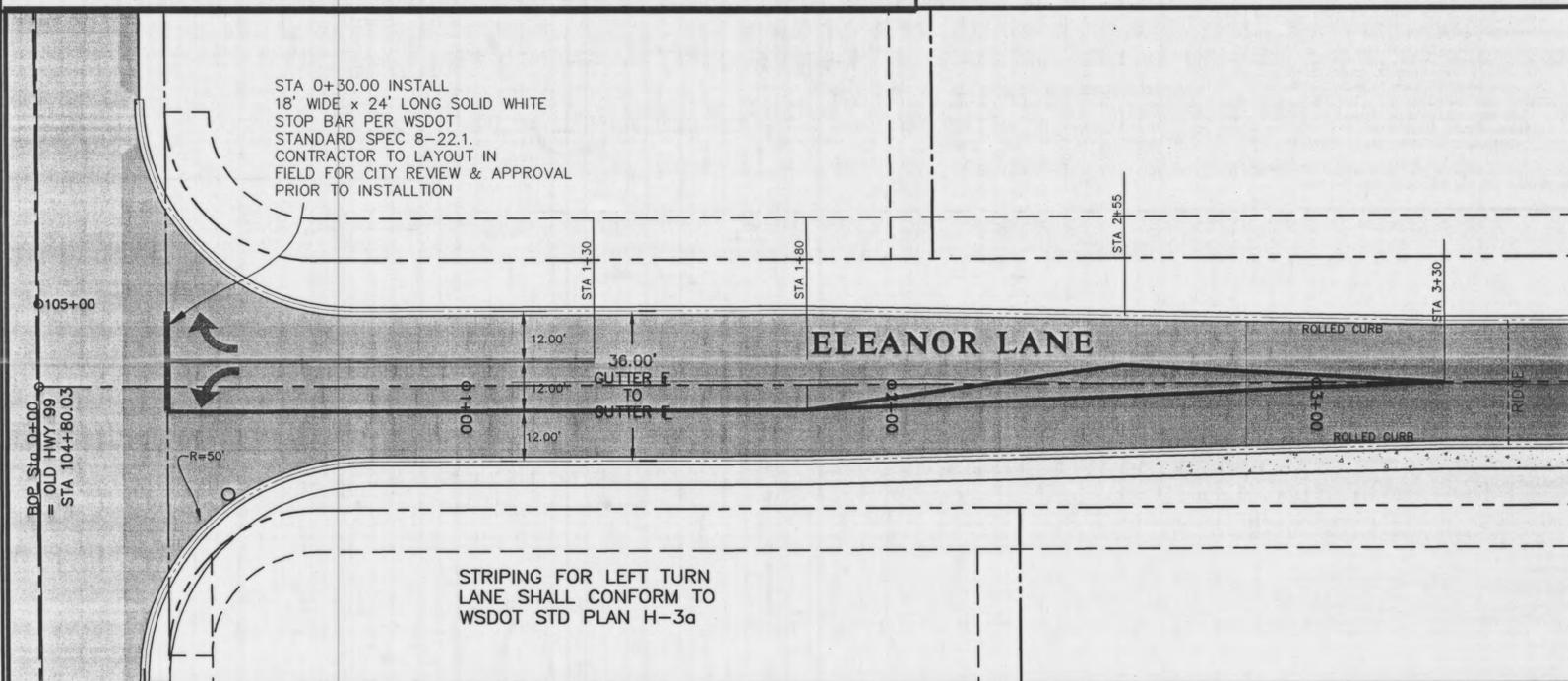


- NOTES:
- ALL MUD AND DEBRIS TRACKED ONTO EXISTING ASPHALTED ROADWAYS SHALL BE SWEEPED/CLEANED UP AFTER EACH DAY'S WORK, OR AS REQUESTED BY THE PROJECT ENGINEER AND/OR THE CITY INSPECTOR.
 - A QUARRY SPALL CONSTRUCTION ROAD MUST BE PROVIDED @ ALL LOCATIONS WHERE VEHICLES EXIT THE PROJECT.

TEMPORARY CONSTRUCTION ENTRANCE DETAIL
NO SCALE



SILT FENCE DETAIL
NOT TO SCALE



STRIPING DETAIL
NTS



EXPIRES 6-3-08
ENGINEER John Ravnik 1/2/06 DATE

For As-Constructed Info Only

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Date _____
CITY OF MOUNT VERNON
This approval will expire in one year from the date noted above.

PLAN STATUS: AS-CONSTRUCTED

SCALE: AS NOTED
DRAWN BY: H. NELSON
CHECKED BY: J. RAVNIK
DATE: 6-22-06

SHEET TITLE:

CONSTRUCTION PLANS FOR REO FAMILY PROPERTIES, LLC

S.W. 1/4 OF SECTION 32, TWP 34 N, RGE 4E, W.M.

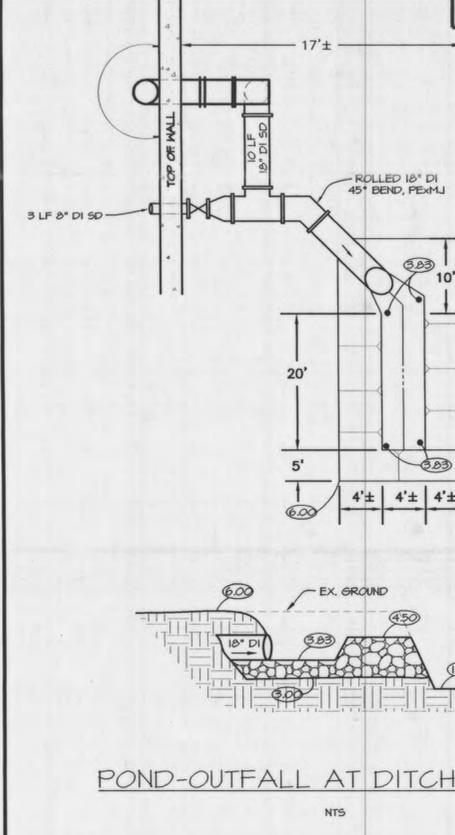
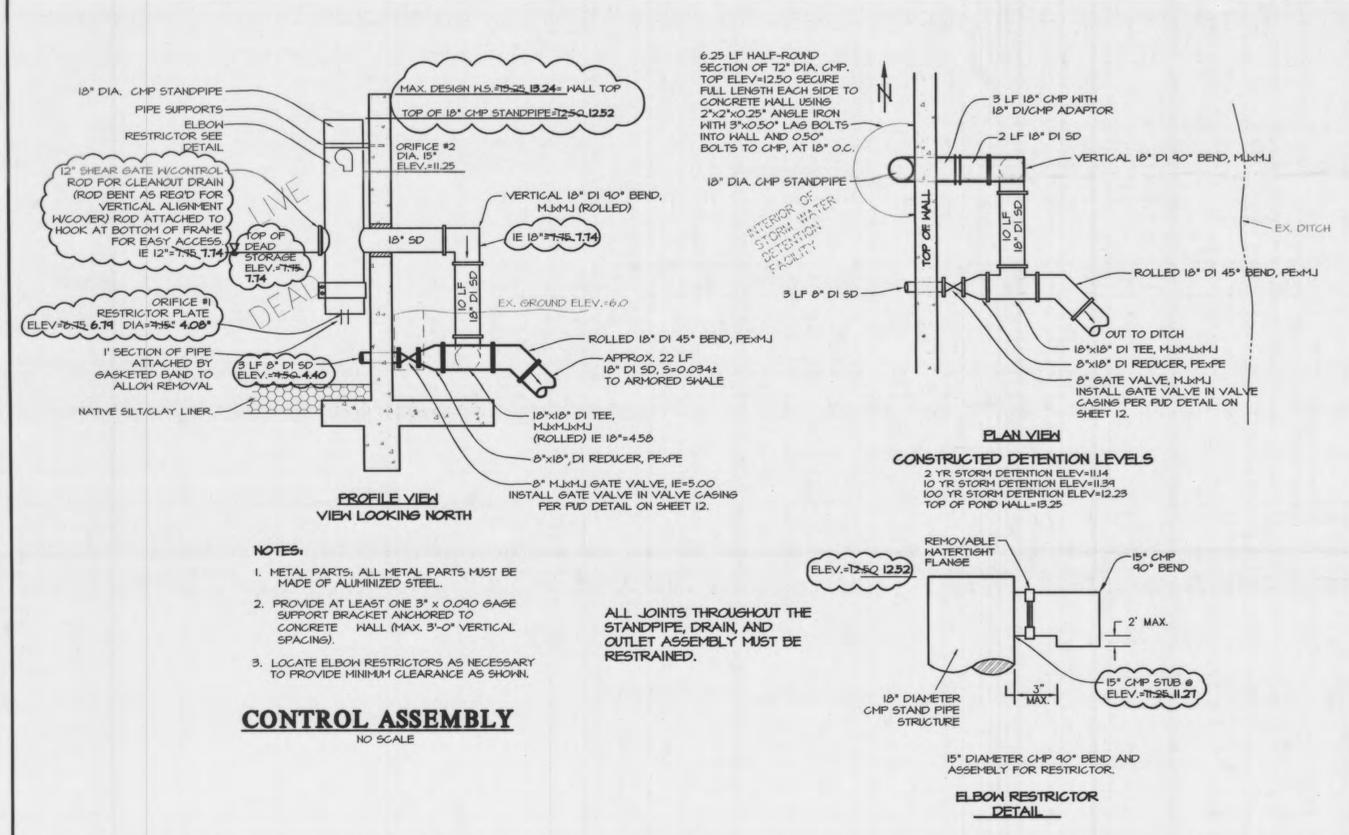
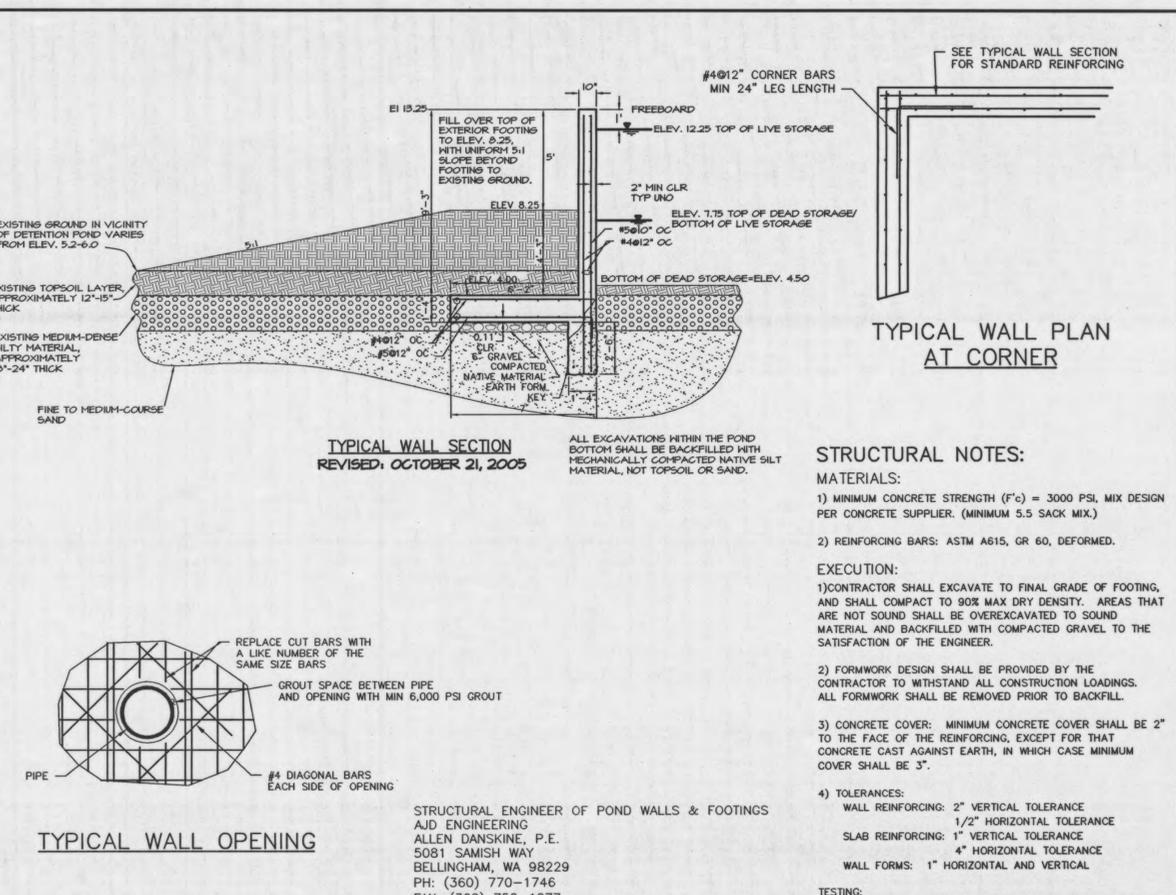
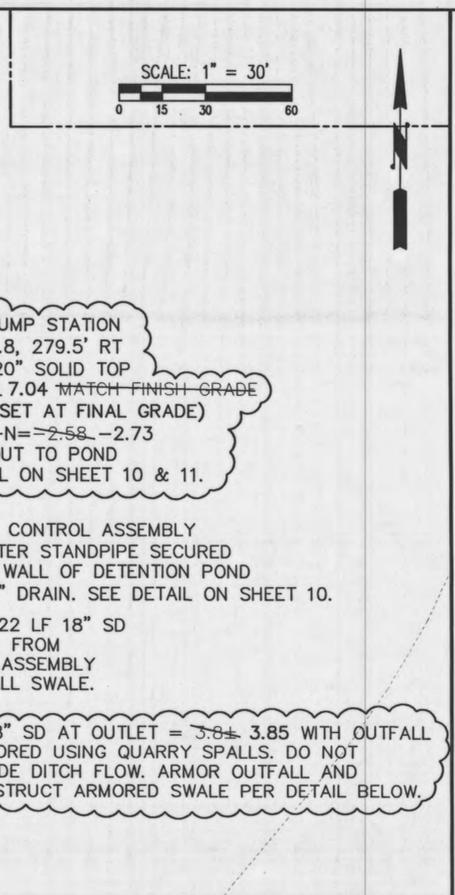
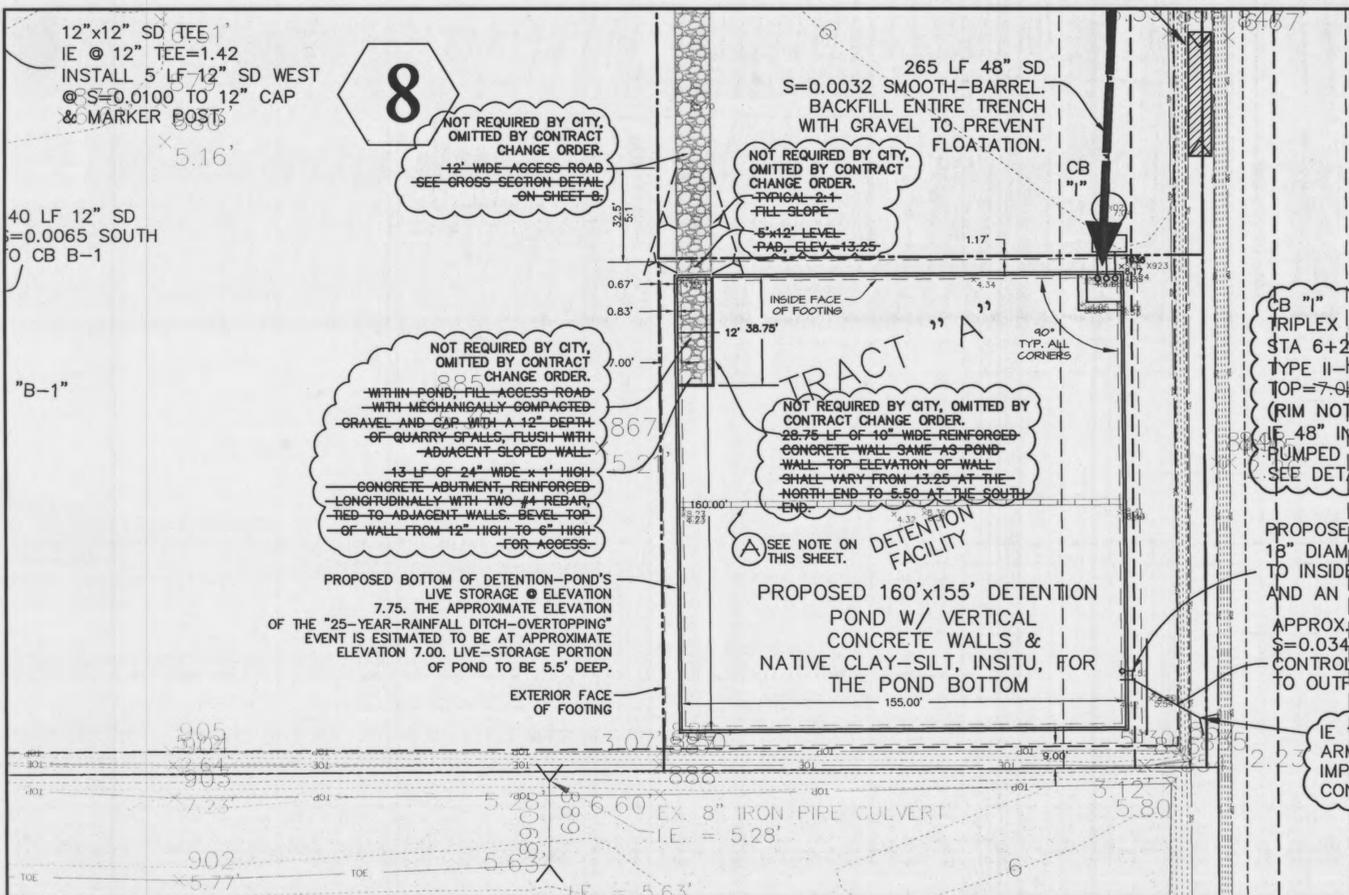
DRAWING NO. 04041DET.dwg
JOB NO. 04041
SHEET NO. 9 OF 15

REV. NO.	REVISION	DATE	BY	APPROVED
1	WATERLINE ASBUITS PROVIDED BY PUD INSPECTOR	5/23/06	DLS	JPR
2	ASBUIT INFORMATION PROVIDE BY METRON SURVEY	5/05/06	DLS	JPR
3	ASBUIT INFORMATION PROVIDE BY METRON SURVEY	6/09/06	DLS	JPR

Ravnik & Associates, Inc.
CIVIL ENGINEERING & LAND-USE PLANNING
108 E. GILKEY RD./P.O. BOX 361
BURLINGTON, WA 98233
PH: (360) 707-2048 FAX: (360) 707-2216

SHEET DESCRIPTION:

DETAILS



DETENTION POND DIVIDER WALL
 REQUIRED BY CITY - AUTHORIZED BY CONTRACT CHANGE ORDER

ACROSS THE BOTTOM OF POND, CENTERED NORTH-SOUTH, A DIVIDER WALL SHALL BE CONSTRUCTED WITHIN THE DEAD STORAGE. THE WALL SHALL BE CONSTRUCTED OF CONCRETE ECOLOGY BLOCKS, (COMMONLY 2'x2'x6') TWO-BLOCK HIGH.

POND BOTTOM ELEV.=4.50
TOP OF BLOCK WALL=8.50
BOTTOM OF LIVE STORAGE=7.75

WITHIN THE EAST 3/4 OF WALL SECTION, NO GAPS SHALL BE PROVIDED BETWEEN THE BLOCKS. (GROUTING IS NOT REQUIRED.) WITHIN THE WEST 1/4 OF WALL SECTION, A 10"-12" GAP SHALL BE PROVIDED BETWEEN THE INDIVIDUAL BLOCKS OF BOTH ROWS TO ALLOW FOR WATER TO FLOW FROM THE NORTH CELL TO THE SOUTH CELL.

CALL TWO BUSINESS DAYS BEFORE YOU DIG 1-800-424-5555

JOHN P. RAVNIK
 PROFESSIONAL ENGINEER
 EXPIRES 6.3.08

For As-Constructed Info Only

John Ravnik 12/5/06
 ENGINEER DATE

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Ravnik & Associates, Inc.
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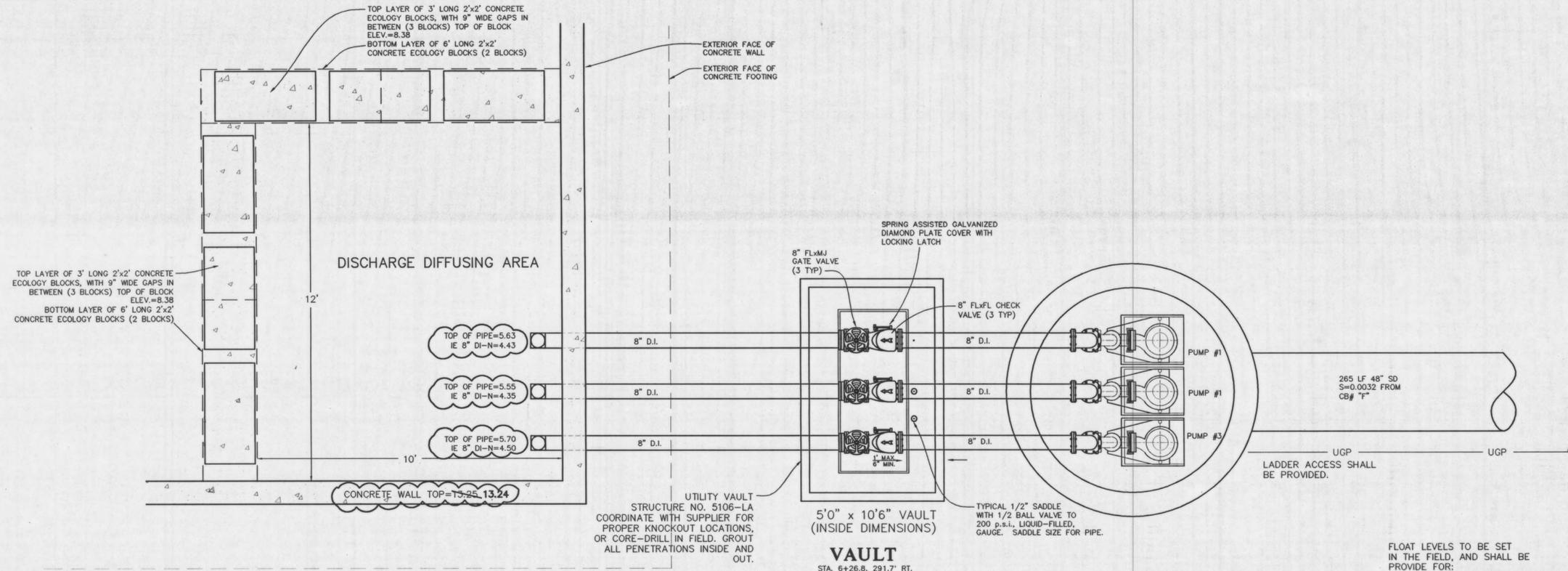
DETENTION POND DETAILS

PLAN STATUS: AS-CONSTRUCTED

SCALE: AS NOTED
 SHEET TITLE: CONSTRUCTION PLANS FOR REO FAMILY PROPERTIES, LLC
 DRAWN BY: H. NELSON
 CHECKED BY: J. RAVNIK
 DATE: 6-13-06

DRAWING NO. 04041SIT.ASB.dwg
 JOB NO. 04041
 SHEET NO. 10 OF 15
 S.W. 1/4 OF SECTION 32, TWP 34 N., RGE 4E, W.M.

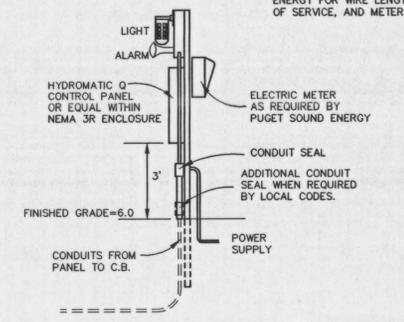
CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555



PLAN VIEW
NOT TO SCALE

C.B. #1
CB CENTER @ STA. 6+26.8, 279.5' RT.
TYPE II-120" CB WITH ACCESS HATCH CAST IN FLAT TOP SLAB PER PUMP SUPPLIER REQUIREMENTS

Float levels to be set in the field, and shall be provide for:
PUMP #1 ON - ELEV.=-1.38 (1.2' ABOVE IE 48" SD)
PUMP #2 ON - ELEV.=-0.98 (1.6' ABOVE IE 48" SD)
PUMP #3 ON - ELEV.=-0.58 (2.0' ABOVE IE 48" SD)
HIGH LEVEL ALARM - ELEV.=5.0
LOW LEVEL SHUT-OFF - ELEV.=-2.5



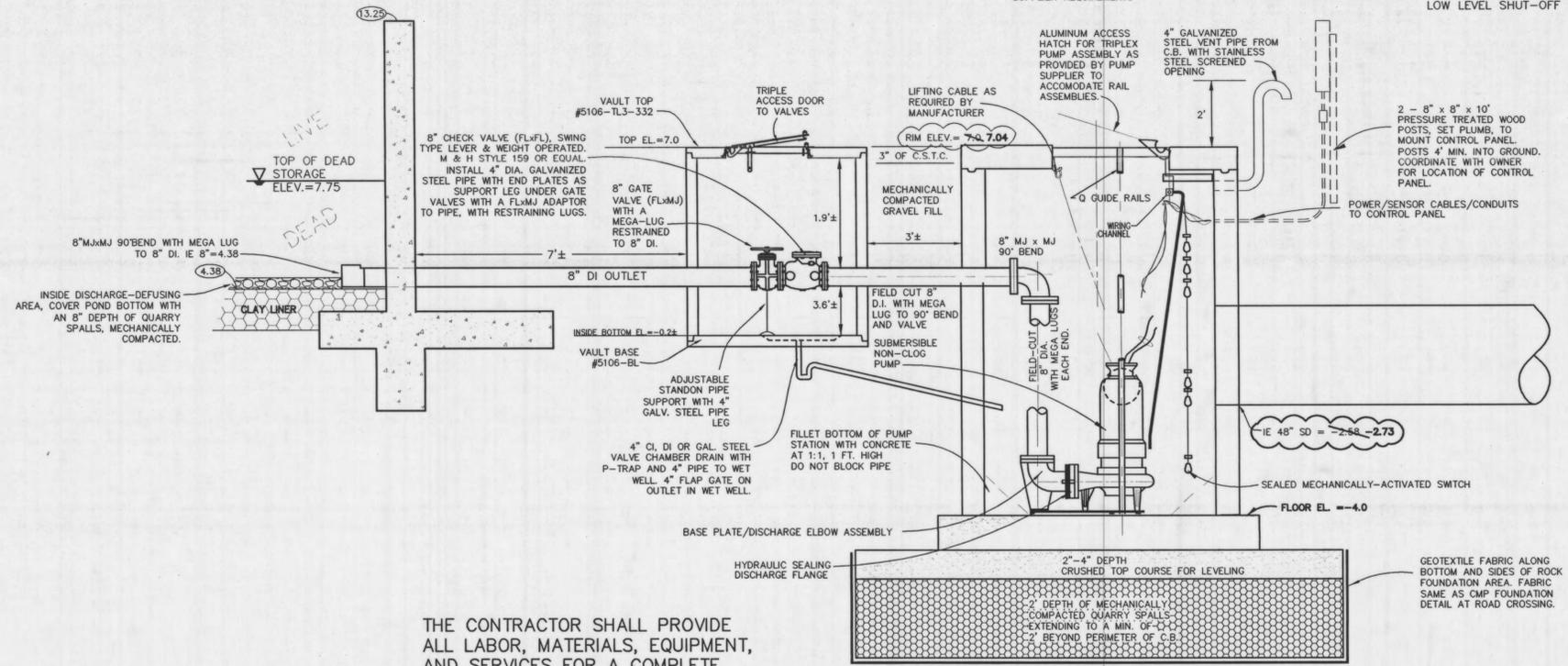
PUMP PANEL DETAIL

SEE CONTROL PANEL SPECIFICATIONS INCLUDED WITHIN CONTRACT DOCUMENT BOOK.

For As-Constructed Info Only

JOHN P. RAVNIK
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
EXPIRES 6-3-08

John Ravnik
ENGINEER | 12/5/06 DATE



THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES FOR A COMPLETE, FUNCTIONAL, STORM WATER PUMP STATION FACILITY.

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3	ASBULT INFORMATION PROVIDE BY METRON SURVEY	6/09/06	DLS	JPR

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CIVIL ENGINEERING & LAND-USE PLANNING
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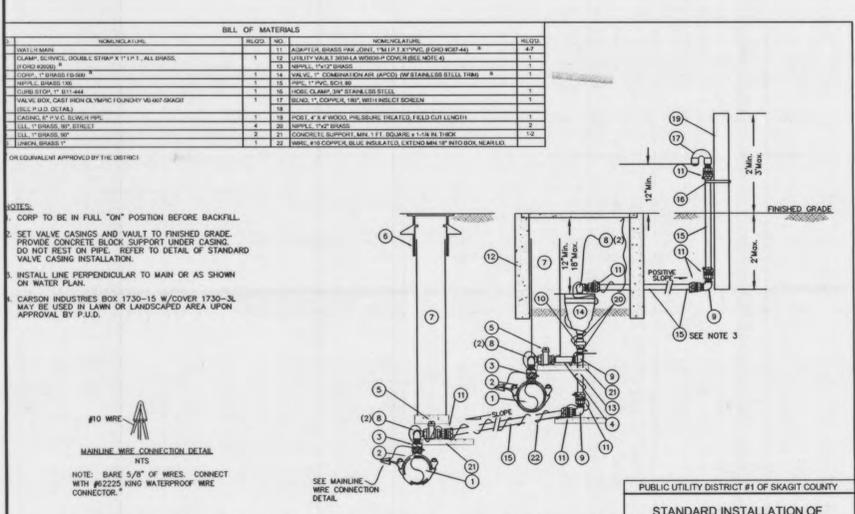
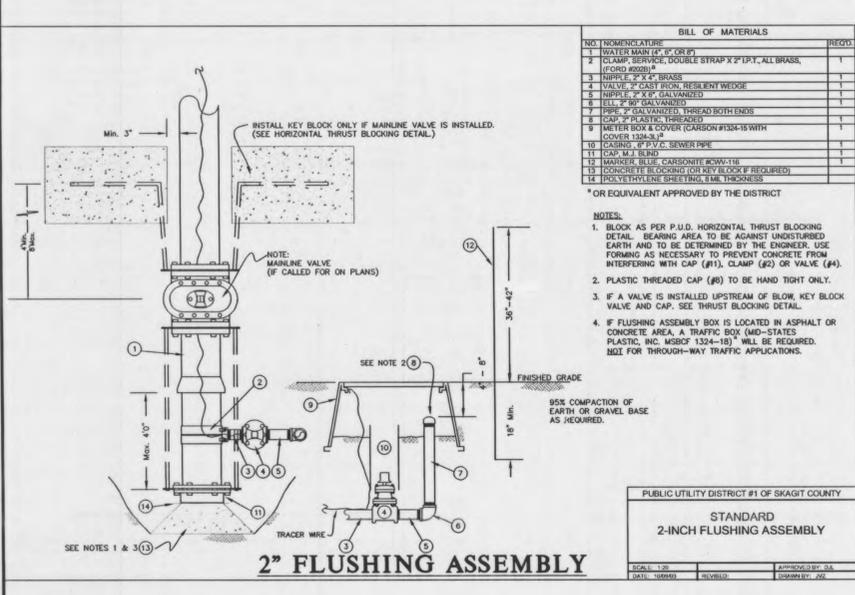
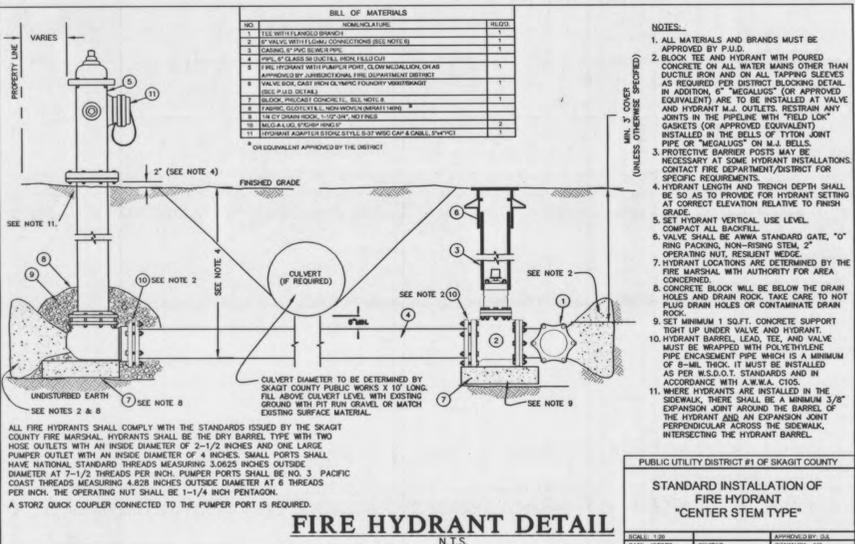
SHEET DESCRIPTION:
PUMP ASSEMBLY DETAIL

PLAN STATUS: AS-CONSTRUCTED

SCALE: AS NOTED
DRAWN BY: H. NELSON
CHECKED BY: J. RAVNIK
DATE: 6-13-06

SHEET TITLE:
CONSTRUCTION PLANS FOR REO FAMILY PROPERTIES, LLC
S.W. 1/4 OF SECTION 32, TWP 34 N., RGE 4E, W.M.

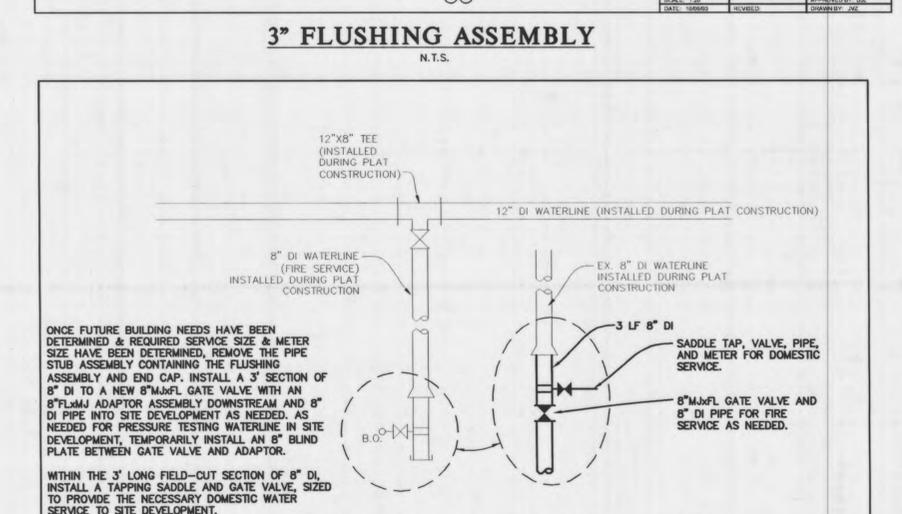
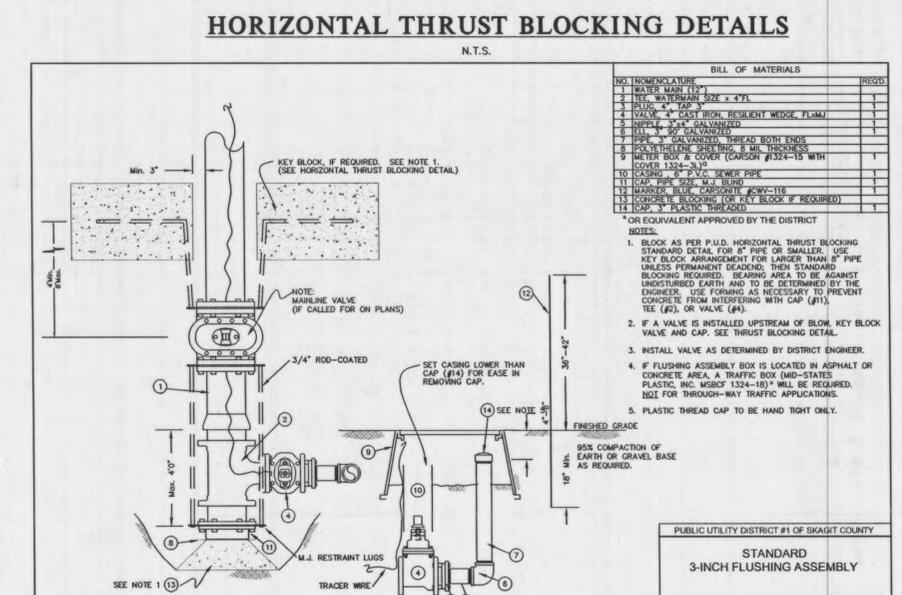
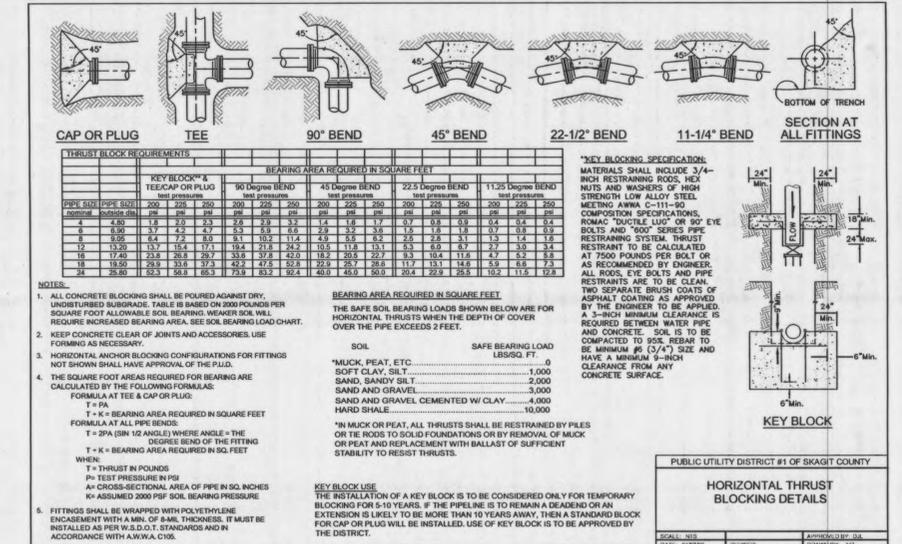
DRAWING NO. 04041DET.dwg
JOB NO. 04041
SHEET NO. 11 OF 15



1" COMBINATION AIR VALVE ASSEMBLY

N.T.S.

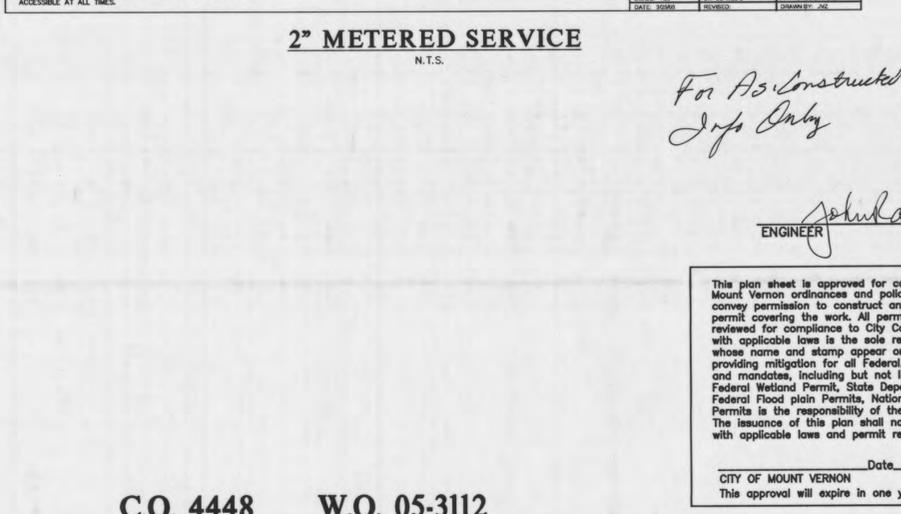
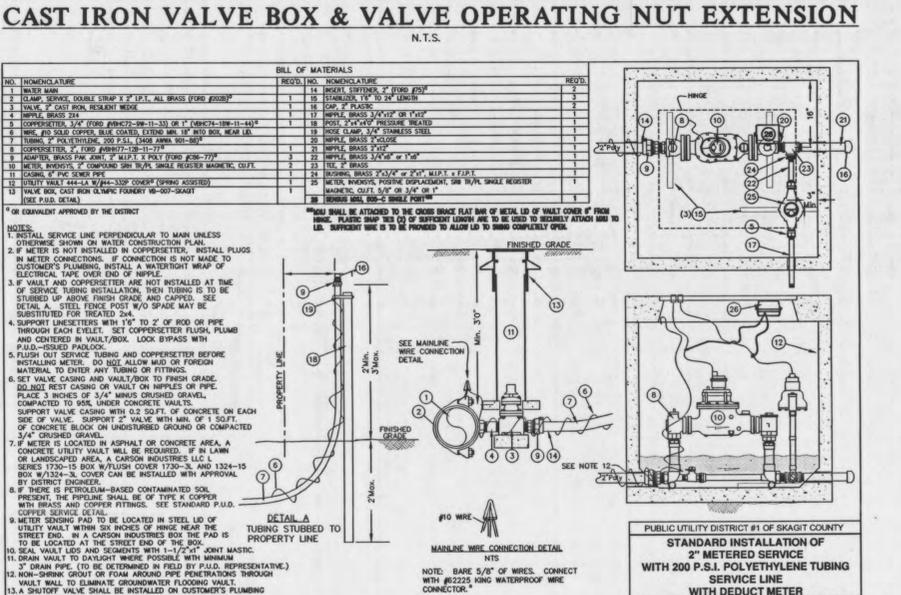
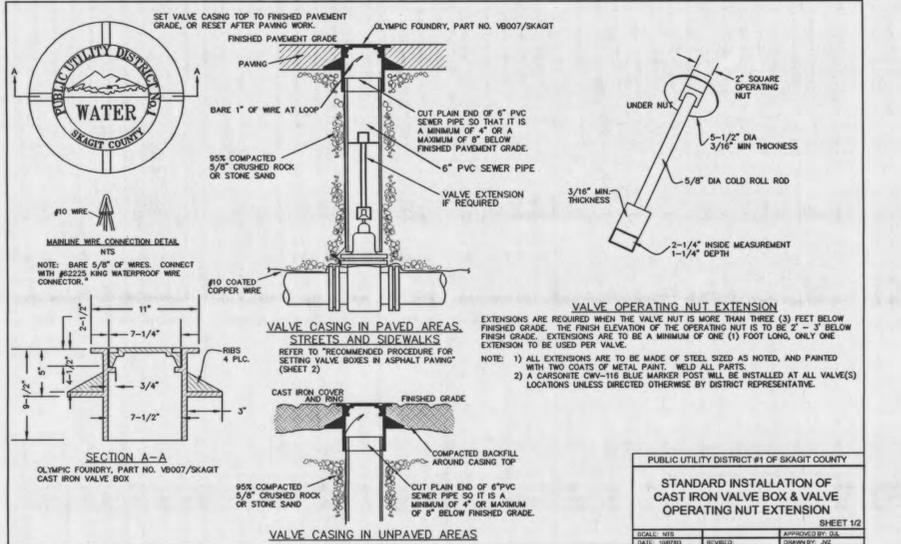
REV. NO.	REVISION	DATE	BY	APPROVED
1	WATERLINE ASBUILTS PROVIDED BY PUD INSPECTOR	5/23/06	DLS	JPR
2	ASBUILT INFORMATION PROVIDED BY METRON SURVEY	5/05/06	DLS	JPR
3	ASBUILT INFORMATION PROVIDED BY METRON SURVEY	6/09/06	DLS	JPR



FUTURE DOMESTIC SERVICE DETAIL

N.T.S.

SHEET DESCRIPTION:



2" METERED SERVICE

N.T.S.

For As Constructed Jobs Only

ENGINEER: *Johlanovich* DATE: 12/23/06

This plan sheet is approved for construction in accordance with the City of Mount Vernon ordinances and policies. This plan sheet does not imply or convey permission to construct any item unless accompanied by an approved permit covering the work. All permits must be on a City approved form reviewed for compliance to City Codes. Actual conformance of the design with applicable laws is the sole responsibility of the professional engineer whose name and stamp appear on this sheet. Acquiring, complying with and providing information for all Federal, State, County and Local laws, permits and regulations including but not limited to the Endangered Species Act, Federal Wetland Permit, State Department of Fisheries Hydraulics Permit, Federal Floodplain Permits, National Pollutant Discharge Elimination System Permits is the responsibility of the Developer, Landowner and the Engineer. The issuance of this plan shall not be construed as proof of compliance with applicable laws and permit requirements.

Date: _____
CITY OF MOUNT VERNON
This approval will expire in one year from the date noted above.

C.O. 4448 W.O. 05-3112

PLAN STATUS: AS-CONSTRUCTED

SCALE: AS NOTED SHEET TITLE: **CONSTRUCTION PLANS FOR REO FAMILY PROPERTIES, LLC**

DRAWN BY: H. NELSON
CHECKED BY: J. RAWNIK
DATE: 6-13-06

DRAWING NO. 04041DET.dwg
JOB NO. 04041
SHEET NO. 12 OF 15

CALL TWO BUSINESS DAYS BEFORE YOU DIG
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GENERAL CONSTRUCTION NOTES

1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE 2004 STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION AS PREPARED BY THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND THE AMERICAN PUBLIC WORKS ASSOCIATION (WSDOT/APWA) TOGETHER WITH THE REQUIREMENTS OF THE CITY OF MOUNT VERNON ENGINEERING AND STREET DEPARTMENTS. REQUIREMENTS OF SKAGIT PUD FOR THE WATERLINE EXTENSIONS SERVING THIS PROJECT, AND REQUIREMENTS OF THE APPLICABLE UTILITY COMPANIES PROVIDING SERVICES TO THIS PROJECT.

IF THERE ARE ANY CONFLICTS IN REQUIREMENTS, THE MOST STRINGENT SHALL APPLY UNLESS OTHERWISE APPROVED BY THE ENGINEER.

2. DURING THE COURSE OF THIS PROJECT THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND CONDUCTING PRECONSTRUCTION MEETINGS WITH A REPRESENTATIVE FROM AGENCIES FOR, AT A MINIMUM, THE FOLLOWING CIVIL PHASES OF WORK:

EROSION & SEDIMENT CONTROLS—CITY OF MOUNT VERNON SANITARY SEWER SYSTEM—CITY OF MOUNT VERNON STORM DRAINAGE, ON-SITE GRADING, PIPING—CITY OF MOUNT VERNON LIMITS STATION - L & I, PROJECT ENGINEER WATERLINE EXTENSION—SKAGIT PUD P.T.C.G COORDINATION—ALL UTILITY COMPANIES CITY'S FIBER-OPTIC SYSTEM—CITY OF MOUNT VERNON ROAD SUBGRADE PRIOR TO CONSTRUCTION—CITY OF MOUNT VERNON TOP OF FINISHED GRAVEL GRADE AND COMPACTION—CITY OF MOUNT VERNON FINAL CRUSHED ROCK GRADING PRIOR TO ASPHALT—CITY OF MOUNT VERNON CONCRETE CURB, GUTTER, SIDEWALK AND ROAD IMPROVEMENTS IN R.O.W.—CITY OF MOUNT VERNON ENGINEERING AND STREET DEPARTMENTS TEMPORARY DOMESTIC WATER SHUT-DOWN—PUD AND AFFECTED PROPERTIES

3. THE DEVELOPMENT OF THIS PROJECT REQUIRES THE CONTRACTOR CLOSELY COORDINATE UTILITY AND ROADWAY IMPROVEMENTS WITH THE CITY OF MOUNT VERNON. THE CONTRACTOR IS RESPONSIBLE FOR THOROUGHLY REVIEWING EACH COMPONENT OF WORK ON THE CIVIL PLANS AND COORDINATING WITH THE OWNER, ENGINEER, AND THE CITY OF MOUNT VERNON FOR ANY QUESTIONS OR CLARIFICATIONS OF WORK.

4. DURING THE COURSE OF THIS PROJECT, THE CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL ASBUILTS OF UTILITIES INSTALLED; EXISTING UTILITIES ENCOUNTERED INCLUDING THEIR DEPTH, SIZE, AND MATERIAL; AND EXISTING CONDITIONS NOT CONSISTENT WITH THOSE IDENTIFIED ON THE PLANS. ALL ASBUILT INFORMATION SHALL BE MAINTAINED IN A CLEAR, LEGIBLE, COMPREHENSIBLE ORDER. ASBUILT INFORMATION SHALL BE CLEARLY WRITTEN ON A CLEAN SET OF CONSTRUCTION PLANS AND PROVIDED TO THE ENGINEER UPON THE PROJECT'S COMPLETION. THE ASBUILT MYLARS, PREPARED BY THE ENGINEER, SHALL BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO ISSUING PLANS TO BE PERFORMED. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING APERTURE CARDS OF ALL AS-BUILT PLANS TO THE CITY OF MOUNT VERNON.

5. EXISTING UTILITIES HAVE BEEN IDENTIFIED USING THE AVAILABLE UTILITY RECORDS, PREVIOUS DESIGN DOCUMENTS, AND A TOPOGRAPHIC SURVEY OF THE SURFACE CONDITIONS WITHIN THE SUBJECT PROPERTY AND THE ADJUTING PORTIONS OF OLD HIGHWAY 99. A TOPOGRAPHIC SURVEY OF THIS SITE AND OLD HIGHWAY 99 ABUTTING THE PROPERTY HAS BEEN PROVIDED BY METRON & ASSOCIATES OF ARLINGTON, WASHINGTON, PHONE (360) 433-3777. THE TOPOGRAPHIC SURVEY IS LOCATED 99 SOUTH OF THE SUBJECT PROPERTY HAS BEEN PROVIDED BY USSER AND ASSOCIATES OF MOUNT VERNON, WASHINGTON, PHONE NO. (360) 419-7442.

6. CONSTRUCTION STAKING FOR THIS PROJECT WILL BE PROVIDED BY THE OWNER. NO RESTAKING OF PREVIOUSLY STAKED ITEMS WILL BE PROVIDED UNLESS THE CONTRACTOR REQUESTS IT, AND THEN THE RESURVEY EXPENSES WILL BE DEDUCTED FROM THE OWNER'S PAYMENTS TO THE CONTRACTOR.

7. THE CONTRACTOR IS RESPONSIBLE FOR HAVING ALL EXISTING UTILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE ONE-CALL UTILITY LOCATE SERVICE AT 1-800-424-5555 A MINIMUM OF TWO WORKING DAYS PRIOR TO ANY WORK. THE CONTRACTOR IS ALSO RESPONSIBLE, IF NECESSARY, FOR RETAINING A PRIVATE UTILITY LOCATE SERVICE TO IDENTIFY ANY EXISTING UTILITIES BEYOND THE LIMITS OF THE PUBLIC RIGHTS-OF-WAY. DAMAGES TO THE EXISTING UTILITIES RESULTING FROM THIS CONSTRUCTION SHALL BE REPAIRED BY THE UTILITY COMPANY, AS REQUIRED, AT THE CONTRACTOR'S EXPENSE.

8. GENERAL CONDITIONS HAVE BEEN INDICATED ON THE PLANS FOR THE REMOVAL OF EXISTING MATERIALS AND STRUCTURES NECESSARY TO ACCOMMODATE THE PROPOSED IMPROVEMENTS. THE LIMITS OF THIS WORK ARE FOR USE BY THE CONTRACTOR IN PREPARING A COST FOR THIS PROJECT. HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR THOROUGHLY INSPECTING THE ENTIRE PROJECT SITE AND ASCERTAINING THE ENTIRE LIMIT OF ALL WORK THAT WILL BE NECESSARY TO PROVIDE THE PROPOSED IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE SATISFACTION OF THE OWNER, ENGINEER, THE CITY OF MOUNT VERNON ENGINEERING AND PLANNING DEPARTMENTS, AND UTILITY COMPANIES INVOLVED WITH THE CONSTRUCTION OF THESE SITE IMPROVEMENTS.

THE CONTRACTOR IS RESPONSIBLE FOR PRESERVING AND PROTECTING ALL ELEMENTS THAT ARE TO REMAIN. DAMAGED CONDITIONS MUST BE PROMPTLY REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE ASSOCIATED OWNER.

9. THE CONTRACTOR SHALL PROVIDE DAILY EFFORTS TO KEEP THE SITE IN A NEAT AND ORDERLY CONDITION TO THE SATISFACTION OF THE OWNER, ENGINEER, AND THE CITY OF MOUNT VERNON ENGINEERING AND STREET DEPARTMENTS. THE CONTRACTOR IS REQUIRED TO PROVIDE PROVISIONS NECESSARY TO PREVENT DEBRIS FROM BEING WASHED INTO THE EXISTING MAIN MADE DRAINAGE DITCH BISECTING THE SUBJECT PROPERTY, OR ANY OTHER STORM SYSTEM DITCHES THROUGHOUT, AND NEAR THIS PROJECT SITE. IT IS IMPERATIVE THE CONTRACTOR MEASURES TO PREVENT SILT AND DEBRIS FROM BEING WASHED INTO ANY PORTION OF ANY EXISTING AND/OR NEW DRAINAGE SYSTEM IMPROVEMENTS.

10. TRAFFIC LANES MUST BE MAINTAINED ON OLD HIGHWAY 99. NO ROAD CLOSURES WILL BE ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF MOUNT VERNON ENGINEERING AND FIRE DEPARTMENTS. WITH EACH PARTIAL CLOSURE, AND DURING ALL CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL PREPARE AND PROVIDE A TRAFFIC CONTROL PLAN TO THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT IDENTIFYING FLAGGERS AND TEMPORARY SIGN INSTALLATION FOR ON-GOING WORK ACTIVITIES. THE REQUIREMENTS OF TRAFFIC CONTROL SHALL BE ESTABLISHED BY THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT, PERTAINING TO FLAGGERS AND LIGHTS. ALL TRAFFIC CONTROL PLANS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT AND THE MOST RECENT VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. REGARDLESS OF WHERE THE CONSTRUCTION ACTIVITY IS OCCURRING FOR THIS PROJECT, ALL FEES THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TRAFFIC CONTROL SIGNS AND FLAGGERS FOR CONSTRUCTION VEHICLES ENTERING AND EXITING THIS PROJECT SITE. FLAGGERS MUST BE USED FOR ALL CONSTRUCTION WITHIN THE HIGHWAY 99 R.O.W.

11. DURING ALL PHASES OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES TO MINIMIZE THE IMPACTS ON THE ADJOINING PROPERTIES. IT IS THE CONTRACTOR'S DAILY RESPONSIBILITY TO PROVIDE THIS MEASURE WHENEVER NECESSARY. THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT RESERVES THE RIGHT TO REQUIRE ADDITIONAL DUST CONTROL MEASURES TO BE PROVIDED BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THIS CONTRACT.

12. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS CONCERNING THE DISPOSAL OF MATERIALS, ALL ASPHALT, CONCRETE, STRUCTURES, AND DEBRIS REMOVED FROM THIS SITE SHALL BE DISPOSED IN A LEGALLY APPROVED DISPOSAL SITE OBTAINED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE DISPOSAL OF MATERIALS, REGARDLESS OF NATURE, FROM THIS PROJECT SITE.

13. IN ADDITION TO NOTIFYING THE CITY OF MOUNT VERNON FOR ANY TEMPORARY OR PARTIAL ROAD CLOSURES, THE CONTRACTOR IS ALSO RESPONSIBLE FOR NOTIFYING ALL ADJOINING RESIDENCES AND BUSINESSES WITHIN THE VICINITY OF THIS PROJECT TO INFORM THEM OF CONSTRUCTION ACTIVITIES AND WHEN ACCESS TO THIS AREA MAY BE LIMITED.

THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING THESE SITE IMPROVEMENTS IN SUCH A WAY AS TO NOT IMPACT THE OPERATION OF ANY ADJOINING BUSINESSES OR RESIDENCES.

THE CONTRACTOR SHALL PERFORM ALL SITE IMPROVEMENTS IN SUCH A MANNER AS TO CONTINUALLY ALLOW THE ADJOINING RESIDENTS AND BUSINESSES THE ABILITY TO DRIVE ON OLD HIGHWAY 99.

CLEARING AND EXCAVATION

14. NO GEOTECHNICAL INVESTIGATION HAS BEEN PREPARED FOR THE ROADWAY AND UTILITY IMPROVEMENTS ASSOCIATED WITH THIS PROJECT. ALL MATERIALS USED IN THE CROSS-SECTION OF ROADWAYS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT. THE CONTRACTOR IS RESPONSIBLE FOR IMMEDIATELY CONTACTING THE OWNER AND THE ENGINEER, IF SITE CONDITIONS INDICATE UNSTABLE OR NON-UNIFORM SOIL CONDITIONS. THE CONTRACTOR IS REQUIRED TO HAVE COMPACTION INSPECTIONS PERFORMED ON THE EXCAVATED SUBGRADE WITHIN THE PROPOSED ROADWAYS, AS SPECIFIED.

15. IF SUBGRADE CONDITIONS ARE IDENTIFIED DURING THE COURSE OF THIS WORK THAT REQUIRE ADDITIONAL EXCAVATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER REGARDING THE ENCOUNTERED CONDITIONS. AS DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL PERFORM ADDITIONAL EXCAVATION TO REMOVE SOFT, YIELDING, OR ORGANIC MATERIALS WITHIN THE PRISMS OF THE PROPOSED ROADWAY IMPROVEMENTS. WHERE NECESSARY, EXCAVATION SHALL BE PERFORMED TO REMOVE VEGETATION, TOPSOIL, DEBRIS, REMANANT STRUCTURES, MATERIALS, AND ANY OTHER DELETERIOUS MATERIALS THAT MAY DETRIMENTALLY IMPACT SITE EXCAVATION OR FOUNDATION SUPPORT FOR THE PROPOSED IMPROVEMENTS. UNLESS OTHERWISE APPROVED BY THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT, STRIPPED MATERIALS SHALL NOT BE USED, NOR MIXED, WITH ANY GRANULAR MATERIALS TO BE USED AS STRUCTURAL FILL WITHIN UTILITY TRENCHES OR PROPOSED ROADWAY IMPROVEMENTS. NATIVE MATERIALS CANNOT BE USED FOR ROADWAY IMPROVEMENT WITHIN THE RIGHT-OF-WAY, EXCEPT FINAL SURFACE GRADING BEHIND WALLS.

ALL SUBGRADE CONDITIONS SHALL BE PREPARED AND COMPACTED CONFORMING TO WSDOT SECTION 2-06.3(1) AND 2-06.3(2). THE ROAD SUBGRADE CONDITIONS SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT MAXIMUM DRY DENSITY. A MOISTURE CONTENT PLUS OR MINUS 2 PERCENT FROM OPTIMUM. THE CONTRACTOR MUST HAVE ALL ROAD SUBGRADES, AT THE BOTTOM OF GRAVEL, INSPECTED BY THE COMPACTION TESTING PERSONNEL, AND THE CITY OF MOUNT VERNON. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO ACHIEVE THE REQUIRED SUBGRADE CONDITIONS.

EXCAVATION SHALL BE PERFORMED, AT A MINIMUM, TO THE DESIGNED SUBGRADE ELEVATION FOR THE BOTTOM OF GRAVEL. THIS SUBGRADE SHALL BE PREPARED AS SPECIFIED. WHERE SOFT, YIELDING, OR ORGANIC CONDITIONS EXIST AT THE DESIGNED SUBGRADE ELEVATION, ADDITIONAL EXCAVATION MUST BE PERFORMED TO EXPOSE FIRM, NON-YIELDING, NON-ORGANIC, SUBGRADE CONDITIONS. ALL OVER-EXCAVATION WORK MUST BE BROUGHT TO THE ENGINEER'S AND OWNER'S ATTENTION AND APPROVED BY THE OWNER PRIOR TO THE CONTRACTOR PERFORMING SUCH WORK. THE CONTRACTOR SHALL ALSO NOTIFY THE ENGINEER FOR ALL OVER EXCAVATION WORK WITHIN THE RIGHT-OF-WAY.

16. THE CONTRACTOR IS RESPONSIBLE FOR CLEARING BRUSH, TREES, AND OTHER VEGETATION IN ORDER TO PREPARE THE SITE FOR CONSTRUCTION. ON-SITE BURNING IS NOT ALLOWED. THE CONTRACTOR IS RESPONSIBLE FOR ALL LOADING, HAULING, AND PROPER OFFSITE DISPOSAL OF VEGETATED MATERIAL.

17. SUBGRADE CONDITIONS AND PLACED-MATERIAL CONDITIONS THAT ARE APPROVED, BUT LATER FAIL TO MEET SPECIFICATIONS DUE TO EXCESSIVE TRAFFIC, UNPROTECTED FROM WEATHER, OR UNDUPE IMPACTS, AS DETERMINED BY THE ENGINEER, SHALL BE REBUILT/RECONSTRUCTED BY THE CONTRACTOR AT THE CONTRACTOR'S COST.

18. DURING ALL COURSES OF THIS PROJECT, THE CONTRACTOR IS TO PROVIDE EROSION AND SEDIMENTATION CONTROL NOTES AS PROVIDED BY THE EXCAVATED SUBGRADE OR TO PLACED MATERIAL SURFACES, AND FROM CAUSING EXCESSIVE MOISTURE. PROVISIONS TO PREVENT AND/OR REMOVE STORM RUNOFF SHALL INCLUDE, BUT ARE NOT LIMITED TO, PLASTIC COVERING, LOWERS, TEMPORARY DITCHING, PUMPS, AND SALTATION. ALL STORMWATER DISCHARGED FROM THIS SITE SHALL BE THOROUGHLY FILTERED THROUGH EROSION AND SEDIMENTATION CONTROLS PRIOR TO BEING DISCHARGED INTO ANY NEW OR EXISTING DRAINAGE OR CONVEYANCE SYSTEM. THE ON-SITE SOILS ARE VERY MOISTURE-SENSITIVE; THEREFORE, ALL CONSTRUCTION PRACTICES AND SITE OPERATIONS SHALL BE PERFORMED TO PROTECT THE UNDERLYING SOILS.

THIS AREA OF MOUNT VERNON CAN HAVE HIGH GROUND WATER CONDITIONS. WITHIN THE SOUTHERN HALF OF THE SITE, AS IDENTIFIED ON THE CIVIL PLANS, THERE IS AN EXISTING GROUND WATER TABLE. THE GROUND WATER EAST SIDE OF OLD HIGHWAY 99. THE GROUND WATER ELEVATION AS EXISTED IN EARLY OCTOBER 2005 IS IDENTIFIED ON THE CIVIL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR MONITORING GROUND WATER CONDITIONS AND PROVIDING ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY TO COMPLETE ALL WORK WITHIN THIS PROJECT. REGARDLESS OF THE GROUND WATER ELEVATION, THE CONTRACTOR WILL BE REQUIRED FOR SOME WORK WITHIN THIS PROJECT. THE EXTENT OF DEWATERING NECESSARY IS THE CONTRACTOR'S RESPONSIBILITY BASED UPON THE ELEVATION OF GROUND WATER OBSERVED WITHIN THE GROUND WATER MONITORING WELL AS EXISTS WITHIN THE RESPECTIVE WORK AREA.

19. AT ANY LOCATIONS WHERE TREE STUMPS OR ORGANIC MATERIALS ARE REMOVED FROM WITHIN THE UTILITY TRENCH OR DITCH, THE CONTRACTOR SHALL BACKFILL THE LIMITS OF THE OVEREXCAVATION WITH COMPACTED GRAVEL MATERIAL AS SPECIFIED. NATIVE MATERIAL SHALL NOT BE USED AS BACKFILL AT ANY LOCATION BELOW OR WITHIN TWO FEET OF THE PROPOSED ROADWAY, SIDEWALK IMPROVEMENTS, NOR WITHIN THE RIGHT-OF-WAY, EXCEPT AS FINAL SURFACE GRADING BEHIND WALLS.

20. DURING THE COURSE OF THIS PROJECT, THE CONTRACTOR IS RESPONSIBLE FOR STOCKPILE CLEAN, NATIVE TOPSOIL MATERIALS TO BE USED AS FINAL GRADING AGAINST BACK OF WALK AND BACK OF CURB AREA. ONLY TOPSOIL WITHIN THE TOP 12" SHALL BE USED AS LANDSCAPE FILL. STOCKPILED TOPSOIL, TO BE USED FOR FINAL GRADING WITHIN LANDSCAPE AREAS, SHALL BE FREE OF ROCKS, STICKS, AND DEBRIS GREATER THAN TWO INCHES IN ANY DIMENSION. THE CONTRACTOR IS RESPONSIBLE FOR STOCKPILING TOPSOIL AT LOCATIONS THAT WILL NOT INTERRUPT CONSTRUCTION ACTIVITIES, AND FOR PROTECTING THE TOPSOIL STOCKPILE FROM CONTAMINATION OR SATURATION.

TOPSOIL MATERIAL SHALL BE GRADED AS SPECIFIED, AND STATIC ROLLED TO PROVIDE FOR A LIGHTLY DENSE SURFACE CONDITION.

CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS WILL REQUIRE THE EXCAVATION OF ORGANIC AND NON-SUITABLE MATERIALS WITHIN THE PROPOSED ROADWAY PRISM. THE CONTRACTOR IS RESPONSIBLE FOR STOCKPILING ALL EXCESS EXCAVATED MATERIALS ONSITE AT A LOCATION ACCEPTABLE TO THE OWNER, AND WHICH WILL NOT INTERRUPT THE CONTRACTORS WORK. THE STOCKPILED MATERIAL SHALL NOT CONTAIN MANMADE NOR MANUFACTURED MATERIALS, AND SHALL BE SHAPED TO PROMOTE SURFACE RUNOFF. TO THE EXTENT NECESSARY, EROSION CONTROL DEVICES SHALL BE INSTALLED AROUND THE STOCKPILED AREA TO PREVENT DEBRIS FROM ENTERING ANY NEW AND EXISTING DRAINAGE FACILITY.

21. BISECTING THE SUBJECT PROPERTY, THERE IS AN EXISTING MAIN MADE DRAINAGE DITCH. NO CONSTRUCTION VEHICLES SHALL BE ALLOWED TO ENTER OR CROSS THIS DITCH. CONSTRUCTION MATERIALS SHALL BE STORED OR STOCKPILED NEAR THIS AREA. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL PRECAUTIONS NECESSARY TO PROTECT THE DITCH FROM ANY DAMAGES CAUSED BY THESE CONSTRUCTION ACTIVITIES. PRIOR TO ANY ONSITE CONSTRUCTION, SILT FENCE MUST BE INSTALLED ADJACENT TO ALL DITCHES ONSITE.

EXISTING UTILITIES

22. THROUGHOUT THE COURSE OF THIS PROJECT, VARIOUS UTILITY COMPANIES WILL BE INVOLVED IN SITE IMPROVEMENTS TO MAKE CONNECTIONS FROM THE PROPOSED WORK HEREIN, TO THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH EACH UTILITY COMPANY PRIOR TO COMMENCING SITE ACTIVITIES, AND CONDUCTING A COORDINATION MEETING ONSITE WITH A REPRESENTATIVE FROM EVERY UTILITY COMPANY AND THE ENGINEER. THE CONTRACTOR SHALL PERFORM EXCAVATION, BACKFILL, AND WORK AS REQUIRED BY THE UTILITY COMPANIES FOR THE COMPLETE INSTALLATION OF EACH SERVICE.

23. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES. ANY DAMAGED UTILITY CONDITIONS MUST BE PROMPTLY REPAIRED, IN CONFORMANCE WITH UTILITY COMPANY REQUIREMENTS, AT THE CONTRACTOR'S EXPENSE.

24. CONSTRUCTION OF THESE ROADWAY AND UTILITY IMPROVEMENTS WILL REQUIRE THAT SOME UTILITIES TEMPORARILY BE SHUT DOWN. PRIOR TO PERFORMING ANY WORK THAT WILL INTERRUPT ANY EXISTING SERVICES, THE CONTRACTOR MUST COORDINATE WITH THE ASSOCIATED UTILITY COMPANY AND THE ASSOCIATED PROPERTY OWNER REGARDING THE TEMPORARY UTILITY SHUTDOWN. UTILITY SHUTDOWNS MUST BE PERFORMED AND COORDINATED SO IMPACT TO THOSE EXISTING PARTIES SERVED IS MINIMIZED.

25. FOR POWER, TELEPHONE, TV CABLE, GAS, AND FIBER OPTIC; THE CONTRACTOR MUST INDEPENDENTLY COORDINATE WITH EACH UTILITY REGARDING TRENCH CONDITIONS AND REQUIREMENTS, BEDDING AND COVER MATERIALS, CONDUIT AND ROAD CASINGS. TYPICALLY, COMMON 48" WIDE TRENCH, BEDDED AND COVERED WITH SIX INCHES OF CLEAN SAND, AND SUFFICIENT DEPTH FOR THREE FEET OF CONDUIT COVER IS ACCEPTABLE TO THE UTILITY COMPANIES. THE CONTRACTOR SHALL EXCAVATE, GRADE, AND PROVIDE BACKFILL FOR ALL VAULTS AND STRUCTURES.

26. THERE ARE MANY EXISTING UTILITIES THAT WILL BE CROSSED WITH THE PROPOSED IMPROVEMENTS HEREIN. FOR ALL SLOPE-CONTROLLED UTILITIES SUCH AS STORM, DRAINAGE, AND SANITARY SEWER, THE CONTRACTOR MUST HORIZONTALLY AND VERTICALLY ASBUILT ALL EXISTING UTILITIES WITHIN THE ALIGNMENT OF THE PROPOSED SLOPE-CONTROLLED UTILITY SHUTDOWN. PRIOR TO PERFORMING ANY CONSTRUCTION, THE CONTRACTOR MUST OBTAIN THE VERTICAL ELEVATION OF THE EXISTING UTILITY AND COMPARE IT TO THE DESIGNED IMPROVEMENT. CONFLICTS BETWEEN PROPOSED UTILITIES AND EXISTING UTILITIES MUST BE IMMEDIATELY BROUGHT TO THE ENGINEER'S ATTENTION SO A RESOLUTION CAN BE ACHIEVED IN A TIMELY MANNER.

EROSION AND SEDIMENTATION CONTROLS

27. THE CONTRACTOR IS RESPONSIBLE FOR CONFORMING WITH ALL EROSION AND SEDIMENTATION CONTROL NOTES AS PROVIDED BY THE CITY OF MOUNT VERNON, AND AS CONTAINED ON THE CIVIL PLANS HEREIN.

28. PRIOR TO COMMENCING SITE CONSTRUCTION ACTIVITIES, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING SILT FENCE, INSTALLING STORM RUNOFF DITCHES, AND CONSTRUCTING THE TEMPORARY QUARRY SPALL CONSTRUCTION ENTRANCE ROAD AS IDENTIFIED ON THE CIVIL PLANS, AND PROVIDE SILT FENCE AND STORM PIPES. AND AS SURFACING FOR THE MAINTENANCE ACCESS ROAD IN AND OUT OF THE DETENTION POND. QUARRY SPALLS SHALL CONFORM TO WSDOT SECTION 9-13.6. AT LOCATIONS WHERE QUARRY SPALLS ARE USED AT STORM PIPE INLET AND OUTLETS, THEY ARE TO BE MECHANICALLY COMPACTED TO PROVIDE A FIRM, ENERGY-DISSIPATING PAD AT A LEVEL THAT WILL NOT IMPED OR OBSTRUCT DRAINAGE FLOW. ALL QUARRY SPALL SHALL BE AT STORM PIPE INLET AND OUTLETS, ARE TO BE 5 FEET SQUARE BY 12 INCHES DEEP, UNLESS OTHERWISE SPECIFIED ON THE CIVIL PLANS.

29. FILTER FABRIC FENCE IS TO BE INSTALLED TO AID IN THE REMOVAL OF DEBRIS FROM STORMWATER EXITING THE SUBJECT PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION, CLEANING, AND PLACEMENT IF NECESSARY, AND MAINTENANCE OF FILTER FABRIC SILT FENCE AS NECESSARY TO ADEQUATELY CONTROL ALL SURFACE RUNOFF FROM THIS PROPERTY AND ITS ASSOCIATED DEVELOPMENT.

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE PROJECT SITE AND DETERMINING LOCATIONS WHERE STORMWATER MAY EXIT THE SUBJECT PROPERTY AND FLOW ONTO ADJACENT AREAS. ALL THESE LOCATIONS, THE CONTRACTOR MUST INSTALL FILTER FABRIC FENCE TO AID IN THE REMOVAL OF DEBRIS FROM STORMWATER EXITING THE SUBJECT PROPERTY. CONSTRUCTION ACTIVITIES SHALL NOT BE ALLOWED TO CAUSE ANY CONCENTRATED RUNOFF WATERS ONTO ADJOINING PROPERTIES OR RIGHT OF WAY AREAS.

AFTER SITE WORK IS COMPLETE AND THE SOIL CONDITIONS ARE STABILIZED, THE CONTRACTOR SHALL CLEAN UP AND REMOVE THE EROSION CONTROL ITEMS AND ALL ACCUMULATED DEBRIS. UNTIL THE SITE IS APPROPRIATELY STABILIZED, AS DETERMINED BY THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT, THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION AND SEDIMENTATION CONTROL FACILITIES.

30. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PREVENTING DIRTY STORMWATER FROM EXITING ANY PORTION OF THE SUBJECT PROPERTY. DURING ALL PERIODS OF CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MAINTAINING, REPLACING, AND CLEANUP OF ANY AND ALL EROSION AND SEDIMENT CONTROL DEVICES.

31. WITHIN NEAT CATCH BASINS AS THEY ARE INSTALLED AND ALL EXISTING CATCH BASINS RECEIVING STORM RUNOFF FROM THE PROJECT SITE, THE CONTRACTOR SHALL INSTALL FILTER FABRIC SACKS UNDER THE RESPECTIVE GRATES. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING, MAINTENANCE, AND REPLACEMENT OF FILTER FABRIC AS NECESSARY TO CONTINUALLY ALLOW STORMWATER TO BE FILTERED PRIOR TO ENTERING THE DRAINAGE SYSTEM.

32. UPON COMPLETION OF THE PROJECT IMPROVEMENTS, THE CONTRACTOR IS RESPONSIBLE FOR THOROUGHLY CLEANING OUT ALL STORM PIPES AND ASSOCIATED STORM STRUCTURES INCLUDING CATCH BASINS.

33. AS SOON AS PARTICULAR CONSTRUCTION ACTIVITIES ARE COMPLETE, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MIXTURE OF GRASS SEED, FERTILIZER, AND MULCH WITHIN THE ADJOINING PROPOSED RIGHT-OF-WAY AREAS, TO ASSIST IN STABILIZING THE DISTURBED SOILS. FERTILIZER AND MULCH SHOULD BE APPLIED SEPARATELY. THE WEATHER CONDITIONS ARE SUPPORTIVE.

34. CONSTRUCTION IMPROVEMENTS ARE REQUIRED ON SITE, AND WITHIN THE ADJOINING PUBLIC RIGHTS-OF-WAY, AS IDENTIFIED ON THE CIVIL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THESE ON-SITE AND OFF-SITE PROPERTIES IN SUCH A MANNER THAT A SIGNIFICANT RAINFALL EVENT WILL NOT CAUSE SILT-LADENED STORM RUNOFF WATERS TO ENTER ANY PORTION OF AN EXISTING OR NEW DRAINAGE SYSTEM, WITHOUT BEING APPROPRIATELY FILTERED. THE PROJECT SITE SHALL BE MANAGED AND MAINTAINED SO THAT NO DAMAGES OCCUR FROM RAINFALL.

35. AS REQUIRED BY THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT, THE CONTRACTOR SHALL CONSTRUCT QUARRY SPALL CONSTRUCTION ENTRANCE ROADS INTO THE PROJECT IMPROVEMENT AREA. CONSTRUCTION OF THE TEMPORARY, QUARRY SPALL ROADS SHALL CONFORM TO THE DETAIL ON THE CIVIL PLANS AND REQUIREMENTS OF THE CITY OF MOUNT VERNON. THE CONTRACTOR IS RESPONSIBLE FOR CONTINUALLY INSPECTING, MAINTAINING, CLEANING, AND REPLACEMENT OF SPALLS, IF NECESSARY, TO PREVENT DEBRIS FROM BEING TRACKED OUT ONTO THE PUBLIC RIGHT-OF-WAY.

36. THROUGHOUT THE COURSE OF THE PROJECT, THE CONTRACTOR IS RESPONSIBLE FOR HAVING THE ADJOINING ROADWAY SWEEP, IF DEBRIS IS TRANSPORTED FROM THE PROJECT SITE ONTO THE ADJOINING ROADWAY. THE ROADWAYS MUST BE THOROUGHLY SWEEP TO REMOVE AS MUCH DEBRIS AS POSSIBLE, AND THEN WASHED. WHEREVER ROAD-WASHING ACTIVITIES OCCUR, SEDIMENT-CONTROL DEVICES MUST BE IN PLACE TO TRAP SILT AND DEBRIS FROM BEING WASHED INTO THE DRAINAGE SYSTEM. THE CONTRACTOR SHALL PROTECT ALL PROPERTIES FROM BEING DAMAGED AND IMPACTED BY WASH WATER.

GRAVEL AND PROCESSED MATERIALS

37. STRUCTURAL FILL, AS NEEDED TO COMPLETE GRADING CONDITIONS AND AS NECESSARY WITHIN THE PROPOSED ROAD AND UTILITY TRENCHES, SHALL CONFORM TO THE GRAVEL BORROW SPECIFICATION IN WSDOT SECTION 9-03.14(1). GRAVEL BORROW MATERIAL SHALL NOT CONTAIN MORE THAN 5 PERCENT MAXIMUM ANY MATERIAL PASSING THE NO. 200 SIEVE. IF IN THE OPINION OF THE ENGINEER, OWNER, OR CITY OF MOUNT VERNON, THE IMPORTED STRUCTURAL FILL MATERIAL APPEARS TO CONTAIN MORE THAN 5 PERCENT OF MATERIAL PASSING THE NO. 200 SIEVE, OR DOES NOT APPEAR TO CONFORM TO THE REQUIRED GRADATION, THE CONTRACTOR SHALL PROVIDE A GRADATION ANALYSIS AT NO ADDITIONAL CHARGE TO THE OWNER.

PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST PROVIDE A NEW GRADATION ANALYSIS OF THE GRAVEL MATERIAL TO BE IMPORTED. THIS ANALYSIS IS TO BE PROVIDED TO THE ENGINEER FOR REVIEW AND APPROVAL.

THE CONTRACTOR IS RESPONSIBLE FOR RETAINING PERSONNEL TO PERFORM COMPACTION TESTING OF GRAVEL FILL MATERIALS AS IDENTIFIED HEREIN. THE CONTRACTOR MUST PROVIDE A NEW GRADATION ANALYSIS AND PROCTOR ANALYSIS OF THE GRAVEL MATERIAL TO THE MATERIAL'S TESTING COMPANY.

MATERIALS THAT ARE DETERMINED TO BE UNACCEPTABLE SHALL BE REMOVED FROM THE PROJECT SITE AND REPLACED WITH APPROPRIATE MATERIALS AT NO ADDITIONAL CHARGE TO THE CONTRACT.

EACH LIFT OF STRUCTURAL FILL MATERIAL, REGARDLESS OF LOCATION, SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF NINETY-FIVE PERCENT OF THE MAXIMUM DRY DENSITY, AT A MOISTURE CONTENT PLUS OR MINUS TWO PERCENT FROM OPTIMUM, AS DETERMINED BY THE ASTM TEST METHOD D-1557.

MATERIALS THAT ARE DETERMINED TO BE UNACCEPTABLE SHALL BE REMOVED FROM THE PROJECT SITE WITH APPROPRIATE MATERIALS AT NO ADDITIONAL CHARGE TO THE CONTRACT. GRAVEL MATERIALS SHALL BE TESTED FOR COMPACTION AS REQUIRED.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING ALL IMPORTED GRAVEL THAT CONFORMS TO THE REQUIRED GRADATION AND CAN BE COMPACTED AS SPECIFIED.

38. CRUSHED SURFACING TOP COURSE AND CRUSHED SURFACING BASE COURSE, BEING 100 PERCENT FULL-FRACTURE FACE AND CONFORMING TO WSDOT SECTION 9-03.9(3), SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING FOUR INCHES IN DEPTH AND COMPACTED TO A MINIMUM OF NINETY-FIVE PERCENT MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM TEST METHOD D-1557. MATERIALS OTHER THAN ASPHALT EMALS SHALL BE PLUS OR MINUS TWO PERCENT FROM OPTIMUM. THE OWNER RESERVES THE RIGHT TO EXCHANGE CRUSHED SURFACING BASE COURSE WITH CRUSHED SURFACING TOP COURSE AT NO CHANGE IN CONTRACT PRICE.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING ALL IMPORTED CRUSHED ROCK MATERIALS THAT CONFORM TO THE REQUIRED GRADATION AND CAN BE COMPACTED AS SPECIFIED.

39. QUARRY SPALLS ARE TO BE USED WHERE NECESSARY AS UTILITY TRENCH FOUNDATION, STRUCTURE FOUNDATION, TEMPORARY CONSTRUCTION ACCESS ROADS, AT ALL LOCATIONS WHERE STORM PIPES DISCHARGE INTO AND FROM THE DETENTION POND, ARMORING AND PROTECTION OF THE PLACEMENT OF CURB AND STORM PIPES, AND AS SURFACING FOR THE MAINTENANCE ACCESS ROAD IN AND OUT OF THE DETENTION POND. QUARRY SPALLS SHALL CONFORM TO WSDOT SECTION 9-13.6. AT LOCATIONS WHERE QUARRY SPALLS ARE USED AT STORM PIPE INLET AND OUTLETS, THEY ARE TO BE MECHANICALLY COMPACTED TO PROVIDE A FIRM, ENERGY-DISSIPATING PAD AT A LEVEL THAT WILL NOT IMPED OR OBSTRUCT DRAINAGE FLOW. ALL QUARRY SPALL SHALL BE AT STORM PIPE INLET AND OUTLETS, ARE TO BE 5 FEET SQUARE BY 12 INCHES DEEP, UNLESS OTHERWISE SPECIFIED ON THE CIVIL PLANS.

AS IDENTIFIED ON THE CIVIL PLANS, QUARRY SPALLS SHALL BE USED TO CONSTRUCT A TEN-FOOT WIDE MAINTENANCE ACCESS ROAD UP TO THE TOP OF THE POND AND DOWN INTO THE POND. AS REQUIRED BY THE 1998 DOE STORMWATER MANAGEMENT GUIDE FOR WESTERN WASHINGTON, A MAXIMUM ALLOWABLE SLOPE FOR THE MAINTENANCE ACCESS ROAD SHALL NOT EXCEED 20 PERCENT, WHICH EQUATES TO A 5:1 INCLINATION. THE MAINTENANCE ACCESS ROAD SHALL EXTEND INTO THE DETENTION POND TO A LOCATION WHICH IS ONE FOOT ABOVE THE BOTTOM OF THE DETENTION POND AS REQUIRED BY THE CITY OF MOUNT VERNON. THE ACCESS ROAD SHALL BE A MINIMUM OF TEN FEET WIDE.

40. GEOTEXTILE FABRIC SHALL BE PLACED UPON ALL SUBGRADE SURFACES, BELOW THE PROPOSED ROAD IMPROVEMENTS, BELOW CURBS IN THE DITCH, AND BELOW DEEP STRUCTURES AS REQUIRED. GEOTEXTILE FABRIC SHALL CONFORM TO WSDOT SECTION 9-33, TABLE 3, FOR WOVEN SOIL STABILIZATION FABRIC. LISTED BELOW ARE THE MINIMUM REQUIREMENTS FROM THIS REFERENCED SECTION:

GRAB TENSILE STRENGTH: 315 POUNDS
PUNCTURE RESISTANCE: 112 POUNDS
TEAR STRENGTH: 20 POUNDS
APARENT OPENING SIZE: NO. 40 SIEVE

THE CONTRACTOR IS RECOMMENDED TO PERFORM AS MANY OF THE UNDERLYING UTILITY IMPROVEMENTS AS POSSIBLE TO PREVENT HAVING TO CUT THE GEOTEXTILE FABRIC. WHERE FABRIC CUTS ARE NECESSARY, THE CONTRACTOR SHALL USE A SHARP DEVICE, AND NOT TEAR THE FABRIC FOR THE PROPOSED ROAD IMPROVEMENTS. WHERE FABRIC CUTS ARE NECESSARY, THE OVERLAPPING FABRIC TO COVER THE CUT MUST OVERLAP A MINIMUM OF THREE FEET IN EACH DIRECTION.

PLACEMENT OF THE GEOTEXTILE FABRIC, SHALL BE ON A SUBGRADE THAT HAS BEEN EXCAVATED, COMPACTED, PREPARED AS IDENTIFIED HEREIN, AND INSPECTED FOR APPROVAL. PLACEMENT OF THE FABRIC SHALL BE PERFORMED USING THE FOLLOWING METHODS: THE CONTRACTOR SHALL BE REQUIRED TO STRETCH THE FABRIC AS TIGHT AS POSSIBLE. ALL FABRIC JOINTS MUST OVERLAP A MINIMUM OF THREE FEET.

AT LOCATIONS WITHIN THE PROJECT SITE WHERE OVEREXCAVATION IS NECESSARY TO REMOVE SOFT, YIELDING, SUBGRADE MATERIALS, AND AS DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL UTILIZE TWO LAYERS OF GEOTEXTILE FABRIC. THE GEOTEXTILE FABRIC SHALL BE PLACED ALONG THE BOTTOM OF THE OVEREXCAVATED AREA, AND SHALL EXTEND BEYOND THE OVER EXCAVATED AREA A MINIMUM DISTANCE OF FIVE FEET, ONTO AREAS WHERE THE SUBGRADE CONDITIONS ARE FIRM AND NON-YIELDING. THE OVER EXCAVATED AREA SHALL BE FILLED WITH MECHANICALLY COMPACTED GRAVEL BORROW MATERIAL TO THE DESIGNED SUBGRADE ELEVATION WHERE THE PRIMARY SHEET OF GEOTEXTILE FABRIC SHALL BE PLACED.

CONTROLLED DENSITY FILL SHALL BE USED IN THE REPAIR OF ALL UTILITY TRENCH SECTIONS WITHIN EXISTING ROADWAYS AS IDENTIFIED ON THE CIVIL PLANS AND AS REQUIRED BY THE CITY OF MOUNT VERNON. CONTROL DENSITY FILL SHALL HAVE A COMPRESSIVE STRENGTH OF 400 TO 500 PSI.

CONDUITS

42. AS REQUIRED BY THE CITY OF MOUNT VERNON FOR THEIR FIBER OPTIC PROGRAM, THE CONTRACTOR SHALL INSTALL FOUR-INCH DIAMETER CONDUIT, TYPICALLY AT A DEPTH OF 18-30 INCHES, WITHIN THE SAME TRENCH AS TELEPHONE. CONDUIT OUTSIDE OF ROAD CROSSINGS SHALL BE SMALL WALL PVC, NOT PROFILE WALL PVC, AND SHALL CONFORM TO WSDOT SECTION 9-08.12(1) MEETING THE REQUIREMENTS OF ASTM D 3034 SUR 35, OR THE CONTRACTOR MAY ALSO USE SCHEDULE 40 PVC. AT ROAD CROSSINGS, AND EXTENDING TO TWO FEET BEHIND THE FACE OF CURB, THE CONDUIT MUST BE SCHEDULE 80 PVC.

CONDUITS NOT IMMEDIATELY USED, SHALL BE INSTALLED WITH PVC END CAPS, 200-POUND NYLON PULL STRING, AND MARKER POSTS. TYPICALLY, ALL CONDUITS SHALL BE INSTALLED AT 36-INCHES OF COVER. TO AVOID CONFLICTS WITH OTHER UTILITIES, THE MINIMUM DEPTH OF COVER FOR CONDUITS SHALL BE 24 INCHES BELOW FINISH GRADE. ALL CONDUIT TRENCHES SHALL INCLUDE MARKER TAPE AS SPECIFIED.

AT THE END OF ALL CONDUITS, LARGE RADIUS BENDS SHALL BE INSTALLED VERTICALLY WITH ADDITIONAL CONDUIT INSTALLED SO THE END OF CONDUIT EXTENDS TO TWO FEET ABOVE FINISH GRADE.

44. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF MOUNT VERNON FOR THE LOCATION OF CONDUITS AND JUNCTION BOXES NECESSARY TO SERVE THE CITY'S FIBER OPTIC SYSTEM. FIBER OPTIC CONDUIT MUST BE INSTALLED THROUGHOUT THE PROJECT AREA, WITHIN THE COMMON TRENCH SERVING POWER, TELEPHONE, TELEVISION CABLE, AND NATURAL GAS.

THROUGHOUT THE ALIGNMENT OF THE FIBER-OPTIC CONDUIT, THE CONTRACTOR SHALL PROVIDE AND INSTALL POLYETHYLENE JUNCTION BOXES AT LOCATIONS REQUIRED BY THE CITY OF MOUNT VERNON. FOR BUDGETARY PURPOSES, THE BOXES SHALL BE INSTALLED AT 500-FOOT INTERVALS, AT THE ENDS OF ALL FIBER-OPTIC CONDUIT, AND AT ALL LOCATIONS WHERE FIBER-OPTIC CONDUIT INTERSECTS WITH OTHER FIBER-OPTIC CONDUIT. JUNCTION BOXES SHALL BE TYPE II CONFORMING TO WSDOT STANDARD PLAN J-11a.

45. PRIOR TO PERFORMING SITE CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH PUGET SOUND ENERGY, VERIZON TELEPHONE, CASCADE NATURAL GAS, AND AT&T CABLEVISION, FOR ALL CONDUITS AND ROAD-CROSSING CASINGS NECESSARY TO SERVE THEIR SPECIFIC UTILITIES.

ASPHALT PAVING

46. ASPHALT CONCRETE PAVEMENT, CLASS B, SHALL CONFORM TO WSDOT SECTION 5-04 AND THE REQUIREMENTS OF THE CITY OF MOUNT VERNON'S ASPHALT ACCEPTANCE POLICY. A COPY OF MOUNT VERNON'S ASPHALT ACCEPTANCE POLICY IS INCLUDED AT THE END OF THESE SPECIFICATIONS.

ALL ASPHALT SHALL BE COMPACTED TO A MINIMUM OF NINETY-TWO PERCENT OF THE RICE DENSITY AND TESTED FOR COMPACTION BY THE CONTRACTOR OR THE CONTRACTOR'S SUBCONTRACTOR PERFORMING THE PARTICULAR WORK. THERE IS NO ADDITIONAL PAYMENT FOR ASPHALT COMPACTION THAT IS TO BE GREATER THAN 92%.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING, REVIEWING, AND BECOMING FAMILIAR WITH THE CITY OF MOUNT VERNON'S ASPHALT ACCEPTANCE POLICY. THE CONTRACTOR MUST PERFORM AN ON-SITE CONSTRUCTION MEETING WITH THE ENGINEER, COMPACTION-TESTING FIRM, CITY OF MOUNT VERNON, AND THE ASPHALT PAVING CONTRACTOR, PRIOR TO ASPHALT PAVING, TO DETERMINE ANY ADDITIONAL SPECIFIC REQUIREMENTS OR CONCERNS EXPRESSED BY THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT.

47. ALL ASPHALT ROADWAYS HEREIN SHALL THREE INCHES OF CONSISTENT WITH THE AVERAGE ASPHALT PAVING SURFACE OR ARE UNACCEPTABLE TO THE ENGINEER OR THE CITY OF MOUNT VERNON, SHALL BE REPAIRED OR RECONSTRUCTED AS REQUIRED BY THE CITY OF MOUNT VERNON. IF PORTIONS OF THE ASPHALT SURFACE ARE TOO OPEN AND POROUS, THE ENTIRE SURFACE SHALL BE FOG-SEALED AS DIRECTED BY THE CITY OF MOUNT VERNON ENGINEER, AT NO ADDITIONAL CONTRACT AMOUNT.

48. WITHIN TWENTY-FOUR HOURS PRIOR TO ASPHALT PAVING, SOIL RESIDUAL HERBICIDE SHALL BE APPLIED TO ALL SURFACES TO BE PAVED. SOIL RESIDUAL HERBICIDE SHALL CONFORM TO WSDOT SECTION 5-04.3(5).

49. POROUS AGGREGATE CONDITIONS WITHIN THE ASPHALT PAVING, THAT ARE NOT CONSISTENT WITH THE AVERAGE ASPHALT PAVING SURFACE OR ARE UNACCEPTABLE TO THE ENGINEER OR THE CITY OF MOUNT VERNON, SHALL BE REPAIRED OR RECONSTRUCTED AS REQUIRED BY THE CITY OF MOUNT VERNON. IF PORTIONS OF THE ASPHALT SURFACE ARE TOO OPEN AND POROUS, THE ENTIRE SURFACE SHALL BE FOG-SEALED AS DIRECTED BY THE CITY OF MOUNT VERNON ENGINEER, AT NO ADDITIONAL CONTRACT AMOUNT.

ASPHALT WIDENING IMPROVEMENTS ARE REQUIRED ALONG THE EASTERLY SIDE OF OLD HIGHWAY 99. ALL ABUTTING EDGES OF EXISTING ASPHALT SHALL BE NEATLY SAWCUT FULL DEPTH TO PROVIDE A STABLE, STABLE EDGE OR THE NEW ASPHALT IMPROVEMENTS. SAWN ASPHALT EDGES THAT ARE BROKEN AS A RESULT OF THIS CONSTRUCTION, OR RAVEL, SHALL BE SAWCUT AND REMOVED IMMEDIATELY PRIOR TO ASPHALT PAVING. ALL STORM

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53. REINFORCING SHALL BE PROVIDED WITHIN THE ROLLED CURB AS SPECIFIED, WITH SLIP JOINTS AND FULL-DEPTH EXPANSION JOINTS AT 40-FOOT INTERVALS.
54. DUMMY JOINTS WITHIN SIDEWALKS SHALL BE PLACED NOT TO EXCEED 5 FEET ON CENTER. ALSO INSTALL 3/16-INCH THICK EXPANSION JOINT MATERIAL AT 20 FEET ON CENTER. HALF-INCH THICK THROUGH JOINTS SHALL BE PLACED AT ALL COLD JOINTS AS DIRECTED BY THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT AND SHALL EXTEND ONE INCH BELOW CONCRETE FINISHED GRADE.
- WHERE SIDEWALKS ARE CONSTRUCTED AGAINST ROLLED CURB AND GUTTER, A COLD JOINT SHALL BE PROVIDED. COLD JOINTS SHALL ALSO BE PROVIDED AT ALL HIGH POINTS, LOW POINTS, AND VERTICAL ANGLE POINTS WITHIN THE CONCRETE SIDEWALK.
55. AT ALL LOCATIONS WHERE CONCRETE RAMPS ARE PROPOSED, THE CONTRACTOR MUST COORDINATE WITH THE CITY OF MOUNT VERNON PRIOR TO THE PLACEMENT OF CONCRETE, BUT AFTER FORMWORK HAS BEEN INSTALLED. ALL RAMPS MUST CONFORM TO THE AMERICANS WITH DISABILITIES ACT. WITHIN ALL WALK AREAS, THE LATERAL CROSS SLOPE SHALL NOT EXCEED 2% NOR BE LESS THAN 1%. WITHIN ALL WALK AREAS, THE LONGITUDINAL SLOPE SHALL NOT EXCEED 8.3%, 12:1. ALL RAMPS AND TRANSITIONS SHALL BE APPROPRIATELY FINISHED, CONSISTENT WITH THE "CURB RAMP ALTERNATE" DETAIL WITHIN WSDOT STANDARD PLAN F-3.
- CURB RAMPS SHALL BE PROVIDED AT ALL PEDESTRIAN CROSSINGS HAVING VERTICAL CURB SECTIONS. ONE RAMP SHALL BE USED ON EACH CURB RETURN ON RESIDENTIAL STREETS AND AT UNSIGNALIZED INTERSECTIONS. ALL RAMPS SHALL BE TEXTURED AND CONTAIN TRUNCATED DOMES AS REQUIRED PER A.D.A.
- STORM DRAINAGE**
56. THE FOLLOWING PIPE MATERIALS ARE APPROVED FOR USE AS STORM DRAINAGE PRODUCTS FOR THE IMPROVEMENTS, WHICHEVER CHOSEN, THE SAME TYPE SHALL BE USED THROUGHOUT EACH INDIVIDUAL STORM SEWER SYSTEM BETWEEN STRUCTURES. IF A SPECIFIC MATERIAL IS IDENTIFIED ON THE CIVIL PLANS, OR HEREIN, THE CONTRACTOR SHALL PROVIDE THE INSTALLATION AS NOTED.
- A. REINFORCED CONCRETE PIPE SHALL CONFORM TO SECTION 9-05.3 AND SECTION 9-05.7.
- B. PVC STORM PIPES SHALL CONFORM TO WSDOT SECTION 9-05.12 (1) MEETING THE REQUIREMENTS OF ASTM D 3034, SDR 35. ALL PVC PIPES SHALL HAVE GASKETED JOINTS CONNECTED WITH INJECTION MOLDED FITTINGS ALSO WITH GASKETS. ALL PVC PIPE SHALL BE SOLID WALL, NOT PROFILE WALL.
- C. CORRUGATED POLYETHYLENE PIPE (CPP) SHALL HAVE A SMOOTH BARREL INTERIOR, CORRUGATED EXTERIOR CONFORMING TO WSDOT SECTION 9-05.20 AND MEETING THE REQUIREMENTS OF ASTM M-294. POLYETHYLENE PIPE THAT IS CORRUGATED INSIDE AND OUTSIDE IS NOT ACCEPTABLE WITHIN ANY PORTION OF THIS PROJECT. ALL JOINTS SHALL BE PREMIUM COULPERS WITH GASKETS. NON-GASKETED BANDS THAT ARE SECURED WITH POLYETHYLENE TIE-STRIPS ARE UNACCEPTABLE.
- D. CORRUGATED METAL PIPE MAY ONLY BE USED IF SPECIFICALLY IDENTIFIED ON THE CIVIL PLANS, AND SHALL CONFORM TO WSDOT SECTION 9-05.1(2) AND 9-05.1(2) AND THE REQUIREMENTS OF THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT.
- ALL PORTIONS OF THE CORRUGATED METAL PIPE MUST BE EITHER COMPRISED OF ALUMINUM PIPE OR ALUMINIZED STEEL CORRUGATED MATERIAL. CORRUGATED ROUNDED METAL PIPE SHALL BE A MINIMUM OF 16 GAUGE THICKNESS. CORRUGATED ARCH PIPE SHALL BE 10 GAUGE.
- ALL BANDS AND GASKETS FOR CORRUGATED METAL PIPE SHALL BE 24 INCHES WIDE AND SHALL HAVE ONE INCH THICK NEOPRENE GASKETS.
- E. DUCTILE IRON PIPE SHALL BE CLASS 50, CONFORMING TO WSDOT SECTION 9-05.13.
57. AT ALL LOCATIONS WHERE PIPE ENDS ARE EXPOSED AT DITCHES, THE PIPES SHALL BE CUT WITH A 3:1 BEVELED END. AT ALL LOCATIONS WHERE STORM PIPES ENTER OR EXIT FROM THE DITCH, A QUARRY SPALL SPLASH PAD SHALL BE CONSTRUCTED AS PREVIOUSLY REFERENCED. ARCH CMP PIPE SHALL CONTAIN A 2:1 BEVELED/FLARED INLET END AND 2:1 BEVELED OUTLET END.
58. AT ALL LOCATIONS WHERE STORM PIPES CONNECT TO CONCRETE STRUCTURES, THE CONTRACTOR SHALL NEATLY GROUT THE INSIDE AND OUTSIDE OF THE STRUCTURE TO TOTALLY ENCOMPASS THE STORM PIPE CONNECTION. GROUTING MATERIAL SHALL BE NONSHRINK, CONCRETE-TYPE MATERIAL.
- AT ALL LOCATIONS WHERE PVC PIPE IS USED AT CONNECTIONS TO CONCRETE STRUCTURES, THE CONTRACTOR SHALL INSTALL A PVC/SAND COLLAR ADAPTER OR RUBBER BOOT ADAPTOR ON THE END OF THE PVC PIPE IN ORDER TO PROVIDE A CLEAN, GROUTED WATER-TIGHT CONNECTION BETWEEN THE STORM PIPE AND THE CONCRETE STRUCTURE.
59. UPON COMPLETION OF ALL SITE IMPROVEMENTS, THE CONTRACTOR SHALL THOROUGHLY FLUSH OUT ALL STORM PIPES TO REMOVE ALL DEBRIS, DEBRIS REMOVED FROM THE STORM SYSTEM IS NOT TO BE WASHED INTO THE DOWNSTREAM DRAINAGE SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR THE APPROPRIATE DISPOSAL OF ALL MATERIALS REMOVED FROM THE STORM SYSTEM CLEANING.
60. STORM CATCH BASIN STRUCTURES AND THEIR APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT AND THE FOLLOWING WSDOT STANDARD PLANS:
- TYPE I CATCH BASIN-STANDARD PLAN B-1
TYPE II CATCH BASIN-STANDARD PLAN B-10
SOLID METAL COVER FOR CATCH BASINS-STANDARD PLAN B-2
METAL FRAME AND GRATE-STANDARD PLAN B-2(a)
CATCH BASIN TYPE II-48", 54" 60" INCH, STANDARD PLAN B-1e
MISCELLANEOUS DETAILS FOR MANHOLES AND CATCH BASIN-STANDARD PLAN B-12
- IF SUBGRADE CONDITIONS ARE SOFT BELOW PROPOSED STRUCTURES, THE FOUNDATION SHALL BE OVER-EXCAVATED TWO FEET BELOW THE STRUCTURE AND TO THREE FEET BEYOND THE PERIMETER EDGE OF THE STRUCTURE AND FILLED WITH MECHANICALLY COMPACTED QUARRY SPALLS TO PROVIDE FOR A FIRM, DENSE, NON-YIELDING SUBGRADE CONDITION.
61. AT THE END OF ALL STORM SEWER SERVICES, THE CONTRACTOR SHALL INSTALL A MARKER POST AS INDICATED ON THE CIVIL PLANS. THE MARKER POST SHALL BE INSTALLED VERTICALLY PLUMB, PAINTED WHITE AND NEATLY STENCILED WITH LARGE BLACK LETTERS THE WORD "STORM" AS WITH ALL UTILITIES, THE MARKER POST MUST BE INSTALLED AT THE SAME TIME AS THE UTILITY.
- STORM PUMP SYSTEM**
62. THE CONTRACTOR SHALL FURNISH AND INSTALL ONE TRIPLEX, EXPLOSION-PROOF, SUBMERSIBLE PUMPING STATION FOR STORMWATER CONSISTING OF A COMPLETE PUMPING STATION, 120-INCH DIAMETER TYPE II CATCH BASIN STRUCTURE, CONTROL, CHECK VALVES, GATE VALVES, PIPING, FITTINGS, ELECTRICAL SERVICE, FLOATS, CONTROL PANEL AND ALL OTHER MISCELLANEOUS EQUIPMENT AND MATERIALS TO COMPLETE THE ENTIRE INSTALLATION. ADDITIONAL SPECIFICATIONS FOR THE PUMP ASSEMBLY AND CONTROL PANEL ASSEMBLY ARE PROVIDED WITHIN THE CONTRACT DOCUMENTS. IN THE EVENT OF DISCREPANCIES BETWEEN THE PUMP STATION INFORMATION AND THAT PROVIDED HEREIN, THE ENGINEER SHALL BE NOTIFIED UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE MOST STRINGENT OF REQUIREMENTS SHALL APPLY. THE CONTRACTOR SHALL COORDINATE WITH THE PUMP SUPPLIER AND THE DEPARTMENT OF LABOR AND INDUSTRIES FOR ANY SPECIFIC REQUIREMENTS PERTAINING TO STORMWATER PUMPS LOCATED AT A COMMERCIAL FACILITY.
63. THE CONTRACTOR SHALL COORDINATE THIS INSTALLATION WITH A PUMP SYSTEM MANUFACTURER/SUPPLIER THAT SPECIALIZES IN THE SALES, MAINTENANCE, AND REPAIR OF PUMPS AND PUMPING SYSTEMS. MANUFACTURER SHALL HAVE BEEN CONTINUOUSLY ENGAGED IN THIS TYPE OF BUSINESS FOR AT LEAST SEVEN YEARS.

64. EACH PUMP SHALL BE SIZED THE SAME AND SHALL HAVE THE CAPACITY OF 2400 GALLONS PER MINUTE AT 24 FEET OF TOTAL DYNAMIC HEAD, WITH A MINIMUM PUMP EFFICIENCY OF 72%.
- THE PUMPS SHALL BE CAPABLE OF HANDLING A 4-INCH SPHERICAL SOLID. THE PUMP SHALL BE NON-OVERLOADING THROUGHOUT THE ENTIRE RANGE OF OPERATING HEADS. THE PUMP SHALL BE PROVIDED WITH A MINIMUM SERVICE FACTOR OF 1.2.
- THE PUMP SHALL BE CAPABLE OF RUNNING FOR AN EXTENDED PERIOD OF TIME, WITHOUT WATER TO PUMP, WITHOUT DAMAGE TO ANY UNITS. EACH PUMP SHALL BE INDIVIDUALLY CONTROLLED BY FLOATS.
- THE PUMP SHALL BE A CENTRIFUGAL, NON-CLOG, SOLIDS HANDLING, SUBMERSIBLE, AS MANUFACTURED BY AURORA/HYDRAMATIC PUMPS OR EQUIVALENT
65. ELECTRICAL SERVICE TO THIS PUMP SHALL BE THREE-PHASE AND SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF WASHINGTON AND THE DEPARTMENT OF LABOR AND INDUSTRIES. ALL ELECTRICAL WORK FOR THIS PUMP STATION SHALL BE PERFORMED BY LICENSED ELECTRICIANS AND INSPECTED/APPROVED BY THE DEPT. OF LABOR & INDUSTRIES.
- AS ALLOWED BY STATE ELECTRICAL CODES, A JUNCTION BOX SHALL BE INSTALLED WITHIN THE PUMP CHAMBER, EASILY ACCESSIBLE FROM THE OUTSIDE.
66. MECHANICALLY-ACTIVATED FLOATS SHALL BE INSTALLED WITHIN THIS PUMP STATION AT THE ELEVATIONS IDENTIFIED ON THE CIVIL PLANS. THE LOWEST FLOAT SHALL BE A "PUMP OFF" MECHANISM. THE SECOND LOWEST FLOAT SHALL BE A "LEAD PUMP ON". THE THIRD LOWEST FLOAT SHALL BE A "LAG PUMP ON". THE HIGHEST FLOAT SHALL BE FOR AN ALARM. CONDUITS, WIRING, AND ALL MISCELLANEOUS COMPONENTS SHALL BE PROVIDED FOR THIS COMPLETE, FUNCTIONAL, OPERATING SYSTEM.
67. THE CONTROL PANEL FOR THIS FACILITY SHALL BE INSTALLED ADJACENT TO THE PUMP STATION, AT A LOCATION ACCEPTABLE TO THE OWNER. WITHIN A WATERPROOF ENCLAVE, THE CONTROL PANEL SHALL BE MOUNTED LIGHT AND AUDIBLE ALARM, SHALL BE PROVIDED AND INSTALLED AND SHALL BE ACTIVATED WHEN AN ALARM SITUATION OCCURS. WITHIN THE CONTROL PANEL, THERE SHALL BE INSTALLED FOR EACH PUMP: LAPSE TIME METER, SEAL PROTECTION, OVERHEAT PROTECTION, POWER OUTAGE, PHASE FAILURE PROTECTION, CONTROL CIRCUITRY CAPABLE OF CAUSING ALL PUMPS TO ALTERNATE AS THE LEAD PUMP AND FIRST LAG PUMP.
68. GATE VALVES WITHIN THE PUMP CHAMBER SHALL BE RESILIENT SEAT, CAST-IRON BODIES, OF THE SIZE INDICATED ON THE CIVIL PLANS.
69. CHECK VALVES SHALL BE HORIZONTAL, SWING TYPE, NON-SLAM, IRON BODY WITH OUTSIDE WEIGHTED LEVER. THE CHECK VALVE SHALL FREELY OPEN WITHOUT RESISTANCE.
70. ALL INTERNAL PIPING SHALL BE DUCTILE IRON PIPE OF THE LISTED PIPE SIZES AND AS NOTED ON THE CIVIL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL FITTINGS, COULPERS, ADAPTORS, AND PIPE TO ASSEMBLE ALL INTERNAL COMPONENTS OF THE PUMP STATION. STORM FORCE MAIN PIPE, OUTSIDE OF THE PUMP STATION, SHALL BE DUCTILE IRON.
- GRAVITY SANITARY SEWER**
71. ALL SIDE SEWER STUBS SHALL BE INSTALLED TO A MINIMUM DISTANCE OF TEN FEET INTO THE LOT BEING SERVED. THE SIDE SEWER SHALL HAVE MARKING TAPE AS SPECIFIED. THE SIDE SEWER SHALL BE A DIAMETER SPECIFIED ON THE CIVIL PLANS, AND INSTALLED AT A MINIMUM SLOPE OF 2% FOR 12-INCH DIAMETER PIPING, 1% FOR 8-INCH DIAMETER PIPING, & 0.5% FOR 6-INCH DIAMETER PIPING, AND 0.22% FOR 4-INCH DIAMETER PIPING. MAXIMUM SLOPE FOR ALL PIPING IS 100%.
- SIDE SEWERS SHALL NOT BE SHARED BETWEEN LOTS. BEFORE INSTALLATION OF THE 12-INCH SEWER PIPE, THE CONTRACTOR IS REQUIRED TO HAVE ASSOCIATED LAZER EQUIPMENT CALIBRATED, AS THERE IS NO ACCEPTABLE DEVIATION IN SLOPE ALLOWED, UNLESS OTHERWISE APPROVED BY THE CITY.
- THE INSTALLATION OF SIDE SEWERS SHALL BE MADE PERPENDICULAR TO THE MAIN UNLESS SPECIFICALLY IDENTIFIED. THE INSTALLATION OF THE SIDE SEWERS SHALL INCLUDE CLEANOUTS AS IDENTIFIED ON THE CIVIL PLANS CONSISTING OF A CLEANOUT LOCATED AT EITHER THE PROPERTY LINE OR BACK EDGE OF EASEMENT. THE CLEANOUT'S VERTICAL STAND PIPE SHALL EXTEND TO 3 FEET ABOVE FINISH GRADE, AND BE CAPPED.
72. SANITARY SEWER PIPE SHALL BE PVC CONFORMING TO WSDOT SECTION 9-05.12(1) MEETING THE REQUIREMENTS OF ASTM D 3034, SDR 35. ALL JOINTS SHALL BE BELL AND SPIGOT TYPE WITH RUBBER GASKETS. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO WSDOT SECTION 7-08 AND 7-17 AND REQUIREMENTS OF THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT. THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT MUST BE CONTACTED PRIOR TO THE SEWER INSTALLATION TO COORDINATE THE CITY'S INSPECTION REQUIREMENTS.
73. SANITARY SEWER MANHOLES SHALL BE EITHER 48-INCH OR 54-INCH DIAMETER AS SPECIFIED, TYPE 1, CONFORMING TO WSDOT STANDARD PLAN B-23A. MANHOLE FRAMES AND COVERS SHALL BE CAST IRON MARKED WITH THE WORDS "SEWER" AS REQUIRED BY THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT.
- ALL SANITARY SEWER MANHOLES SHALL HAVE THEIR ENTIRE INTERIOR, INCLUDING CHANNELING, COATED (SEALED) WITH A HIGH-SOLIDS URETHANE COATING, WASSER-McCONSEAL, OR EQUAL AS APPROVED BY THE CITY. COLOR OF COATING (SEALANT) SHALL BE WHITE.
- ALL MANHOLE RISER JOINTS SHALL BE GASKETED. IN ADDITION, ALL JOINTS BETWEEN MANHOLE RISER SECTIONS, REGARDLESS OF SIZE, AND THE JOINTS BELOW THE CAST-IRON FRAME, MUST BE GROUTED SECURELY.
- ALL SANITARY SEWER MANHOLES SHALL BE NEATLY CHANNELLED TO THE SATISFACTION OF THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT AND SEWER INSTALLATION CHANNELING SHALL BE PERFORMED USING A NON-SHRINK CONCRETE GROUT MATERIAL TO PROVIDE FOR A SMOOTH, CHANNEL FLOW FROM ALL INLET PIPES TO THE OUTLET PIPE.
74. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL COMPONENTS OF THE SANITARY SYSTEM IN SUCH A MANNER AS TO PREVENT ANY GROUNDWATER INTRUSION.
75. IF SUBGRADE CONDITIONS ARE SOFT BELOW PROPOSED SEWER STRUCTURES, THE FOUNDATION SHALL BE OVEREXCAVATED TWO FEET BELOW THE STRUCTURE AND TO A DISTANCE OF THREE FEET BEYOND THE STRUCTURE PERIMETER. THIS OVEREXCAVATED AREA SHALL BE FILLED WITH MECHANICALLY COMPACTED QUARRY SPALLS TO PROVIDE FOR A FIRM, DENSE, NON-YIELDING SUBGRADE FOUNDATION.
76. FLEXIBLE CONNECTORS ARE REQUIRED AT ALL PIPE CONNECTIONS TO MANHOLES, IN ACCORDANCE WITH WSDOT SECTION 7-05.3. THE TYPE OF FLEXIBLE CONNECTOR SHALL BE AN A-LOK FLEXIBLE CONNECTOR, KOR'N SEAL BY NPC, INC., OR SUITABLE EQUIVALENT APPROVED BY THE MOUNT VERNON ENGINEERING DEPARTMENT. ALL PIPE CONNECTIONS TO CONCRETE SHALL BE SEALED INSIDE AND OUT USING A NON-SHRINK CONCRETE GROUT MATERIAL INSIDE AND OUTSIDE, AT THE POINT OF CONNECTION. UPON COMPLETION OF SANITARY SEWER INSTALLATION, ALL SEWER LINES SHALL BE THOROUGHLY FLUSHED AND DEBRIS REMOVED FROM STRUCTURES. MATERIALS REMOVED FROM THE FLUSHING AND CLEANING OF THE SEWER SYSTEM SHALL BE RETAINED BY THE CONTRACTOR AND DISPOSED OFF SITE AT AN APPROVED DISPOSAL SITE FOR THESE TYPES OF MATERIALS.
77. THE CONTRACTOR IS RESPONSIBLE FOR RETAINING SKILLED PERSONNEL TO PROVIDE THE VISUAL INSPECTION OF THE SEWER MAINS OF THE PUBLIC EIGHT-INCH AND TWELVE-INCH DIAMETER SANITARY SEWER MAINS INSTALLED. THE CONTRACTOR SHALL SCHEDULE THIS WORK WITH THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT AND PROVIDE TO THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT ONE VIDEO/TAPE OF EACH COMPLETE CONDITION FOR THE CITY'S REVIEW AND ACCEPTANCE. FINAL ACCEPTANCE OF THE SANITARY SEWER IMPROVEMENTS HEREIN WILL BE BASED UPON THE CITY'S SITE INSPECTIONS AND REVIEW AND ACCEPTANCE OF ALL VIDEOED INFORMATION.

78. THE CONTRACTOR SHALL CONDUCT AN AIR PRESSURE TEST OF EACH NEW INDIVIDUAL SANITARY SEWER MAIN BETWEEN MANHOLES AND THE ENDS OF PIPE. THE SANITARY SEWER PIPE SHALL BE AIR-PRESSURE TESTED AT A PRESSURE EQUAL TO 4 PSI IN EXCESS OF THE ESTIMATED WATER TABLE HEAD OVER THE PIPE. THE AIR PRESSURE TEST SHALL BE PERFORMED FOR A FOUR-MINUTE PERIOD. DURING THE PRESSURE TEST NO NOTICEABLE CHANGING OR LEAKING OF AIR SHALL OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR RESTRAINING ALL PIPE ENDS, CLEANOUTS, AND SERVICES DURING THIS TESTING PERIOD. THIS TEST MUST BE MONITORED BY THE CITY.
79. AT THE ENDS OF ALL SANITARY SEWER SERVICES, THE CONTRACTOR SHALL INSTALL A CAP ON THE END OF PIPE AND INSTALL A MARKER POST AS INDICATED ON THE CIVIL PLANS. THE MARKER POST SHALL BE INSTALLED VERTICALLY PLUMB, PAINTED WHITE, AND STENCILED WITH LARGE BLACK LETTERS, THE WORD "SEWER" AND THE DEPTH OF BURY FROM THE ADJACENT FINISHED GRADE. THE MARKER POST MUST BE SET AT THE TIME THE UTILITY IS INSTALLED.
80. AT LOCATIONS WHERE PROPOSED SEWER LINES CROSS EXISTING, OR PROPOSED WATERLINES, THE INTERSECTION OF THE SEWER PIPE AND THE WATER PIPE SHALL BE AT A MID-PIPE LOCATION FOR THE PVC SEWER PIPE AS WELL AS THE MID-PIPE LOCATION FOR DUCTILE IRON WATER PIPE. AT THESE INTERSECTIONS, TWO FEET OF VERTICAL CLEARANCE BETWEEN THE PIPE-WALLS SHALL BE ACHIEVING WORK.
81. CLEANOUT ASSEMBLIES WITHIN THE SANITARY SEWER SYSTEM SHALL BE INSTALLED AT THE LOCATION AND ELEVATIONS IDENTIFIED ON THE CIVIL PLANS, AND AS NECESSARY TO ACCOMMODATE EACH COMMERCIAL SANITARY SEWER SERVICE. THE CONTRACTOR IS RESPONSIBLE FOR SETTING THE TOP OF THE CLEANOUT ASSEMBLY AT AN ELEVATION THREE FEET ABOVE THE EXISTING GROUND ELEVATION. CLEANOUT ASSEMBLIES SHALL CONFORM TO WSDOT STANDARD PLAN B-18b, THE REQUIREMENTS OF THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT, AND THE DETAIL PROVIDED ON THE CIVIL PLANS. ALL CLEANOUT ASSEMBLIES THAT ARE INSTALLED WITHIN FUTURE HARD SURFACED AREAS SUCH AS GRAVEL, CRUSHED ROCK, ASPHALT, CONCRETE, OR HEAVY TRAFFIC AREAS, SHALL BE SET FLUSH WITH THE EXISTING GRADE AND CONTAINED WITHIN A CAST IRON OR ALUMINUM FOG-TITE LID ASSEMBLY. THE FOG TITE LID ASSEMBLY SHALL BE SIZED APPROPRIATELY TO ALLOW REMOVAL OF THE CAP ON THE TOP PORTION OF THE VERTICAL CLEANOUT STANDPIPE ASSEMBLY. ON MOST SEWER CLEANOUT ASSEMBLIES, AS IDENTIFIED ON THE CIVIL PLANS, A HORIZONTALLY ORIENTED PVC BEND IS IDENTIFIED. THE PVC BEND SHALL BE INSTALLED IMMEDIATELY UPSTREAM OF THE CLEANOUT ASSEMBLY, WITH ADDITIONAL PIPE IDENTIFIED ON EACH PARTICULAR LOT AS IDENTIFIED ON THE CIVIL PLANS.
82. AT LOCATIONS WHERE NEW SANITARY SEWER SIDE SERVICES ARE INSTALLED, ON EXISTING SEWER PIPES OR SEWER MANHOLES, THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT FOR AN INSPECTION OF WORK BEING PERFORMED. STRAP ON SADDLE-TYPE FITTINGS ARE ACCEPTABLE, IF APPROVED BY THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT.
83. SANITARY SEWER DROP STRUCTURES ARE PROPOSED AT VARIOUS LOCATIONS THROUGHOUT THE PROJECT. ALL SANITARY SEWER DROP STRUCTURES MUST CONFORM TO THE REQUIREMENTS OF THE CITY OF MOUNT VERNON ENGINEERING AND SEWER DEPARTMENTS, ALONG WITH THE DETAIL ON THE CIVIL PLANS.
- WATER**
84. STANDARD SPECIFICATIONS SHALL BE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION 2004 STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, APWA CURRENT STANDARDS AND THE SKAGIT PUD REQUIREMENTS AS OUTLINED IN RESOLUTION NO. 1026 OF THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THIS RESOLUTION WITH PUD PRIOR TO COMMENCING WORK.
- ANY PERMITS OR OTHER REQUIREMENTS THAT WILL BE NEEDED TO COMPLETE THIS PROJECT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE DEVELOPER.
85. A PRECONSTRUCTION CONFERENCE MUST BE SCHEDULED BY THE CONTRACTOR WITH THE DISTRICT PRIOR TO CONSTRUCTION. CONTACT PUD AT 424-7104. AT THE PRECONSTRUCTION MEETING, THE CONTRACTOR MUST PROVIDE A LIST OF ALL MATERIALS, WATERLINE INSTALLATION AND TESTING SCHEDULE, CONTRACTOR'S LICENSE AND OTHER INFORMATION AND CERTIFICATIONS REQUIRED BY SKAGIT PUD.
86. BEFORE CONNECTION TO AN EXISTING WATER MAIN, ALL NEW WATER MAINS AND REPAIRED PORTIONS OF/ OR EXTENSION TO EXISTING MAINS SHALL BE ADEQUATELY CHLORINATED, HYDROSTATICALLY PRESSURE TESTED, AND A SATISFACTORY BACTERIOLOGICAL REPORT OBTAINED. BACTERIA SAMPLING AND TESTING SHALL BE PERFORMED TO THE REQUIREMENTS OF SKAGIT PUD AND THE SKAGIT COUNTY HEALTH DEPARTMENT. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THESE JURISDICTIONS TO OBTAIN WATER SAMPLING DEVICES, OBTAINING THE WATER SAMPLES UNDER PUD OBSERVATION, OR BY PUD, AND SUBMITTING ALL SAMPLES FOR TESTING. THE CONTRACTOR IS RESPONSIBLE FOR ALL TESTING FEES.
87. NO CONNECTION SHALL BE MADE BETWEEN THE EXISTING DISTRIBUTION SYSTEM AND THE NEW PIPELINE UNTIL THE NEW SYSTEM HAS BEEN PROPERLY DISINFECTED AND ADEQUATELY FLUSHED. A PROPER WASHINGTON STATE APPROVED REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY SHALL BE INSTALLED AT THE CONNECTION (BY WAY OF A JUMPER). THE ASSEMBLY SHALL HAVE BEEN TESTED, AS REQUIRED BY THE DISTRICT AND PER WSDOT SECTION 7-11.3(12)J.
88. THE CONTRACTOR IS RESPONSIBLE FOR ALL GRAVEL TRENCH BACKFILL WITHIN WATERLINE TRENCHES AND RESTORATION OF THE TRENCH CONDITIONS TO THE FINISHED CONDITION REQUIRED.
89. MAXIMUM TRENCH DEPTH SHALL BE 48 INCHES BELOW FINISHED GRADE ELEVATION WITH MINIMUM COVER OF 36 INCHES OVER TOP OF PIPE UNLESS OTHERWISE SPECIFIED ON THE CIVIL PLAN, AND AS NECESSARY TO AVOID CONFLICTS WITH OTHER UTILITIES.
- LOCATIONS WHERE PROPOSED WATERLINES CROSS EXISTING OR PROPOSED SEWER LINES, THE INTERSECTION OF THE WATER PIPE AND THE SEWER PIPE SHALL BE AT A MID-PIPE LOCATION FOR THE WATER PIPE AS WELL AS AT A MID-PIPE LOCATION FOR THE SEWER PIPE. AT THESE POINTS OF INTERSECTION, A MINIMUM OF 24 INCHES VERTICAL CLEARANCE AND TEN FEET HORIZONTAL CLEARANCE MUST BE MAINTAINED BETWEEN WATER MAINS AND SEWER MAINS.
89. BETWEEN THE WATER LINE AND ALL OTHER UTILITIES, A MINIMUM ONE-FOOT VERTICAL AND FIVE FOOT HORIZONTAL CLEARANCE SHALL BE MAINTAINED.
90. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS, INSTALLATION OF DOMESTIC SERVICE TAPS, INSTALLATION OF POLYETHYLENE SERVICE PIPE, AND MARKER POSTS FOR DOMESTIC SERVICES FOR EACH OF THE LOTS.
91. ALL MATERIALS SHALL BE APPROVED BY SKAGIT PUD PRIOR TO CONSTRUCTION. AT THE PUD PRE-CONSTRUCTION MEETING, THE CONTRACTOR IS REQUIRED TO PROVIDE A LIST OF ALL MATERIALS, IDENTIFYING MODEL NUMBER, MANUFACTURER, SIZE, AND COMPOSITION.
92. DUCTILE IRON PIPE SHALL BE CLASS 50 ANSI/AWWA C151/A21.51. ALL JOINTS SHALL BE RUBBER GASKETS WITH TYTON TYPE OR MECHANICAL JOINT MEETING ANWA SPECIFICATIONS.
93. ALL VALVES ARE TO BE RESILIENT WEDGE GATE VALVES.
94. ALL WATER SERVICES WILL BE PROVIDED FROM THE FIRE SERVICE TO PERSONNEL TO PROVIDE THE VISUAL INSPECTION OF THE DOMESTIC WATER SERVICE PIPE SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT DEVELOPMENT. AT SUCH TIME AS THE INDIVIDUAL LOT IS DEVELOPED, ALL TAPPING ASSEMBLIES AND WATER SERVICE PIPE MATERIALS SHALL CONFORM TO THE REQUIREMENTS FOR WATER SERVICES AS IDENTIFIED BY THE PUD WATER METER DETAILS PROVIDED ON THE CIVIL PLANS.
95. BLOCK ALL FITTINGS WITH POURED CONCRETE ACCORDING TO THE SKAGIT PUD STANDARD DETAIL AND AS IDENTIFIED ON THE CIVIL PLANS.

96. ALL DUCTILE IRON PIPE MUST BE WRAPPED WITH POLYETHYLENE PIPE ENCASEMENT, WHICH IS A MINIMUM OF EIGHT MIL THICK AND INSTALLED PER WSDOT STANDARDS AND IN ACCORDANCE WITH AWWA C105. POLYETHYLENE SHALL BE TAPED TIGHT AGAINST THE PIPE AT ENDS AND MID-POINTS, WHILE MAINTAINING AN OVERLAP BETWEEN SECTIONS OF WRAP.
97. CONTRACTOR TO INSTALL SERVICE LINES PER PUD DETAIL, UNLESS OTHERWISE SPECIFIED.
98. PRESSURE TEST NEW PIPELINE AT 150 PSI IN EXCESS OF THE MAXIMUM OPERATING PRESSURE PER WSDOT STANDARDS. TEST PRESSURE SHALL NOT BE LESS THAN 225 PSI. TESTING SHALL BE OBSERVED AND APPROVED BY PUD.
- TEST DATE: _____ TEST PRESSURE: _____
TIME START: _____ TIME END: _____
PRESSURE DROP: _____ MAKE UP WATER: _____
99. THE CONTRACTOR IS RESPONSIBLE FOR CHLORINATING ALL PORTIONS OF THE NEW WATERLINE AS REQUIRED BY WSDOT SPECIFICATIONS. THE CHLORINATED WATER SHALL SOAK A MINIMUM OF 24 HOURS AND AS PER WSDOT STANDARDS. FLUSHING WATER MUST BE DISCHARGED INTO A TANKER TRUCK FOR OFF-SITE DISPOSAL, OR FLUSHING WATER MAY BE DEPOSITED INTO THE PUBLIC SANITARY SEWER SYSTEM ONLY UPON APPROVAL FROM THE CITY OF MOUNT VERNON SEWER TREATMENT PLANT. FLUSHING WATER MAY NOT BE SPRAYED ONTO THE PROJECT SITE. ABSOLUTELY NO PORTION OF CHLORINATED FLUSHING WATER SHALL BE ALLOWED TO ENTER THE DRAINAGE SYSTEM.
100. AT THE PRECONSTRUCTION MEETING FOR THE PROPOSED PROJECT IMPROVEMENTS, THE CONTRACTOR SHALL PROVIDE AN APPROPRIATE PLAN AND SCHEDULE FOR ALL WATER PIPE INSTALLATION, FLUSHING, PRESSURE TESTING, DISPOSAL OF CHLORINATED WATER, AND CONNECTIONS.
101. COORDINATE ALL SHUTDOWN, FLUSHING, AND HEALTH SAMPLES WITH SKAGIT PUD INSPECTOR.
102. FLUSHING ASSEMBLIES, CONFORMING TO THE SKAGIT PUD DETAIL, SHALL BE INSTALLED AS IDENTIFIED ON THE CIVIL PLANS AND AS NECESSARY FOR THE TESTING AND FLUSHING OF THESE WATER SYSTEM IMPROVEMENTS.
- PERMANENT FLUSHING ASSEMBLIES SHALL BE INSTALLED AT THE LOCATIONS IDENTIFIED ON THE CIVIL PLANS. PRIOR TO THE CONSTRUCTION OF THESE FLUSHING ASSEMBLIES, THE CONTRACTOR SHALL COORDINATE WITH SKAGIT PUD TO ESTABLISH THE LOCATION FOR THE UTILITY VAULT CONTAINING THE FLUSHING ASSEMBLY.
- AT ALL HIGH POINTS WITHIN THE WATERLINE, AS REQUIRED BY SKAGIT PUD, THE CONTRACTOR SHALL PROVIDE AND INSTALL A STANDARD COMPACTIBLE RELEASE VALVE ASSEMBLY CONFORMING TO THE PUD STANDARD DETAIL.
103. BEDDING, PIPE COVER, AND TRENCH BACKFILL REQUIREMENTS SHALL CONFORM TO THE SPECIFICATIONS HEREIN WITHIN THE UTILITY TRENCH SECTION. PEA GRAVEL AND BUCKSHOT SHALL NOT BE USED WITHIN ANY PORTIONS OF THE WATERLINE TRENCH.
104. ALL FIRE HYDRANTS ARE TO BE CLOW MEDALLION FIRE HYDRANTS, PER AWWA C502 AND INSTALLED AS PER THE DETAILS ON THE CIVIL PLANS. THE FIRE HYDRANTS ARE TO BE PAINTED AS PER WSDOT SPECIFICATIONS TO THE FIRE DISTRICT'S PAINT SPECIFICATIONS. THE MOUNT VERNON FIRE DEPARTMENT REQUIRES STANDARD YELLOW HYDRANTS.
- ALL FIRE HYDRANTS MUST BE ROTATED TOWARD THE ADJACENT DRIVELANES AS DIRECTED BY THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT. THE CONTRACTOR IS RESPONSIBLE FOR HAVING THE MOUNT VERNON FIRE DEPARTMENT THOROUGHLY REVIEW AND INSPECT ALL FIRE HYDRANT PLACEMENTS TO VERIFY THEIR INSTALLATION. THE CONTRACTOR SHALL MAKE ANY MODIFICATIONS TO THE FIRE HYDRANTS AS REQUIRED BY THE MOUNT VERNON FIRE DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL FIVE-INCH STORZ FITTINGS ON EACH NEW FIRE HYDRANT. THE ADAPTOR SHALL HAVE #3 PACIFIC COAST THREAD (4.828x6) RIGID FEMALE BY FIVE-INCH (5) 1/4 TURN "STORZ" FITTING WITH SET SCREW.
- UTILITY TRENCHES**
105. ALL UTILITY TRENCHES FOR POWER, GAS, TELEPHONE, TELEVISION CABLE, FIBER OPTIC, WATER LINES, SANITARY SEWER, AND STORM DRAINS SHALL BE EXCAVATED TO ALLOW A MINIMUM OF EIGHT INCHES BETWEEN THE EDGE OF THE UTILITY AND THE TRENCH WALL. TRENCHES SHALL BE EXCAVATED TO THE DEPTH AS REQUIRED FOR GRAVITY UTILITIES AND SHALL BE EXCAVATED TO ALLOW A MINIMUM OF 36-INCHES OF COVER OVER THE TOP OF PROPOSED WATERLINES TO THE FINISHED GRADE. THE DEPTH OF THE UTILITY TRENCHES FOR POWER, TELEPHONE, TELEVISION CABLE, FIBER OPTIC, AND GAS, SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATIONS AND THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT. ALL UTILITY TRENCHES SHALL BE CONFORM TO ALL CITY SITE REQUIREMENTS AND SCHEDULING WITH THE NECESSARY UTILITY COMPANIES.
106. ALL UTILITY TRENCHES, REGARDLESS OF UTILITY TYPE, SHALL BE INSTALLED WITH MARKING TAPE CONFORMING TO WSDOT SECTION 9-15.18. MARKING TAPE SHALL BE SIX-INCH WIDE AND COLOR-CODED AS REQUIRED BY THIS WSDOT SECTION AND SHALL BE INSTALLED AT A LOCATION 12 TO 18 INCHES BELOW THE FINISHED GRADE. MARKING TAPE SHALL BE POLYETHYLENE PLASTIC COLORED AND LABELED AS FOLLOWS:
- WATER-BLUE
SEWER-GREEN
ELECTRICAL-RED
GAS-OIL-YELLOW
TELEPHONE-CATY-ORANGE
- THE TAPE WIDTH SHALL BE A MINIMUM OF SIX INCHES.
107. UNLESS OTHERWISE SPECIFIED HEREIN, ALL UTILITIES SHALL BE BED ON A MINIMUM OF SIX INCHES OF SAND, BUCKSHOT, OR GRAVEL 100 PERCENT PASSING THE QUARTER-INCH SCREEN. BEDDING TYPE MATERIAL SHALL ALSO BE PLACED TO SIX INCHES OVER THE TOP OF EACH UTILITY PIPE. ALL BEDDING MATERIAL AND PIPE COVERING MATERIAL SHALL BE THOROUGHLY HAND COMPACTED ALONG THE SIDES AND OVER THE TOP OF EACH INDIVIDUAL UTILITY AND CONDUIT. REGARDLESS OF LOCATION, ALL UTILITIES SHALL BE BED AND COVERED AS SPECIFIED.
- PEA GRAVEL AND BUCKSHOT SHALL NOT BE USED WITHIN ANY PORTIONS OF THE WATER SYSTEM.
108. THE BOTTOM OF UTILITY TRENCHES SHALL HAVE A STABLE, NON-YIELDING SOIL CONDITION, SUITABLE FOR SUPPORTING THE DESIGN LOAD, WHERE THE BOTTOM OF TRENCH CONDITIONS EXHIBIT PUMPING, YIELDING CONDITIONS, THE BOTTOM OF THE TRENCH SHALL BE OVER-EXCAVATED TO EXPOSE A FIRM, STABLE, NON-YIELDING MATERIAL AND BACKFILLED WITH AN 18-INCH THICK COMPACTED BED OF QUARRY SPALLS, TO THE BOTTOM OF THE REQUIRED UTILITY BEDDING MATERIAL, AS DIRECTED BY THE ENGINEER.
109. TRENCH BACKFILL SHALL CONSIST OF STRUCTURAL FILL MATERIAL AS SPECIFIED. STRUCTURAL FILL TRENCH BACKFILL IS REQUIRED WITHIN ALL TRENCHES LOCATED IN THE PUBLIC RIGHT-OF-WAY AND IS REQUIRED IN ALL TRENCHES UNDER PROPOSED ASPHALT, CONCRETE, CRUSHED ROCK, AND HEAVY CONSTRUCTION TRAFFIC AREAS AND TO AN EXTENT OF TWO FEET BEYOND THE ABOVE LISTED CONDITIONS. ALL STRUCTURAL FILL MATERIAL WITHIN UTILITY TRENCHES SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY, AT A MOISTURE CONTENT PLUS OR MINUS TWO PERCENT FROM OPTIMUM, REGARDLESS OF DEPTH, AND TESTED ACCORDING TO THE ASTM TEST METHOD D-1557, AS SPECIFIED.
110. NATIVE SOIL MATERIALS MAY BE USED AS TRENCH BACKFILL ONLY AT LOCATIONS BEYOND THOSE REQUIRING GRAVEL STRUCTURAL FILL, PROVIDING THEY ARE OUTSIDE OF EXISTING AND PROPOSED RIGHT OF WAYS.
- AT LOCATIONS WHERE NATIVE SOIL IS USED AND RESULTS IN A PUMPING, INSTABLE TRENCH CONDITIONS, OR OTHER UNSUITABLE PRODUCTS, THE CONTRACTOR SHALL REMOVE ALL UNSUITABLE MATERIALS AND REPLACE WITH APPROPRIATE NATIVE MATERIALS, OR IMPORTED GRAVEL STRUCTURAL FILL MATERIAL AT NO ADDITIONAL COST TO THIS CONTRACT. NATIVE MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT DRY DENSITY AT A MOISTURE CONTENT PLUS OR MINUS TWO PERCENT FROM OPTIMUM.

111. MARKER POSTS SHALL CONSIST OF A PRESSURE TREATED FOUR-INCH BY FOUR-INCH WOOD POST INSTALLED VERTICAL FROM THE INVERT OF THE INSTALLED UTILITY TO FOUR FEET ABOVE THE FINISHED GRADE. CONDITIONS: ALL MARKER POSTS SHALL BE PAINTED WHITE AND SHALL BE STENCILED WITH LARGE BLACK LETTERS DEPICTING THE APPROPRIATE UTILITY. MARKER POSTS ARE REQUIRED AT THE ENDS OF ALL UTILITY SERVICES, CONDUITS, AND SERVICES TO LOTS, AND MUST BE INSTALLED AT THE SAME TIME AS THE UTILITY INSTALLATION.
- COMPACTION TESTING**
112. THE CONTRACTOR IS RESPONSIBLE FOR RETAINING PERSONNEL LICENSED IN RETAINING SUBSTANDARD COMPACTION, THE ENGINEER, OWNER, OR CITY OF MOUNT VERNON ENGINEERING DEPARTMENT RESERVE THE RIGHT TO REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK AS NECESSARY TO RESOLVE ALL DEFICIENCIES AND RESERVE THE RIGHT TO REQUIRE THE CONTRACTOR TO HAVE COMPACTION TESTS PERFORMED TO SUBSTANTIATE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH COMPACTION TESTING.
- AS COMPACTIONS TESTS ARE PERFORMED, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL COMPACTION TESTING RECORDS TO THE OWNER AND ENGINEER.
- THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT HAS THE AUTHORITY TO REDUCE THE QUANTITY OF COMPACTION TESTS AS IDENTIFIED HEREIN.
113. PRIOR TO PERFORMING SITE CONSTRUCTION ACTIVITIES, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A GRADATION AND PROCTOR ANALYSIS OF THE GRAVEL MATERIAL TO BE USED FOR THE ROADWAY AND UTILITY IMPROVEMENTS. THE GRADATION AND PROCTOR ANALYSIS MUST BE NEW AND MUST REPRESENT THE LOCATION AND QUALITY OF MATERIAL THAT IS BEING PROVIDED TO THIS SITE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THIS GRADATION AND PROCTOR ANALYSIS TO THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT AND ENGINEER FOR THEIR REVIEW AND APPROVAL PRIOR TO MATERIALS BEING IMPORTED TO THE PROJECT SITE.
- AFTER SUBGRADE EXCAVATION, PRIOR TO GEOTEXTILE FABRIC AND GRAVEL PLACEMENT, THE CONTRACTOR SHALL SCHEDULE THE CITY OF MOUNT VERNON AND TESTING COMPANY TO INSPECT AND APPROVE ALL SUBGRADE CONDITIONS. THE TESTING COMPANY SHALL PROVIDE A FULLY-LOADED GRAVEL TRUCK FOR THIS INSPECTION PHASE.
114. WITHIN UTILITY TRENCHES LOCATED IN THE PUBLIC RIGHTS-OF-WAY BELOW THE PROPOSED ROAD SURFACES, THE CONTRACTOR SHALL PROVIDE COMPACTION TESTS ON THE TOP OF GRAVEL GRADE. TESTS SHALL BE PERFORMED WITHIN UTILITY TRENCHES AT 50-FOOT INTERVALS. WITHIN GRAVEL AREAS, THE CONTRACTOR SHALL PROVIDE A FULLY-LOADED GRAVEL TRUCK FOR THIS INSPECTION PHASE.
115. THERE ARE MANY STRUCTURES WITHIN THE GRAVEL-FILLED AREA SUCH AS CATCH BASINS, VALVE CASINGS AND MANHOLES. AROUND AT LEAST 50 PERCENT OF THESE STRUCTURES, TWO COMPACTION TESTS SHALL BE PERFORMED AT EACH STRUCTURE WITHIN ONE TO TWO FEET OF THE STRUCTURE, TO CONFIRM BACKFILL PLACEMENT.
116. PRIOR TO ASPHALT PAVING, THE CONTRACTOR MUST COORDINATE AN ON-SITE CONSTRUCTION MEETING WITH THE ASPHALT PAVING COMPANY, MATERIALS TESTING COMPANY, THE CITY OF MOUNT VERNON, AND ENGINEER.
117. THE MATERIALS TESTING COMPANY MUST BE ON SITE AT THE ONSET OF ALL PAVING OPERATIONS, EACH DAY, TO MONITOR ASPHALT PLACEMENT, COMPACTION, AND NECESSARY ROLLING PATTERNS.
- THE MATERIALS TESTING COMPANY MUST INSPECT AND TEST ALL ASPHALT PLACEMENTS AS REQUIRED BY THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT ACCEPTANCE POLICY, AND SHALL ASSIST THE ASPHALT PAVING COMPANY IN ACHIEVING THE MINIMUM ACCEPTABLE ASPHALT COMPACTION OF 92% RICE DENSITY.
- SEED, FERTILIZER, AND MULCH**
118. ALL SEEDING PERFORMED DURING EXTENSIVE PERIODS OF DRY WEATHER SHALL BE APPLIED USING A HYDROSEEDING APPLICATION WITH A MIXTURE OF GRASS SEED, FERTILIZER, AND MULCH. HAND SEEDING OF THIS MIXTURE IS ACCEPTABLE, PROVIDING THERE IS SUFFICIENT MOISTURE WITHIN THE SOIL FOR GERMINATION. ON ALL STEEP SLOPED AREAS GREATER THAN 6:1, THE CONTRACTOR SHALL ALSO APPLY A DENSE STRAW MAT TO REDUCE EROSION, AND TO SUPPORT THE UNDERLYING SEEDED CONDITIONS.
119. AFTER COMPLETION OF SITE IMPROVEMENTS, THE CONTRACTOR SHALL SEED, FERTILIZE, AND MULCH ALL DISTURBED SOIL AREAS WITHIN THE LIMITS OF THE PROPOSED RIGHTS OF WAY AND WITHIN 50 FEET OF THE MAN-MADE DITCH, WHERE SOILS HAVE BEEN DAMAGED OR EXPOSED AND ARE NOT INTENDED TO BE LANDSCAPED.
- GRASS SEED: 200 LBS. PER ACRE
10% HOULDMOOR BENTGRASS
40% PERENNIAL RYEGRASS
40% PENNLAWN RED FESCUE
10% WHITE CLOVER
- MODIFICATIONS TO THIS GRASS SEED MIXTURE MAY BE PROVIDED BY THE CONTRACTOR AS AVAILABLE BY LOCAL SUPPLY COMPANIES. THE SUBSTITUTED MIXTURE SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND CONSIDERATION PRIOR TO ITS APPLICATION.
- FERTILIZER: 100 LBS. PER ACRE
Type: 10-20-20
MULCH: 1000 TO 2000 POUNDS PER ACRE DEPENDING UPON SLOPE CONDITIONS
120. THE CONTRACTOR SHALL PROVIDE ALL MAINTENANCE AND PROTECTION OF THE SEEDED CONDITION UNTIL A SUBSTANTIAL DENSE GROWTH HAS BEEN ESTABLISHED. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE SEEDED CONDITIONS FROM DAMAGES CAUSED BY EROSION AND RAINFALL. DAMAGED AREAS SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR.
121. DURING SITE WORK PERIODS AND EVEN AFTER SEEDING, THE CONTRACTOR IS RECOMMENDED TO STABILIZE THE SURFACE OF SEEDED CONDITIONS.
- STRIPING AND SIGNAGE**
122. SPECIFIC SIGNS ARE TO BE INSTALLED WITH THIS PROJECT, AS IDENTIFIED ON THE CIVIL PLANS. SIGN MATERIALS AND INSTALLATION SHALL CONFORM TO THE FOLLOWING REQUIREMENTS FROM THE CITY OF MOUNT VERNON:
- ALL SIGNS MUST CONFORM TO MUTCD
ALL SIGNS SHALL BE DIAMOND GRADE ON ALDINE TREATED ALUMINUM
STOP SIGNS MUST BE 30-INCHES WIDE BY 30 INCHES HIGH
STREET NAME SIGNS MUST HAVE WHITE SIX-INCH HIGH CAPITAL LETTERS ON A GREEN BACKGROUND
STREET NAME SIGNS MUST HAVE TOP CAP BRACKETS ON THE POST AND THE SIGN CENTERED WITHIN THE BRACKET
STREET NAME SIGNS MUST BE EXTRUDED BLADES
POSTS MUST BE TWO-INCH INSIDE DIAMETER SCHEDULE 40 GALVANIZED STEEL PIPE
POSTS SHALL BE INSTALLED WITHIN A CONCRETE-FILLED 30-INCH DEEP BY 12-INCH DIAMETER HOLE, INSTALLED IN A FIRM AND UNDISTURBED MANNER
- THE SIGN POSTS SHALL BE OF SUFFICIENT LENGTH TO FULLY SECURE THE SIGN TO THE POST. PROVIDE SEVEN FEET OF VERTICAL CLEARANCE BETWEEN THE LOWEST EDGE OF SIGN PLATE AND THE ADJACENT FINISHED GRADE, AND TO BE THE SIGN POST 30 INCHES INTO THE GROUND WITHIN A CONCRETE-FILLED HOLES. SIGNS SHALL BE BOLTED TO THE POST USING STAINLESS STEEL HARDWARE.

This plan sheet is approved for construction in accordance with the City of Mount Vernon ordinances and policies. This plan sheet does not imply or convey permission to construct any item unless accompanied by an approved engineering or architectural permit. All permits must be on a city approved form reviewed for compliance to City Codes. Actual conformance of the design with applicable laws is the sole responsibility of the professional engineer whose name and stamp appear on this sheet. Aquiling, complying with and providing mitigation for all Federal, State, County and Local laws, permits and mandates, including but not limited to the Endangered Species Act, Federal Wetland Permit, State Department of Fisheries Hydraulics Permit, Federal Flood plain Permit, National Pollutant Discharge Elimination System Permits is the responsibility of the Developer, Landowner and their Engineer. The issuance of this plan shall not be construed as proof of compliance with applicable laws and permit requirements.

CITY OF MOUNT VERNON _____ Date _____
This proposal will expire in one year from the date noted above.

For As-Constructed Info Only



ENGINEER *John P. Rainnik* 11/25/06 DATE

C.O. 4448 W.O. 05-3112

PLAN STATUS: AS-CONSTRUCTED

REV. NO.	REVISION	DATE	BY	APPROVED
1	WATERLINE ABSULTS PROVIDED BY PUD INSPECTOR	5/23/06	DLS	JPR
2	ABSULT INFORMATION PROVIDED BY METRON SURVEY	5/05/06	DLS	JPR
3	ABSULT INFORMATION PROVIDED BY METRON SURVEY	6/09/06	DLS	JPR

Ravnik & Associates, Inc.
CIVIL ENGINEERING & LAND-USE PLANNING
108 E. GILKEY RD./P.O. BOX 361
BURLINGTON, W. 98226
PH: (360) 707-2048 FAX: (360) 707-2216

SHEET DESCRIPTION:
SPECIFICATIONS

SCALE: AS NOTED
DRAWN BY: H. NELSON
CHECKED BY: J. RAWNIK
DATE: 6-13-06

SHEET TITLE:
CONSTRUCTION PLANS FOR REO FAMILY PROPERTIES, LLC

DRAWING NO. 04041SPECS.dwg
JOB NO. 04041
SHEET NO. 14 OF 15
S.W. 1/4 OF SECTION 32, TWP 34 N, RGE 4E, W.M.

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123. PRIOR TO INSTALLING ANY SIGNPOSTS, THE CONTRACTOR SHALL CONDUCT AN ON-SITE MEETING WITH THE CITY OF MOUNT VERNON TO CONFIRM THE LOCATION OF SIGNS.
124. THE CONTRACTOR SHALL PROVIDE ASPHALT THERMOPLASTIC STRIPING FOR STRIPING, ARROWS, AND STOP BARS AS DEPICTED ON THE CIVIL PLANS. THERMOPLASTIC MATERIAL SHALL BE 3/4 STAMARK INTERSECTION GRADE, TAPE SERIES 420, OR EQUAL PRESSED INTO THE ASPHALT.
- THE CONTRACTOR SHALL COORDINATE AN ON-SITE MEETING WITH THE CITY OF MOUNT VERNON TO DETERMINE THE LOCATION OF STOP BARS.

SPECIFICATIONS PER CITY OF MOUNT VERNON REQUIREMENTS

ON THE ONSET OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL COORDINATE ON SITE WITH THE CITY OF MOUNT VERNON'S DEVELOPMENT INSPECTOR TO DETERMINE THE EXTENT THAT THESE SPECIFICATIONS ARE TO BE IMPLEMENTED.

MVES 2-06 TURBIDITY MONITORING PLAN (FOR WET SEASON CONSTRUCTION)

125. MOUNT VERNON MUNICIPAL CODES ALLOWS THE CITY TO REQUIRE WATER QUALITY MONITORING TO DETERMINE COMPLIANCE WITH STATE SURFACE WATER QUALITY STANDARDS (WAC 173.201 A). A MONITORING PLAN SHALL BE REQUIRED FOR SITE WORK DURING THE RAINY SEASON (BEGINS OCTOBER 1ST AND ENDS APRIL 30TH) AND FOR PROJECTS THAT DISCHARGE TO A SENSITIVE DOWNSTREAM DRAINAGE SYSTEM.

126. THE STANDARD FOR TURBIDITY (INDIRECT MEASUREMENT OF THE AMOUNT OF SUSPENDED SEDIMENTS IN WATER) IS:

5 NTU OVER BACKGROUND TURBIDITY WHEN BACKGROUND TURBIDITY IS 50 NTU OR LESS. 10X ABOVE BACKGROUND TURBIDITY WHEN BACKGROUND TURBIDITY IS GREATER THAN 50 NTU. NTU REFERS TO "NEPHELOMETRIC TURBIDITY UNIT" WHICH IS A MEASUREMENT OF TURBIDITY BASED ON THE INTENSITY OF A SCATTERED BEAM OF LIGHT THROUGH A SAMPLE OF SUSPENDED PARTICLES IN WATER.

127. A TURBIDITY MONITORING PLAN (TMP) SHALL INCLUDE THE FOLLOWING COMPONENTS:

NARRATIVE MONITORING/SAMPLING SCHEDULE REPORT SITE PLAN

128. A TMP NARRATIVE SHALL INCLUDE THE FOLLOWING INFORMATION:

I. DESCRIPTIVE TEXT

THE TMP NARRATIVE SHOULD CONTAIN A PORTION OF DESCRIPTIVE TEXT, WHICH DISCUSSES THE SCOPE OF THE PROPOSAL, AS IT RELATES TO PREVENTING SEDIMENT-LADEN WATER FROM LEAVING THE SITE AND THE PREVENTION OF SEDIMENT BEING TRANSPORTED ONTO ADJACENT PROPERTIES AND ROADS.

II. METHODOLOGY

DESCRIBE AND IDENTIFY THE METHODOLOGY USED TO MEASURE AND QUANTIFY THE LEVEL OF TURBIDITY.

NOTE: IT IS SUGGESTED A PROPERLY CALIBRATED PORTABLE ELECTRONIC TURBIDITY METER BE USED TO SAMPLE AND MEASURE TURBIDITY ON-SITE DUE TO THE DELAY IN WHEN SAMPLES ARE TAKEN ON-SITE AND ANALYZED IN AN OFF-SITE LABORATORY.

III. MONITORING POINTS/SAMPLING LOCATIONS

THIS NARRATIVE SHOULD DESCRIBE AND IDENTIFY THE LOCATION OF MONITORING POINTS/SAMPLING LOCATIONS AND EXPLAIN THE RATIONALE USED IN DETERMINING THESE LOCATIONS.

IV. TURBIDITY BASELINE

A TURBIDITY BASELINE IDENTIFIES THE INITIAL LEVEL OF TURBIDITY MEASURED IN ON-SITE RUNOFF LEAVING THE SUBJECT PROPERTY AND OFF-SITE RUNOFF ENTERING THE SUBJECT PROPERTY.

THE TURBIDITY BASELINE PROVIDES A PERFORMANCE BASED MECHANISM IN DETERMINING IF THE ALLOWABLE THRESHOLD FOR INCREASE IN TURBIDITY HAS BEEN EXCEEDED, AS WELL AS PROVIDING A TANGIBLE METHOD OF DETERMINING WHEN RUNOFF FROM THE SUBJECT PROPERTY IS WITHIN COMPLIANCE AND ON-SITE CONSTRUCTION ACTIVITIES MAY RESUME.

V. COMPLIANCE SEQUENCE/TIME FRAME

A COMPLIANCE SEQUENCE/TIME FRAME FOR IDENTIFYING PROCEDURES, COORDINATION OF PERSONNEL AND RESOURCES REQUIRED TO BRING THE SUBJECT PROPERTY INTO COMPLIANCE AT SUCH TIME AS THE ACCEPTABLE THRESHOLD FOR TURBIDITY LEAVING THE SITE HAS BEEN EXCEEDED.

129. A TMP MONITORING REPORT/SCHEDULE SHALL INCLUDE THE FOLLOWING INFORMATION:

A. A TURBIDITY MONITORING REPORT SHALL BE DEVELOPED THAT IDENTIFIES THE MEASURED TURBIDITY AT ALL ON AND OFF-SITE SAMPLING LOCATIONS, THE DATE AND TIME OF THE SAMPLING EVENT, CURRENT AND PRECURSORY WEATHER EVENTS, GENERAL COMMENTS AS TO THE MAINTENANCE OF EXISTING BMP'S AND SUGGESTIONS/PROPOSALS FOR ADDITIONAL BMP'S.

B. A MONITORING/SAMPLING SCHEDULE SHOULD PROVIDE FOR MONITORING/SAMPLING EVENTS ON A DAILY BASIS, AT A MINIMUM DURING DRY WEATHER CONDITIONS. THE SCHEDULE SHOULD PROVIDE FOR MORE FREQUENT MONITORING/SAMPLING EVENTS DURING THE WET SEASON AND SHOULD ALSO PROVIDE FOR ADDITIONAL MONITORING/SAMPLING EVENTS DURING AND AFTER SIGNIFICANT RAINFALL EVENTS.

C. THE MONITORING/SAMPLING EVENTS SHOULD BEGIN PRIOR TO THE INITIATION OF SITE DISTURBANCE ACTIVITIES, 2 WEEKS MINIMUM, TO ALLOW FOR MEANINGFUL PRE-SITE DISTURBANCE MEASUREMENTS IN THE ESTABLISHMENT OF THE EXISTING TURBIDITY BASELINE USED AS A COMPLIANCE THRESHOLD.

D. THE MONITORING/SAMPLING EVENTS SHALL EXTEND BEYOND THE FINAL SITE STABILIZATION AND CONSTRUCTION DE-MOBILIZATION TIME FRAME. MONITORING ACTIVITIES SHOULD BE EXTENDED A MINIMUM OF SIX-MONTHS TO DETERMINE IF THE FINAL SITE STABILIZATION HAS OCCURRED AND IF REMEDIAL SITE STABILIZATION ACTIVITIES SHALL BE REQUIRED. THE FREQUENCY OF POST-CONSTRUCTION MONITORING/SAMPLING EVENTS MAY BE REDUCED TO A BI-WEEKLY AND/OR MONTHLY FREQUENCY BASED UPON WET OR DRY SEASON CONDITIONS AND/OR OTHER MITIGATING CIRCUMSTANCES.

E. THE MONITORING REPORT/SCHEDULE SHALL CLEARLY IDENTIFY LEAD ESC SUPERVISOR OR RESPONSIBLE INDIVIDUAL FOR BRINGING THE SUBJECT PROPERTY INTO COMPLIANCE WHEN AND IF THE THRESHOLD LEVEL OF TURBIDITY HAS BEEN EXCEEDED.

F. THE MONITORING REPORT/SCHEDULE SHALL CLEARLY IDENTIFY THE DISTRIBUTION OF MONITORING REPORTS.

G. THE MONITORING/REPORT SHALL PROVIDE A COMPLIANCE SEQUENCE/TIME FRAME FOR IDENTIFYING PROCEDURES, COORDINATION OF PERSONNEL AND RESOURCES REQUIRED TO BRING THE SUBJECT PROPERTY INTO COMPLIANCE AT SUCH TIME AS THE ACCEPTABLE THRESHOLD FOR TURBIDITY LEAVING THE SITE HAS BEEN EXCEEDED.

130. A TMP SITE PLAN SHALL INCLUDE THE FOLLOWING INFORMATION:

A TMP SITE PLAN SHALL IDENTIFY THE MONITORING/SAMPLING LOCATIONS, INTEGRAL SEDIMENTATION CONTROL BMP'S, E.G. SEDIMENT POND(S) AND CRITICAL AREAS OF CONCERN, E.G. STREAM CORRIDORS AND SLOPES OF 15% OR GREATER.

MVES 2-07 WET SEASON SPECIAL PROVISIONS/REQUIREMENTS

ANY SITE WITH EXPOSED SOILS DURING THE WET SEASON (OCTOBER 1 TO APRIL 30) SHALL BE SUBJECT TO THE WET SEASON SPECIAL PROVISIONS. IN ADDITION TO THE ESC COVER MEASURES, THESE SPECIALS INCLUDE COVERING ANY NEWLY SEEDED AREAS WITH MULCH AND IDENTIFYING AND SEEDING AS MUCH DISTURBED AREA AS POSSIBLE PRIOR TO SEPTEMBER 23 IN ORDER TO PROVIDE GRASS COVER FOR THE WET SEASON.

WET SEASON SPECIAL PROVISIONS

ALL OF THE FOLLOWING PROVISIONS FOR WET SEASON CONSTRUCTION ARE DETAILED IN THE REFERENCED SECTIONS. THESE REQUIREMENTS ARE LISTED HERE FOR THE CONVENIENCE OF THE DESIGNER AND THE REVIEWER.

131. THE ALLOWED TIME THAT A DISTURBED AREA CAN REMAIN UNWORKED WITHOUT COVER MEASURES IS REDUCED TO TWO DAYS RATHER THEN 7 DAYS. STOCKPILES AND STEEP CUT AND FILL SLOPES ARE TO BE PROTECTED IF UNWORKED FOR MORE THEN 12 HOURS.

132. COVER MATERIALS SUFFICIENT TO COVER ALL DISTURBED AREAS SHALL BE STOCKPILED ON-SITE.

133. ALL AREAS THAT ARE TO BE UNWORKED DURING THE WET SEASON SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON.

134. MULCH IS REQUIRED TO PROTECT ALL SEEDED AREAS.

135. FIFTY LINEAR FEET OF SILT FENCE (AND THE NECESSARY STAKES) PER ACRE OF DISTURBANCE MUST BE STOCKPILED ON SITE.

136. CONSTRUCTION ROAD AND PARKING LOT STABILIZATION ARE REQUIRED FOR ALL SITES UNLESS THE SITE IS UNDERLAIN BY COARSE-GRAINED SOIL.

137. SEDIMENT RETENTION IS REQUIRED UNLESS NO OFFSITE DISCHARGE IS ANTICIPATED FOR THE SPECIFIC DESIGN FLOW.

138. SURFACE WATER CONTROLS ARE REQUIRED UNLESS NO OFFSITE DISCHARGE IS ANTICIPATED FOR THE SPECIFIED DESIGN FLOW.

139. PHASING AND MORE CONSERVATIVE BMP'S MUST BE EVALUATED FOR CONSTRUCTION ACTIVITY NEAR SURFACE WATERS.

140. ANY RUNOFF GENERATED BY DEWATERING SHALL BE TREATED THROUGH CONSTRUCTION OF A SEDIMENT TRAP WHEN THERE IS SUFFICIENT SPACE OR BY RELEASING THE WATER TO A WELL VEGETATED, GENTLY SLOPING AREA SINCE PUMPS ARE USED FOR DEWATERING, IT MAY BE POSSIBLE PUMP THE SEDIMENT-LADEN WATER WELL AWAY FROM THE SURFACE WATER SO THAT VEGETATION CAN BE MORE EFFECTIVELY UTILIZED FOR TREATMENT. A STRAW BALE FILTER SHALL BE PLACED AROUND THE DISCHARGE FROM THE DEWATERING PUMP. IF THERE IS NOT SUFFICIENT SPACE FOR A SEDIMENT TRAP OR 25 FEET OF SUITABLE VEGETATION, OTHER FILTRATION METHODS SHALL BE REQUIRED.

EROSION CONTROL REQUIREMENTS PER CITY

MVES 2-14 STANDARD ESC PLAN NOTES

EROSION AND SEDIMENT CONTROL NOTES

141. AS DIRECTED BY PUBLIC WORKS DIRECTOR PRIOR TO COMMENCING CONSTRUCTION, ALL CRITICAL AREAS, INCLUDING WETLAND BUFFERS, STREAM CORRIDOR, LANDFILL AREAS, AND STEEP SLOPES SHALL BE CONTINUOUSLY DEMARCATED IN THE FIELD USING FLAGGING TAPE OR FENCING.

142. EROSION CONTROL METHODS AND MATERIALS SHALL MEET REQUIREMENTS OF SECTION 8-01 OF THE AWA/WASHINGTON STATE DEPARTMENT OF TRANSPORTATION 1998 STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, AND REQUIREMENTS SET FORTH IN VOLUME II OF THE "STORMWATER MANAGEMENT MANUAL FOR THE PUGET SOUND BASIN (THE TECHNICAL MANUAL FOR THE WASHINGTON STATE DEPARTMENT OF ECOLOGY, CURRENT EDITION). THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS MADE BY SUPPLIERS AND MANUFACTURERS OF MATERIALS AND EQUIPMENT USED.

143. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).

144. THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.

145. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CONTROL FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OR ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION. ALL GROUND COVER IS TO REMAIN OUTSIDE OF CLEARING AREA(S).

146. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE INSTALLED AND IN OPERATION PRIOR TO ANY GRADING OR LAND CLEARING. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.

147. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G., ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.

148. THE ESC FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT, AND AT THE END OF EVERY RAINFALL, AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMPORARY SILTATION PONDS AND ALL TEMPORARY SILTATION CONTROL SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED. PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED.

149. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.

150. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.

151. STABILIZED CONSTRUCTION ENTRANCES AND WASH PADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEANED FOR THE DURATION OF THE PROJECT.

152. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM, WHICH BACKS UNDER OR INTO A POND, SHALL BE USED AS A TEMPORARY SETTLING BASIN. CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.

153. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).

154. WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY EROSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF TWO (2) INCHES.

155. ALL EROSION/SEDIMENTATION CONTROL PONDS WITH A DEAD STORAGE DEPTH EXCEEDING SIX (6) INCHES MUST HAVE A PERIMETER FENCE WITH A MINIMUM HEIGHT OF THREE (3) FEET.

156. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF MOUNT VERNON STANDARDS AND SPECIFICATIONS.

157. THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MOUNT VERNON'S DEVELOPMENT INSPECTOR TO DETERMINE THE EXTENT THAT THESE SPECIFICATIONS ARE TO BE IMPLEMENTED.

158. A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.

159. ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A FOUR (4) FOOT HIGH TEMPORARY CONSTRUCTION FENCE (CYCLONE OR PLASTIC MESH) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR CLEARING AND REMAIN IN PLACE UNTIL A DWELLING IS CONSTRUCTED AND OWNERSHIP TRANSFERRED TO THE FIRST OWNER/OCCUPANT.

160. THE CLEARING CONTROL FENCE SHALL BE INSTALLED AT THE DRIP LINE OF TREES TO BE SAVED WHEREVER THE TREE CANOPIES EXTEND INTO THE AREA TO BE CLEARED. ON-SITE SUPERVISION SHALL BE PROVIDED WHENEVER EQUIPMENT MUST OPERATE UNDER TREE CANOPIES, AND FENCING SHALL BE REPLACED WHEN NO INSPECTOR IS PRESENT.

161. THE CLEARING CONTROL FENCE SHALL CONSIST OF A SINGLE STRAND OF WIRE ATTACHED ABOUT THREE (3) FEET HIGH TO WOOD LATH AT A TWELVE (12) FOOT MAXIMUM SPACING AND FLAGGED WITH SURVEY RIBBON AT FOUR (4) FOOT INTERVALS.

162. OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.

163. ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION.

164. THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC COVERED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY OF MOUNT VERNON. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.

165. ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF ONE (1) FOOT AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4" - 8" ROCK/40%-70% PASSING; 2"-4" ROCK/30%-40% PASSING; AND 1"-2" ROCK/10%-20% PASSING.

166. IF ANY PART(S) OF THE CLEARING LIMIT; BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY.

167. ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF.

DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD IMPAIR RECLEANING THE ENTIRE DOWNSTREAM STORM SYSTEM, OR POSSIBLY RELAYING THE STORM LINE.

ESC-1 EROSION AND SEDIMENT CONTROL NOTES

168. APPROVAL OF THIS EROSION AND SEDIMENT CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).

169. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.

170. THE ESC SUPERVISOR'S NAME IS: STAN OLSON, 24 HR. CONTACT NUMBER: (360) 391-1440

171. THE APPLICANT'S NAME IS : STAN OLSON, 24 HR. CONTACT NUMBER: (360) 391-1440

172. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY A CONTINUOUS LENGTH OF SURVEY TAPE (OR FENCING, IF REQUIRED) PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.

173. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.

174. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UP GRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.).

175. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES DURING THE WET SEASON (OCT. 1 TO APRIL 30) AND OF THE MONTHLY REVIEWS DURING THE DRY SEASON (MAY 1 TO SEPT. 30).

176. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).

177. ANY AREA NEEDING ESC MEASURES NOT REQUIRING IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN FIFTEEN (15) DAYS.

178. THE ESC FACILITIES ON ACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN FORTY-EIGHT (48) HOURS FOLLOWING A STORM EVENT.

179. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.

180. STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

181. ANY PERMANENT FLOW CONTROL FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION AS ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE TEMPORARY FACILITY MUST BE GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.

182. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2 TO 3 INCHES.

183. PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEEDED AND THOSE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE CITY INSPECTOR. THE CITY INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.

ESC-2 WET SEASON SPECIAL PROVISIONS (OCTOBER 1, 2000 - APRIL 30, 2000)

184. THE ALLOWED TIME THAT A DISTURBED AREA CAN REMAIN UNWORKED WITHOUT COVER MEASURES IS REDUCED TO TWO DAYS, RATHER THEN SEVEN.

185. STOCKPILES AND STEEP CUT AND FILL SLOPES ARE TO BE PROTECTED IF UNWORKED FOR MORE THAN 12 HOURS.

186. COVER MATERIALS SUFFICIENT TO COVER ALL DISTURBED AREAS SHALL BE STOCKPILED ON SITE.

187. ALL AREAS THAT ARE TO BE UNWORKED DURING THE WET SEASON SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON.

188. MULCH IS REQUIRED TO PROTECT ALL SEEDED AREAS

189. FIFTY LINEAR FEET OF SILT FENCE (AND THE NECESSARY STAKES) PER ACRE OF DISTURBANCE MUST BE STOCKPILED ON SITE.

190. CONSTRUCTION ROAD AND PARKING LOT STABILIZATION ARE REQUIRED FOR ALL SITES UNLESS THE SITE IS UNDERLAIN BY COARSE-GRAINED SOIL.

191. SEDIMENT RETENTION IS REQUIRED UNLESS NO OFFSITE DISCHARGE IS ANTICIPATED FOR THE SPECIFIC DESIGN FLOW.

192. SURFACE WATER CONTROLS ARE REQUIRED UNLESS NO OFFSITE DISCHARGE IS ANTICIPATED FOR THE SPECIFIED DESIGN FLOW.

193. PHASING AND MORE CONSERVATIVE BMP'S MUST BE EVALUATED FOR CONSTRUCTION ACTIVITY NEAR SURFACE WATERS.

194. ANY RUNOFF GENERATED BY DEWATERING SHALL BE TREATED THROUGH CONSTRUCTION OF A SEDIMENT TRAP WHEN THERE IS SUFFICIENT SPACE OR BY RELEASING THE WATER TO A WELL-VEGETATED, GENTLY SLOPING AREA SINCE PUMPS ARE USED FOR DEWATERING, IT MAY BE POSSIBLE TO PUMP THE SEDIMENT-LADEN WATER WELL AWAY FROM THE SURFACE WATER SO THAT VEGETATION CAN BE MORE EFFECTIVELY UTILIZED FOR TREATMENT. A STRAW BALE FILTER SHALL BE PLACED AROUND THE DISCHARGE FROM THE DEWATERING PUMP. IF THERE IS NOT SUFFICIENT SPACE FOR A SEDIMENT TRAP OR 25 FEET OF SUITABLE VEGETATION, OTHER FILTRATION METHODS SHALL BE REQUIRED.

195. THE FREQUENCY OF MAINTENANCE REVIEW INCREASES FROM MONTHLY TO WEEKLY.

ESC-3 SENSITIVE AREAS SPECIAL PROVISIONS

196. WHENEVER POSSIBLE, PHASE ALL OR PART OF THE PROJECT SO THAT IT OCCURS DURING THE DRY SEASON. IF THIS IS IMPOSSIBLE, NOVEMBER THROUGH FEBRUARY SHALL BE AVOIDED SINCE THIS IS THE MOST LIKELY PERIOD FOR LARGE, HIGH-INTENSITY STORMS.

197. ALL PROJECT SHALL BE COMPLETED AND STABILIZED AS QUICKLY AS POSSIBLE. LIMITING THE SIZE AND DURATION OF A PROJECT IS PROBABLY THE MOST EFFECTIVE FORM OF EROSION CONTROL.

198. WHERE APPROPRIATE, SANDBAGS OR AN EQUIVALENT BARRIER SHALL BE CONSTRUCTED BETWEEN THE PROJECT AREA AND THE SURFACE WATER IN ORDER TO ISOLATE THE CONSTRUCTION AREA FROM HIGH WATER THAT MIGHT RESULT DUE TO PRECIPITATION.

199. ADDITIONAL PERIMETER PROTECTION SHALL BE CONSIDERED TO REDUCE THE LIKELIHOOD OF SEDIMENT ENTERING THE SURFACE WATERS. SUCH PROTECTION MIGHT INCLUDE MULTIPLE SILT FENCES, SILT FENCES WITH A HIGHER ADO, CONSTRUCTION OF A BERM, OR A THICK LAYER OF ORGANIC MULCH UPSLOPE OF A SILT FENCE.

200. IF WORK IS TO OCCUR WITHIN THE ORDINARY HIGH WATER MARK OF A STREAM, MOST PROJECTS MUST ISOLATE THE WORK AREA FROM THE STREAM BY DIVERTING THE STREAM OR CONSTRUCTING A COFFERDAM. CERTAIN SMALL PROJECTS THAT PROPOSE ONLY A SMALL AMOUNT OF GRADING MAY NOT REQUIRE ISOLATION SINCE DIVERSIONS TYPICALLY RESULT IN DISTURBANCE AND THE RELEASE OF SOME SEDIMENT TO THE STREAM. FOR SUCH SMALL PROJECTS THE POTENTIAL IMPACTS FROM CONSTRUCTION WITH AND WITHOUT A DIVERSION MUST BE WEIGHED.

201. IF A STREAM MUST BE CROSSED, A TEMPORARY BRIDGE SHALL BE CONSIDERED RATHER THAN ALLOWING EQUIPMENT TO UTILIZE THE STREAMED FOR A CROSSING.

202. ANY RUNOFF GENERATED BY DEWATERING SHALL BE TREATED THROUGH CONSTRUCTION OF A SEDIMENT TRAP WHEN THERE IS SUFFICIENT SPACE OR BY RELEASING THE WATER TO A WELL-VEGETATED, GENTLY SLOPING AREA SINCE PUMPS ARE USED FOR DEWATERING, IT MAY BE POSSIBLE TO PUMP THE SEDIMENT-LADEN WATER WELL AWAY FROM THE SURFACE WATER SO THAT VEGETATION CAN BE MORE EFFECTIVELY UTILIZED FOR TREATMENT. A STRAW BALE FILTER ADJACENT TO THE DISCHARGE FROM THE DEWATERING PUMP, IF THERE IS NOT SPACE FOR A SEDIMENT TRAP OR 25 FEET OF SUITABLE VEGETATION, OTHER FILTRATION METHODS SHALL BE REQUIRED.

ESC-4 FINAL SITE STABILIZATION NOTES

TO OBTAIN FINAL CONSTRUCTION APPROVAL, THE FOLLOWING CONDITIONS MUST BE MET:

203. ALL DISTURBED AREAS OF THE SITE SHALL BE VEGETATED OR OTHERWISE PERMANENTLY STABILIZED. AT A MINIMUM, DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITH A HIGH LIKELY HOOD THAT SUFFICIENT COVER WILL DEVELOP SHORTLY AFTER FINAL APPROVAL. MULCH WITHOUT SEEDING IS NOT ADEQUATE TO ALLOW FINAL APPROVAL OF THE PERMIT, EXCEPT FOR SMALL AREAS OF MULCH USED FOR LANDSCAPING. THE ONLY EXCEPTIONS TO THESE REQUIREMENTS ARE LOTS WITH A PLAT THAT ARE TO BE DEVELOPED UNDER AN APPROVED RESIDENTIAL PERMIT IMMEDIATELY FOLLOWING PLAT APPROVAL. IN THESE CASES, MULCH AND/OR TEMPORARY SEEDING ARE ADEQUATE FOR COVER.

204. STRUCTURAL MEASURES SUCH AS, BUT NOT LIMITED TO, SILT FENCES, PIPE SLOPES DRAINS, CONSTRUCTION ENTRANCES, STORM DRAIN INLET PROTECTION, AND SEDIMENT TRAPS AND PONDS SHALL BE REMOVED FROM THE SITE. MEASURES THAT QUICKLY DECOMPOSE, SUCH AS BRUSH BARRIERS AND ORGANIC MULCHES, MAY BE LEFT IN PLACE. IN THE CASE OF SILT FENCES, IT MAY BE BEST TO REMOVE FENCES IN CONJUNCTION WITH THE SEEDING, SINCE IT MAY BE NECESSARY TO BRING MACHINERY BACK IN TO REMOVE THEM. THIS WILL RESULT IN DISTURBED SOILS THAT WILL AGAIN REQUIRE PROTECTION. THE DDES INSPECTOR MUST APPROVE AN APPLICANT'S PROPOSAL TO REMOVE FENCING PRIOR TO THE ESTABLISHMENT OF VEGETATION. IN SOME CASES, SUCH AS RESIDENTIAL BUILDING FOLLOWING PLAT DEVELOPMENT, IT MAY BE APPROPRIATE TO LEAVE SOME OR ALL ESC MEASURES FOR USE DURING SUBSEQUENT DEVELOPMENT. THIS SHALL BE DETERMINED ON A SITE-SPECIFIC BASIS.

205. ALL PERMANENT SURFACE WATER FACILITIES, INCLUDING CATCH BASINS, MANHOLES, PIPES, DITCHES, CHANNELS, P/O FACILITIES, AND WATER QUALITY FACILITIES, SHALL BE CLEANED. ANY OFFSITE CATCH BASIN THAT REQUIRED PROTECTION DURING CONSTRUCTION SHALL ALSO BE CLEANED.

206. IF ONLY THE INFRASTRUCTURE OF THE SITE HAS BEEN DEVELOPED (E.G. SUBDIVISIONS OR SHORT PLATS) WITH BUILDING CONSTRUCTION TO OCCUR UNDER A DIFFERENT PERMIT, THEN THE SENSITIVE AREA BUFFERS, SENSITIVE AREA TRACTS, OR SENSITIVE AREA SETBACK AREA SHALL BE CLEARLY MARKED AS DESCRIBED IN SECTION D.4.1 IN ORDER TO ALERT FUTURE BUYERS AND BUILDERS.

ESC-5 ROAD AND UTILITIES E.S.C. NOTES

207. PHASING THE PROJECT SO THAT THE SITE IS WORKED PROGRESSIVELY FROM END TO END, RATHER THAN CLEARING AND GRUBBING THE ENTIRE LENGTH OF THE PROJECT, THIS RESULTS IN SMALLER EXPOSED AREAS FOR SHORTER DURATIONS, THUS REDUCING THE EROSION RISK.

208. MULCHING AND VEGETATING CUT AND FILL SLOPES AS SOON AS THEY ARE GRADED. FREQUENTLY, THIS IS DONE AT THE END OF CONSTRUCTION WHEN PAVING OR UTILITY INSTALLATION IS COMPLETE. VEGETATING THESE AREAS AT THE START OF THE PROJECT STABILIZES THOSE AREAS MOST SUSCEPTIBLE TO EROSION.

209. PROTECTING ALL CATCH BASIN INLETS WITH CATCH BASIN INSERTS WHEN THESE DO NOT DRAIN TO POTS OR TRAPS. THIS WILL NOT PROVIDE THE SAME LEVEL OF PROTECTION AS A SEDIMENT POND OR TRAP, BUT CAN REMOVE MOST OF THE SAND-SIZED MATERIAL ENTRAINED

SURVEY DESCRIPTION

LOT B, SKAGIT COUNTY SHORT PLAT NO. 8-73, DATED MARCH 12, 1973, APPROVED APRIL 2, 1973, BEING A PORTION OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 31, TOWNSHIP 34 NORTH, RANGE 4 EAST, 1/4 M.M.; MORE FULLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 31, TOWNSHIP 34 NORTH, RANGE 4 EAST, 1/4 M.M.; THENCE SOUTH 84°13'19" WEST ALONG THE NORTH LINE OF SAID SUBDIVISION A DISTANCE OF 294.57 FEET TO THE TRUE POINT OF BEGINNING;
 THENCE SOUTH 0°20'48" EAST A DISTANCE OF 155.02 FEET;
 THENCE NORTH 84°13'19" EAST A DISTANCE OF 204.57 FEET TO A POINT ON THE WEST BOUNDARY OF STATE HIGHWAY 49;
 THENCE SOUTH 0°20'48" EAST ALONG THE WEST BOUNDARY OF SAID HIGHWAY A DISTANCE OF 1142.32 FEET TO THE NORTH BOUNDARY OF AN EXISTING COUNTY ROAD;
 THENCE SOUTH 84°31'120" WEST ALONG THE NORTH BOUNDARY OF SAID COUNTY ROAD A DISTANCE OF 442.27 FEET TO A POINT ON THE EAST BOUNDARY OF THE BURLINGTON NORTHERN RAILROAD RIGHT-OF-WAY; THENCE NORTH 3°02'15" EAST ALONG SAID EAST BOUNDARY OF THE BURLINGTON NORTHERN RAILROAD RIGHT-OF-WAY A DISTANCE OF 1247.60 FEET TO A POINT ON THE NORTH LINE OF SAID SUBDIVISION; THENCE NORTH 84°13'19" EAST ALONG SAID NORTH LINE A DISTANCE OF 206.11 FEET TO THE TRUE POINT OF BEGINNING.
 SUBJECT TO AND TOGETHER WITH EASEMENTS, RESERVATIONS, RESTRICTIONS, COVENANTS, LIENS, LEASES, COURT CAUSES AND OTHER INSTRUMENTS OF RECORD.
 SITUATE IN THE CITY OF MOUNT VERNON, COUNTY OF SKAGIT, STATE OF WASHINGTON.

OWNERS CERTIFICATE AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED OWNERS OF THE LAND INCLUDED WITHIN THIS SHORT PLAT DO HEREBY CERTIFY THAT THE DECISION TO MAKE THIS SHORT PLAT WAS OUR FREE AND VOLUNTARY ACT AND DEED AND DO DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS AND AVENUES SHOWN THEREON AND THE USE THEREOF FOR ALL PUBLIC PURPOSES NOT INCONSISTENT WITH THE USE THEREOF FOR THE PUBLIC HIGHWAY PURPOSES; ALSO THE RIGHT TO MAKE ALL NECESSARY SLOPES FOR CUTS AND FILLS UPON THE LOTS AND BLOCKS SHOWN ON THIS PLAT IN THE ORIGINAL REASONABLE GRADING OF THE STREETS AND AVENUES SHOWN HEREON. IN WITNESS WHEREOF WE HAVE HERE UNTO SET OUR HAND AND SEALS THIS 5th DAY OF April, 2008.

5 & B LAND, LLC,
 A WASHINGTON LIMITED LIABILITY COMPANY

BY: Richard L. Smith TITLE: Partner

BY: Robert E. Burkland TITLE: Partner

BUSINESS BANK

BY: [Signature]

TITLE: President & CEO

STATE OF WASHINGTON
 COUNTY OF SKAGIT

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT PERSONS WHO APPEARED BEFORE ME AND SAID PERSONS ACKNOWLEDGED THAT HE/SHE/THEY SIGNED THIS INSTRUMENT, ON OATH STATED THAT HE/SHE/THEY (WAS/ARE) AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE PARTNERS OF 5 & B LAND, LLC, A WASHINGTON LIMITED LIABILITY COMPANY, TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

DATED: 4/3/08

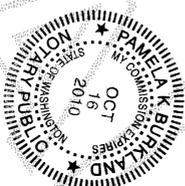
DATED: _____

[Signature]
 SIGNATURE

NOTARY PUBLIC

MY APPOINTMENT EXPIRES 10/16/2010

RESIDING AT Mt Vernon, WA



STATE OF WASHINGTON
 COUNTY OF SKAGIT

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT DON ZIMMERMAN IS THE PERSON WHO APPEARED BEFORE ME AND SAID PERSON ACKNOWLEDGED THAT HE/SHE/THEY SIGNED THIS INSTRUMENT, ON OATH STATED THAT HE/SHE/THEY (WAS/ARE) AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE President & CEO OF BUSINESS BANK, TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

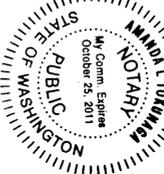
DATED: 4-3-08

[Signature]
 SIGNATURE

NOTARY PUBLIC

MY APPOINTMENT EXPIRES 10-25-2011

RESIDING AT Skagit County



AUDITOR'S CERTIFICATE

FILED FOR RECORD AT THE REQUEST OF LISSER & ASSOCIATES, PLLC.



J. Youngquist
 SKAGIT COUNTY AUDITOR

DEPUTY: [Signature]
 7/29/2008 Page 1 of 3 1:56PM

APPROVALS
 EXAMINED AND APPROVED THIS 15th OF July, 2008.

CITY ENGINEER

EXAMINED AND APPROVED THIS 24th OF July, 2008.

MAYOR

[Signature]
 CLERK

EXAMINED AND FOUND TO BE IN CONFORMITY WITH APPLICABLE ZONING AND OTHER LAND USE CONTROLS AND APPROVED THIS 1st DAY OF July, 2008.

[Signature]
 ECONOMIC DEVELOPMENT DIRECTOR

TREASURER'S CERTIFICATE

THIS IS TO CERTIFY THAT ALL TAXES HERETOFORE LEVIED AND WHICH HAVE BECOME A LIEN UPON THE LANDS DESCRIBED HEREIN HAVE BEEN FULLY PAID AND DISCHARGED ACCORDING TO THE RECORDS KEPT UP TO AND INCLUDING THE YEAR OF 2008.

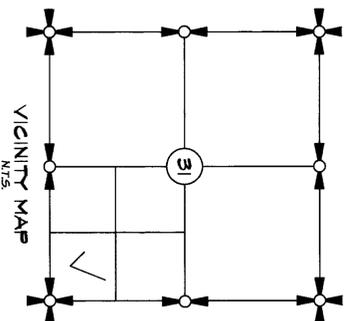
[Signature]
 SKAGIT COUNTY TREASURER

DEPUTY

CITY TREASURER'S CERTIFICATE

I HEREBY CERTIFY THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS AND ALL SPECIAL ASSESSMENTS ON ANY OF THE PROPERTY HEREIN CONTAINED DEDICATED AS STREETS, ALLEYS, OR FOR OTHER PUBLIC USE, ARE PAID IN FULL. THIS 15th DAY OF July, 2008.

[Signature]
 CITY TREASURER



VICINITY MAP
 N.T.S.

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS SHORT PLAT IS BASED UPON AN ACTUAL SURVEY AND SUBDIVISION OF SECTION 31, TOWNSHIP 34 NORTH, RANGE 4 EAST, 1/4 M.M.; THAT THE COURSES AND DISTANCES ARE SHOWN CORRECTLY; AND THAT I HAVE COMPLIED WITH THE PROVISIONS OF THE CITY OF MOUNT VERNON SHORT PLAT ORDINANCE.

DATE: March 31, 2008

BRUCE G. LISSER, P.L.S., CERTIFICATE NO. 22460
 LISSER & ASSOCIATES, PLLC
 320 HILVAUER STREET, PO BOX 1104
 MOUNT VERNON WA 98273
 PHONE (360) 419-7442
 FAX (360) 419-0561
 EMAIL BRUCE@LISSER.COM



SHORT PLAT NO. LU - 06 - 060

SHEET 1 OF 3

DATE: 3/31/08

SURVEY IN A PORTION OF
 THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF
 SECTION 31, TOWNSHIP 34 NORTH, RANGE 4 EAST, 1/4 M.M.
 CITY OF MOUNT VERNON
 SKAGIT COUNTY, WASHINGTON
 FOR: 5 & B LAND, LLC

PRIVATE DRAINAGE EASEMENT

AN EASEMENT FOR THE PURPOSE OF CONVEYING LOCAL STORM WATER RUNOFF IS HEREBY GRANTED IN FAVOR OF ALL ADJOINING LOT OWNERS IN THE AREAS DESIGNATED AS PRIVATE DRAINAGE EASEMENTS. THE MAINTENANCE OF PRIVATE DRAINAGE EASEMENTS ESTABLISHED AND GRANTED HEREIN SHALL BE THE RESPONSIBILITY OF AND THE COSTS THEREOF SHALL BE BORNE EQUALLY BY THE PRESENT AND FUTURE OWNERS OF THE ADJOINING PROPERTY AND THEIR HEIRS, PERSONAL REPRESENTATIVES, AND ASSIGNS.

THE CITY OF MOUNT VERNON IS HEREBY GRANTED THE RIGHT TO ENTER SAID EASEMENTS FOR EMERGENCY PURPOSES AT ITS OWN DISCRETION.

EASEMENTS

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF MOUNT VERNON, PUBLIC UTILITY DISTRICT NO. 1, PUGET SOUND ENERGY, VERIZON, CASCADE NATURAL GAS CO. AND COMCAST, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS UNDER AND UPON THOSE PORTIONS OF THE LOTS AS SHOWN AS UTILITY EASEMENTS HEREON IN WHICH TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE, MAINTAIN AND REMOVE UTILITY SYSTEMS, LINE, FITURES AND APPURTENANCES ATTACHED HERETO, FOR THE PURPOSE OF PROVIDING UTILITY SERVICES TO THE SUBDIVISION AND OTHER PROPERTY, TOGETHER WITH THE RIGHT TO ENTER UPON THE LOTS AND TRACTS AT ALL TIMES FOR THE PURPOSES STATED, WITH THE UNDERSTANDING THAT ANY GRANTEE SHALL BE RESPONSIBLE FOR ALL UNNECESSARY DAMAGE IT CAUSES TO ANY REAL PROPERTY OWNER IN THE SUBDIVISION BY THE EXERCISE OF RIGHTS AND PRIVILEGE HEREIN GRANTED.

WATER PIPELINE EASEMENT

AN EASEMENT IS GRANTED TO PUBLIC UTILITY DISTRICT NO. 1 OF SKAGIT COUNTY, WASHINGTON, A MUNICIPAL CORPORATION, ITS SUCCESSORS OR ASSIGNS, THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY ENABLING THE PUD TO DO ALL THINGS NECESSARY OR PROPER IN THE CONSTRUCTION AND MAINTENANCE OF A PUBLIC WATER LINE, LINES OR RELATED FACILITIES, INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, INSPECT, IMPROVE, REMOVE, RESTORE, ALTER, REPLACE, RELOCATE, CONNECT TO AND LOCATE AT ANY TIME A PIPE OR PIPES, LINE OR LINES OR RELATED FACILITIES, ALONG WITH NECESSARY APPURTENANCES FOR THE TRANSPORTATION OF WATER OVER, ACROSS, ALONG, IN AND UNDER THE LANDS AS SHOWN ON THIS PLAT TOGETHER WITH THE RIGHT OF INGRESS TO AND EGRESS FROM SAID LANDS ACROSS ADJACENT LANDS OF THE GRANTEE ALSO, THE RIGHT TO CUT AND/OR TRIM ALL BRUSH, TIMBER, TREES OR OTHER GROWTH STANDING OR GROWING UPON THE LANDS OF THE GRANTEE WHICH, IN THE OPINION OF THE DISTRICT CONSTITUTES A MENACE OR DANGER TO SAID LINE OR TO PERSONS OR PROPERTY BY REASON OF PROXIMITY TO THE LINE. THE GRANTEE AGREES THAT TITLE TO ALL TIMBER, BRUSH, TREES, OTHER VEGETATION OR DEBRIS TRIMMED, CUT, AND REMOVED FROM THE EASEMENT PURSUANT TO THIS AGREEMENT IS VESTED IN THE DISTRICT.

SANITARY SEWER EASEMENT

AN EASEMENT IS HEREBY GRANTED TO THE CITY OF MOUNT VERNON IN THE AREA DESIGNATED AS A SANITARY SEWER EASEMENT IN WHICH TO CONSTRUCT, MAINTAIN, REPLACE OR RECONSTRUCT SANITARY SEWER FACILITIES, FOR THE PURPOSE OF PROVIDING SANITARY SEWER TO THIS SUBDIVISION AND OTHER PROPERTY, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS TO AND OVER SAID PREMISES AT ANY AND ALL TIMES FOR THE PURPOSE OF DOING ANYTHING NECESSARY OR USEFUL OR CONVENIENT FOR THE EMPLOYMENT OF THE EASEMENT HEREBY GRANTED.

THERE IS HEREBY RESERVED FOR THE GRANTEE, THEIR HEIRS, AND ASSIGNS, THE RIGHT AND PRIVILEGE TO USE THE ABOVE DESCRIBED LAND OF THE GRANTEE, AT ANY TIME, IN ANY MANNER AND FOR ANY PURPOSE NOT INCONSISTENT WITH THE FULL USE AND ENJOYMENT BY THE GRANTEE, ITS SUCCESSOR AND ASSIGNS, OF THE RIGHTS AND PRIVILEGES HEREIN GRANTED. THE GRANTEE IS RESPONSIBLE FOR OPERATING AND MAINTAINING THE ABOVE DESCRIBED WORK OF IMPROVEMENT.

THE GRANTEE, OR THEIR ASSIGNS, SHALL REFRAIN FROM CONSTRUCTING OR PLACING ANY BUILDINGS OR IMPROVEMENTS WHICH WOULD RESTRICT ACCESS, UPON THE ABOVE DESCRIBED PREMISES.

NOTES

1. SHORT PLAT NUMBER AND DATE OF APPROVAL SHALL BE INCLUDED IN ALL DEEDS AND CONTRACTS
2. ZONING: C-1 COMMERCIAL LIMITED INDUSTRIAL
3. SEWAGE DISPOSAL: CITY OF MOUNT VERNON
STORM DRAINAGE: CITY OF MOUNT VERNON
4. WATER: PUD. NO. 1.
5. ● - INDICATES IRON ROD SET WITH YELLOW CAP SURVEY NUMBER 1955ER 22460
O - INDICATES EXISTING REBAR OR IRON ROD FOUND
6. MERIDIAN: ASSUMED
7. BASIS OF BEARING: MONUMENTED EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 31, TOWNSHIP 34 NORTH, RANGE 4 EAST, 11M, BEARING = NORTH 0°17'43" WEST
8. FOR ADDITIONAL SUBDIVISION AND MERIDIAN INFORMATION SEE SHORT PLAT 8-13 (COPY AVAILABLE IN THE RECORDS OF SKAGIT COUNTY UNDER SKAGIT COUNTY AUDITOR'S FILE NUMBERS 49070046 AND 4601050023, ALL IN RECORDS OF SKAGIT COUNTY, WASHINGTON).
9. SURVEY DESCRIPTION IS FROM FIRST AMERICAN TITLE COMPANY, TITLE REPORT, ORDER NO. B92474, DATED AUGUST 28, 2007.
10. THIS PROPERTY IS SUBJECT TO AND TOGETHER WITH EASEMENTS, RESERVATIONS, RESTRICTIONS, COVENANTS, LIENS, LEASES, COURT CAUSES AND OTHER INSTRUMENTS OF RECORD INCLUDING BUT NOT LIMITED TO THOSE INSTRUMENTS SHOWN ON THE ABOVE REFERENCED TITLE REPORT AND RECORDED UNDER AUDITOR'S FILE NUMBERS 200708228007B AND 200708228007A
11. INSTRUMENTATION: LEICA TCR105A THEODOLITE DISTANCE METER
12. SURVEY PROCEDURE: FIELD TRAVERSE
13. OWNER/DEVELOPER: S & B LAND, LLC, A WASHINGTON LIMITED LIABILITY CO.
C/O 16445 DIKE ROAD
MOUNT VERNON WA 98218
PHONE: (360) 424-6022
14. IMPACT FEES ARE REQUIRED IN THE CITY OF MOUNT VERNON AT THE TIME THE BUILDING PERMITS ARE ISSUED.
15. ALL MAINTENANCE AND CONSTRUCTION OF THE PRIVATE ROAD AND STORM DRAINAGE SYSTEM WITHIN THIS SHORT PLAT (TRACTS X AND Y) ARE THE RESPONSIBILITY OF THE LOT OWNERS AND THE RESPONSIBILITY SHALL BE SHARED EQUALLY BY OWNERS BASED ON USAGE.
16. THE CITY OF MOUNT VERNON HAS NO RESPONSIBILITY TO IMPROVE OR MAINTAIN THE PRIVATE STREET CONTAINED WITHIN TRACT Y AND PROVIDING ACCESS TO THE PROPERTY IN THIS SHORT PLAT. THE PRIVATE STREET SHALL REMAIN A PRIVATE STREET UNLESS IT IS UPGRADED TO PUBLIC STREET STANDARDS AT THE EXPENSE OF THE DEVELOPER OR LOT OWNERS WITHIN THIS SHORT PLAT. NO PRIVATE STREET WILL BE ACCEPTED BY THE CITY UNTIL SUCH TIME THAT IT MEETS CURRENT CITY STANDARDS TO THE SATISFACTION OF THE CITY ENGINEER AND/OR FIRE CHIEF.
17. WETLANDS SHOWN HEREON ARE AS DELINEATED BY SKAGIT WETLANDS AND CRITICAL AREAS, INC. THE WETLANDS HAVE AN AREA OF 4,045+/- SQ. FT. (BELOW THE CITY OF MOUNT VERNON THRESHOLD) AND THEREFORE DO NOT REQUIRE BUFFERING. SEE REPORT PREPARED BY SKAGIT WETLANDS AND CRITICAL AREAS, INC. FOR ADDITIONAL INFORMATION. THE PROJECT SEPA STATES THAT THE WETLANDS ARE PROPOSED TO BE FILLED. ALL PERMITTING MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY PROPOSED FILL ACTIVITY. CONTACT THE CITY OF MOUNT VERNON DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT FOR PERMITTING PROCEDURE REQUIREMENTS.
18. BUYER SHOULD BE AWARE THAT THIS SUBDIVISION IS LOCATED IN THE FLOODPLAIN OF THE SKAGIT RIVER AND SIGNIFICANT ELEVATION MAY BE REQUIRED FOR THE FIRST FLOOR CONSTRUCTION.
19. PROPERTY IS LOCATED IN FLOOD ZONE AO (DEPTH 2) AS IDENTIFIED ON FEMA FLOODPLAIN MAP NO. 530151 0425 C, DATED JANUARY 3, 1985. SEE CITY OF MOUNT VERNON DEVELOPMENT SERVICES DEPARTMENT FOR MINIMUM BUILDING ELEVATION REQUIREMENTS.
20. BENCHMARK: US65 6456, BRASS DISK ON CONCRETE BASE
ELEVATION = 1.00 NGVD'29
21. AN OWNER'S ASSOCIATION IS TO BE ESTABLISHED FOR ALL PROPERTIES WITHIN THIS SHORT PLAT. THE ASSOCIATION WILL HAVE THE RESPONSIBILITY OF MAINTAINING THE PRIVATE ROADWAY, PRIVATE STORM DRAINAGE FACILITY AND ESTABLISH COVENANTS FOR THE DEVELOPMENT OF THE PROPERTY. SEE A.F. NO. 200801290145 FOR SPECIFIC DETAILS.
22. AN EASEMENT AREA IS HEREBY PROVIDED, AS SHOWN, ON A PORTION OF LOT 4 FOR THE PLACEMENT OF A FREE STANDING SIGN TO ADVERTISE BUSINESSES ON LOTS 1 - 6 PER CITY OF MOUNT VERNON CODE 11B7.090(C). THE SIGN SHALL BE SIZED FOR THE INCLUSION OF ALL SIX LOTS. THE COST OF CONSTRUCTION AND MAINTENANCE OF THE SHARED SIGN SHALL BE BORNE BY THE LOT OWNERS AS SET FORTH IN THE COVENANTS. NO ADDITIONAL FREE STANDING SIGN WILL BE ALLOWED ON LOT 4, ONLY ADDITIONAL WALL AND MARQUEE SIGNAGE WILL BE ALLOWED PER MOUNT VERNON CODE 11B7.090(C)4.

23. ACCESS TO LOT 1 SHALL BE OFF OF OLD HIGHWAY 99 SOUTH UNLESS OR UNTIL REQUIRED ROAD IMPROVEMENTS TO HICKOX ROAD ARE CONSTRUCTED.
24. CRITICAL AREA BUFFER - THERE IS AN EXISTING MAN-MADE DRAINAGE FACILITY THAT IS IDENTIFIED AS A TYPE III STREAM BY THE DEPARTMENT OF NATURAL RESOURCES LOCATED ADJACENT TO THE SOUTHEAST CORNER OF THE DEVELOPMENT. A STREAM RESTORATION AND MITIGATION PLAN WAS SUBMITTED AND APPROVED THAT ALLOWS FOR A REDUCTION OF THE STANDARD 50-FOOT WIDE BUFFER TO A 25-FOOT WIDE BUFFER. THE 25 FOOT CRITICAL AREA BUFFER SHOWN ON LOT 1 SHALL BE PLANTED AND MAINTAINED PER THE APPROVED MITIGATION AND MONITORING PLAN. SEE REPORT ON FILE WITH THE CITY OF MOUNT VERNON COMMUNITY AND ECONOMIC DEVELOPMENT.



SHEET 2 OF 3 DATE: 3/31/08

SHORT PLAT NO. LU - 06 - 060

SURVEY IN A PORTION OF SECTION 31, TOWNSHIP 34 NORTH, RANGE 4 EAST, 11M, CITY OF MOUNT VERNON SKAGIT COUNTY, WASHINGTON FOR: S & B LAND, LLC

FB 244	PG 50	LIGSER & ASSOCIATES, PLLC SURVEYING & LAND-USE CONSULTATION MOUNT VERNON, WA 98273 360-419-7442	SCALE: N/A
MERIDIAN: ASSUMED			DRAWING: 05-006BSP

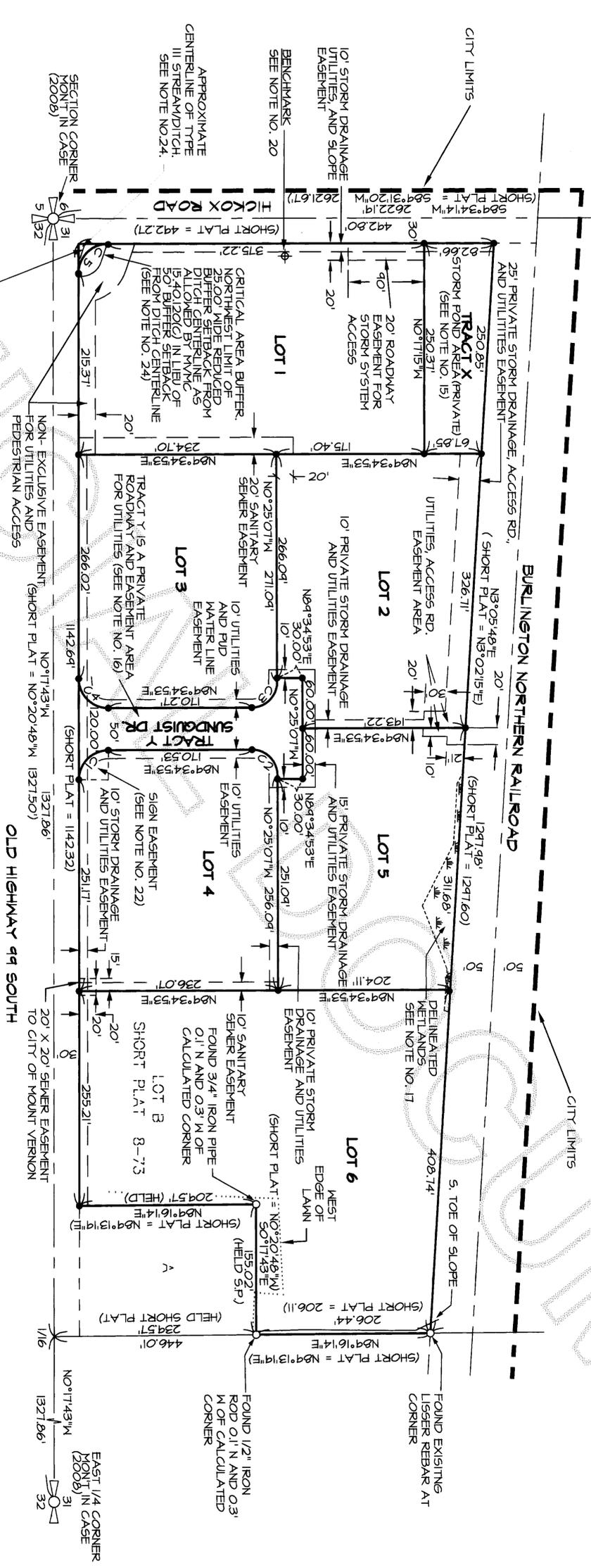
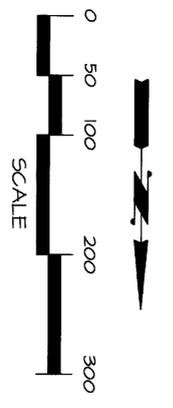


200807290144
Skegitt County Auditor
7/29/2008 Page 3 of 3 1:58PM

ADJOINING PROPERTY OWNERS:

LOT A SHORT PLAT 8-73
LARRY FRIEND
4009 OLD HWY 99 SOUTH
MOUNT VERNON WA

UNPLATTED NORTH
ROBERT AND PAVELA BURKLAND
17285 BRITT ROAD
MOUNT VERNON WA



LOT AREA AND ADDRESS INFORMATION

LOT 1	4235 OLD HWY 99 SOUTH	102,402 SQ. FT.
LOT 2	WEST HICKOX ROAD	74,257 SQ. FT.
LOT 3	106 SANDQUIST DRIVE	10,306 SQ. FT.
LOT 4	4219 OLD HIGHWAY 99 SOUTH	66,996 SQ. FT.
LOT 5	4175 OLD HIGHWAY 99 SOUTH	64,670 SQ. FT.
LOT 6	4103 OLD HIGHWAY 99 SOUTH	142,632 SQ. FT.
TRACT X	STORM POND	18,281 SQ. FT.
TRACT Y	SANDQUIST DRIVE (PRIVATE ROAD)	16,282 SQ. FT.

CURVE TABLE

NUM	DELTA	ARC	RADIUS
C1	84°52'36"	54.90'	35.00'
C2	40°00'00"	47.12'	30.00'
C3	40°00'00"	47.12'	30.00'
C4	40°07'24"	55.05'	35.00'
C5	84°51'57"	54.90'	35.00'



SHEET 3 OF 3 DATE: 3/31/08

SHORT PLAT NO. LU - 06 - 060

SURVEY IN A PORTION OF THE SOUTHEAST 1/4 OF SECTION 31, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M. CITY OF MOUNT VERNON SKEGITT COUNTY, WASHINGTON FOR: S & B LAND, LLC

FB 294 PG 50 LISSER & ASSOCIATES, PLLC SCALE: 1" = 100'
MERIDIAN: ASSUMED SURVEYING & LAND-USE CONSULTATION DRAWING: 05-006B5P
MOUNT VERNON, WA 98273 360-419-7442

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 69

When recorded return to:

Eleanor Place, LLC
23051 Military Road South
Kent, WA 98032



201311010049

Skagit County Auditor \$72.00
11/1/2013 Page 1 of 1 11:58AM

Filed for Record at Request of
Land Title and Escrow
Escrow Number: 147299-OE

Grantor: Reo Family Properties LLC, a Washington limited liability company
Grantee: Eleanor Place, LLC, a Washington limited liability company

147299-OE

Statutory Warranty Deed

LAND TITLE OF SKAGIT COUNTY

THE GRANTOR REO FAMILY PROPERTIES LLC, a Washington Limited Liability Company for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid, conveys and warrants to ELEANOR PLACE, LLC, a Washington limited liability company the following described real estate, situated in the County of Skagit, State of Washington:

Abbreviated Legal: Lots 8, 11, 12 & 13, Plat Of Reo Family Properties.

Tax Parcel Number(s): 4899-000-011-0000, P124763, 4899-000-012-0000, P124764
4899-000-008-0000, P124760, 4899-000-013-0000, P124765

Lots 8, 11, 12 and 13, "PLAT OF REO FAMILY PROPERTIES, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington.

Situate in the City of Mount Vernon, County of Skagit, State of Washington.

Subject to all covenants, conditions, restrictions, reservations, agreements and easements of record including, but not limited to, those shown on Schedule "B-1" of Land Title Company's Preliminary Commitment No. 147299-OE.

Dated October 25, 2013

Reo Family Properties LLC, a Washington limited liability company

By: Randall J. Olson, Manager/Officer

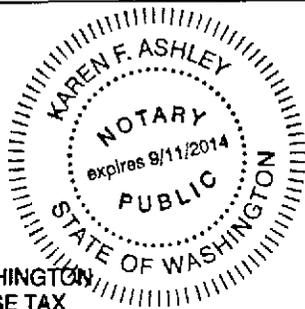
By: Stanton C.G. Olson, Manager/Officer

STATE OF Washington }
County of Skagit } SS:

I certify that I know or have satisfactory evidence Rodney E. Olson and Stanton C.G. Olson the person who appeared before me, and said person acknowledged that they signed this instrument, on oath stated They are authorized to execute the instrument and is Managers/Officers of REO Family Properties, LLC, a Washington limited liability* to be the free and voluntary act of such party for the uses and purposes mentioned in this instrument.

*company
Dated: October 30, 2013

Karen Ashley
Notary Public in and for the State of Washington
Residing at Sedro-Woolley
My appointment expires: 9/11/2014



SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

2013 4460

NOV 01 2013

Amount Paid \$ 45,795.50
Skagit Co. Treasurer
By kk Deputy

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 70



201411170136

Skagit County Auditor

\$78.00

11/17/2014 Page

1 of

7 1:53PM

WHEN RECORDED, RETURN TO:

Mr. Stanley V. Piha
Stanley Real Estate
2101 4th Avenue, Suite 310
Seattle, WA 98121

**SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX**

2014 4328
NOV 17 2014

LAND TITLE OF SKAGIT COUNTY

Amount Paid \$0
Skagit Co. Treasurer
By *Mdm* Deputy

QUIT CLAIM DEED
(Boundary Line Adjustment)

148727-0

Grantor: Eleanor Place, LLC
Grantee: Eleanor Place, LLC
Assessor's Property
Tax Parcel Nos: P124763 and P124764

WHEREAS, Grantor Eleanor Place, LLC, a Washington limited liability company ("Grantor") is the owner of two parcels of real property located in Mt. Vernon, Skagit County, Washington, commonly described as Lots 11 and 12 and more fully described below:

Lot 11, "Plat of REO Family Properties, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington; Skagit County Tax Parcel No. P124763

(hereinafter "Parcel A").

Lot 12, "Plat of REO Family Properties, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington; Skagit County Tax Parcel No. P124764

(hereinafter "Parcel B"); and,

WHEREAS, Parcels A and B are adjoining properties, and Declarant wishes to effect a boundary line adjustment between them, conveying the following portion of Parcel A to Parcel B:

The south 100.00 feet of the west 180.00 feet of Lot 11, "Plat of REO Family Properties, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington.

; and,

WHEREAS, the amended legal descriptions of Parcels A and B will, upon completion of the boundary lot line adjustment, be as follows with respect to Parcel A:

Lot 11, "Plat of REO Family Properties, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington, except the south 100.00 feet of the west 180.00 feet of said Lot 11.

Skagit County Tax Parcel No. P124763

and as follows with respect to Parcel B:

Lot 12, "Plat of REO Family Properties, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington, together with the south 100.00 feet of the west 180.00 feet of Lot 11 of said "Plat of REO Family Properties, LLC."

Skagit County Tax Parcel No. P124764

; and,

WHEREAS, the locations of the aforementioned Parcels A and B before the boundary line adjustment are shown on the map set forth on the attached Exhibit 1, which is incorporated herein by this reference; and,

Whereas, the locations of the aforementioned Parcels A and B after the boundary line adjustment are shown on the map set forth on the attached Exhibit 2, which is incorporated herein by this reference.

NOW, THEREFORE, for and in consideration of the said boundary line adjustment, and for no monetary consideration, Grantor Eleanor Place, LLC does hereby convey and quitclaim from Parcel A to Parcel B all interest in the real property lying and being in the County of Skagit, State of Washington, and more fully described below:

The south 100.00 feet of the west 180.00 feet of Lot 11, "Plat of REO Family Properties, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington.

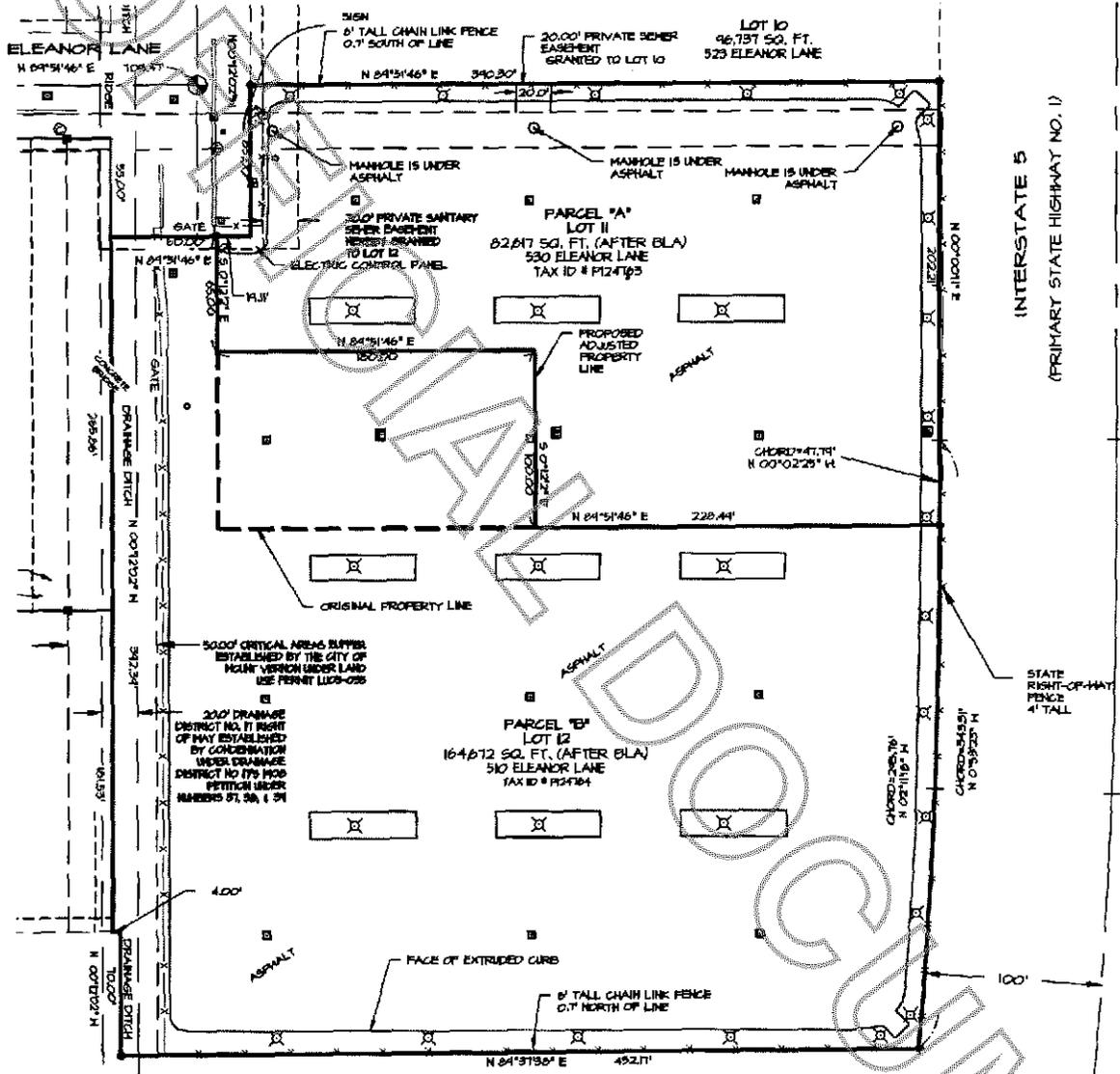
QUIT CLAIM



201411170136

Exhibit 1

CITY OF MOUNT VERNON
BOUNDARY LINE ADJUSTMENT
FILE NO.



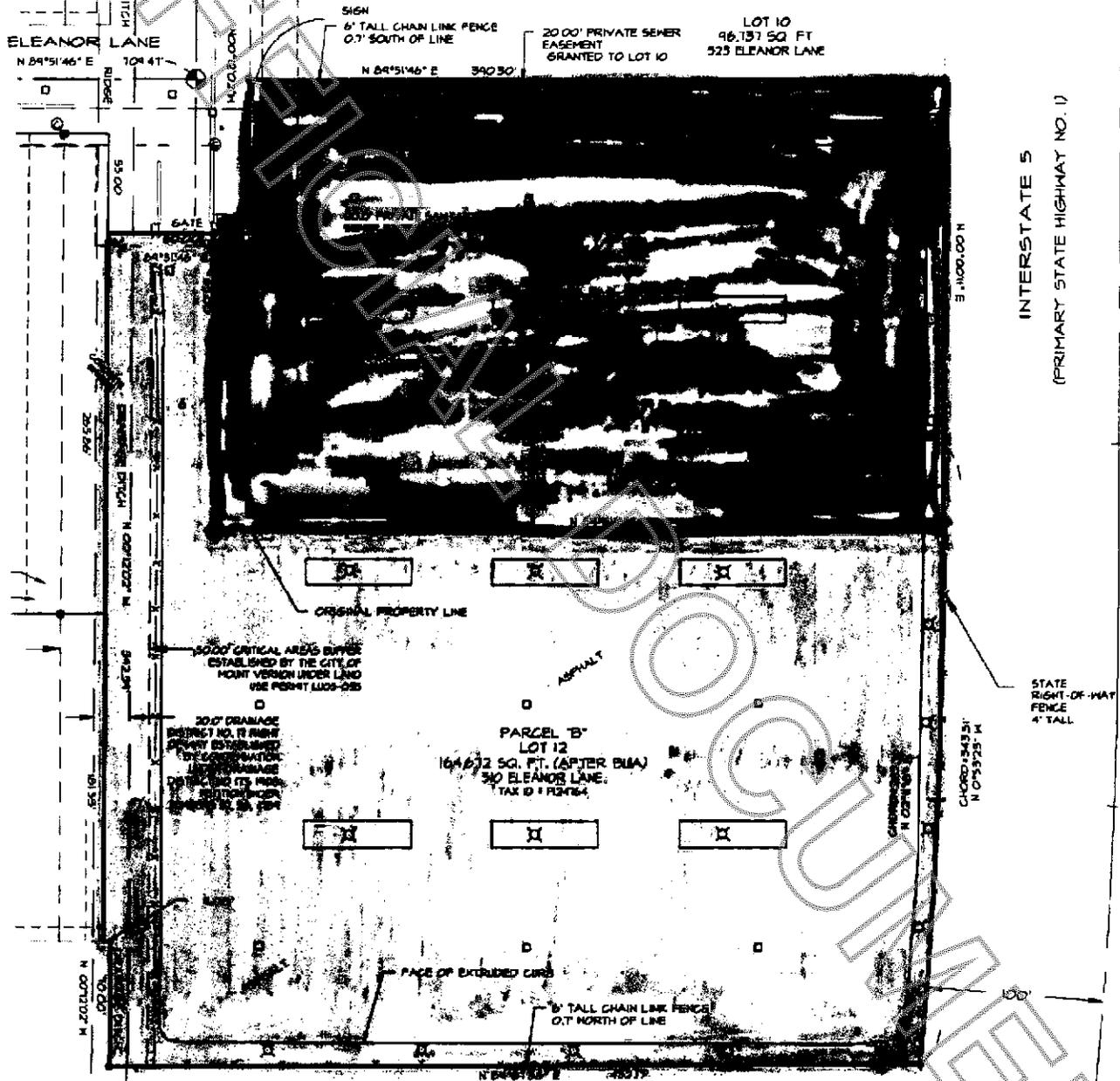
INTERSTATE 5
(PRIMARY STATE HIGHWAY NO. 1)



Skagit County Auditor
11/17/2014 Page 4 of 7 1:53PM \$78.00

BEFORE BLA

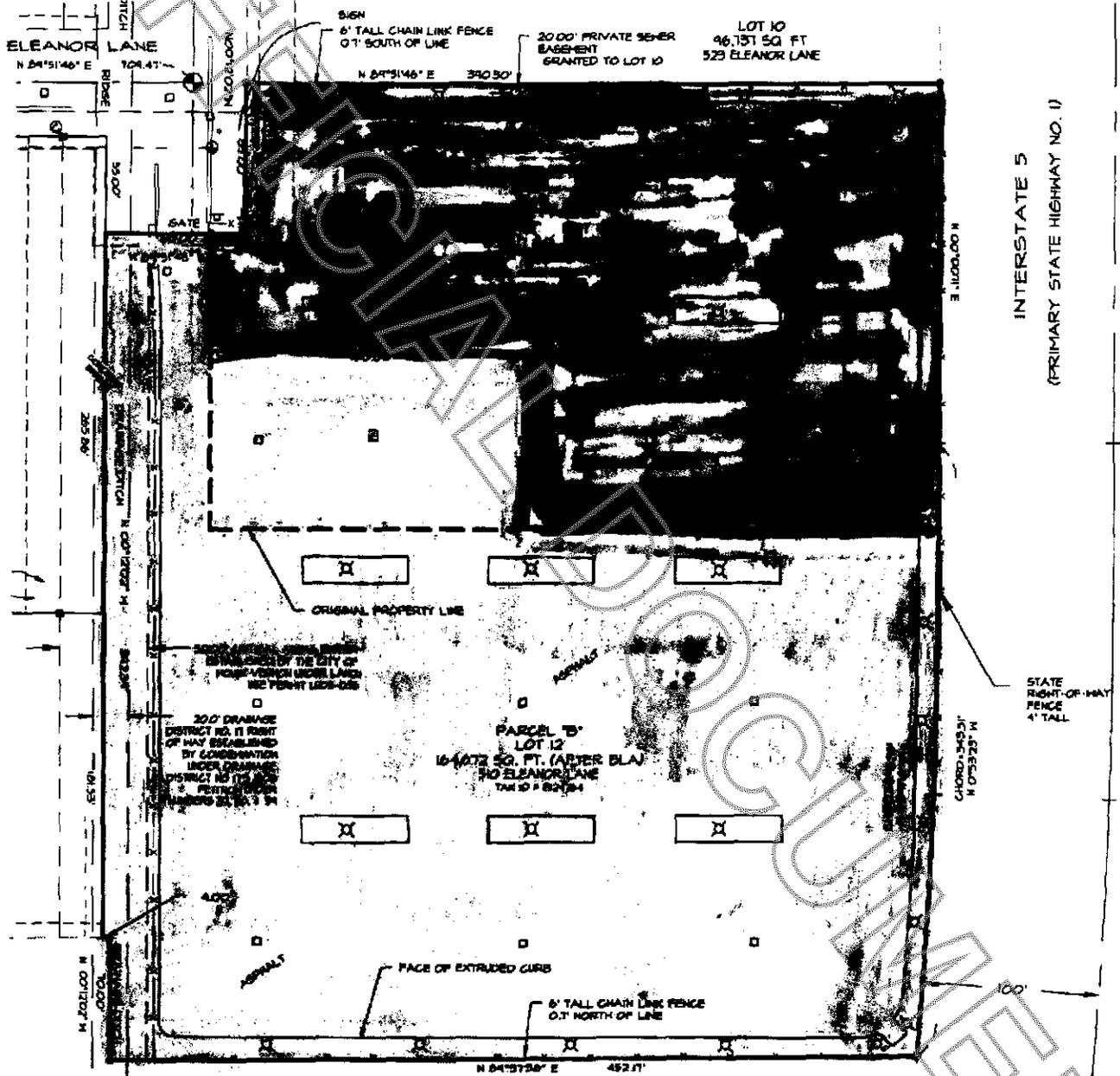
CITY OF MOUNT VERNON
BOUNDARY LINE ADJUSTMENT
FILE NO.



201411170136

AFTER BLA

CITY OF MOUNT VERNON
BOUNDARY LINE ADJUSTMENT
FILE NO.



CONSTRUCTION PLANS FOR VALLEY RV & MARINE

D 07-56 I

PROJECT CONTACTS:

OWNER
VALLEY RV & MARINE
308 FREDMAN DRIVE
MOUNT VERNON, WA 98273
PHONE: (360)338-3123
FAX: (360)338-9057
CELL: (360)381-1440
CONTACT: STAN OLSON

CIVIL ENGINEER
RAVNIK & ASSOCIATES, INC.
1033 LINDAMOOD LANE
P.O. BOX 361
BURLINGTON, WA 98233
PHONE: (360)707-2048
FAX: (360)707-2216
CONTACT: JOHN RAVNIK

CONTRACTOR
ARTHIEL CONSTRUCTION
P.O. BOX 2847
MOUNT VERNON, WA 98273
PHONE: (360)424-8848
FAX: (360)423-0206
MOB: (360)981-4848
CONTACT: JIM ARTHIEL

PUGET SOUND ENERGY
POTELLO
19901 ANDROS ROAD
BURLINGTON, WA 98233
TEL: (360)707-7546
FAX: (360)707-7818
CONTACT: MIKE BREWSTER

COMCAST
4001 SEQUOIA DRIVE
BELLINGHAM, WA 98228
TEL: (360)827-8344
FAX: (360)827-8302
CONTACT: BOB TIERNEY

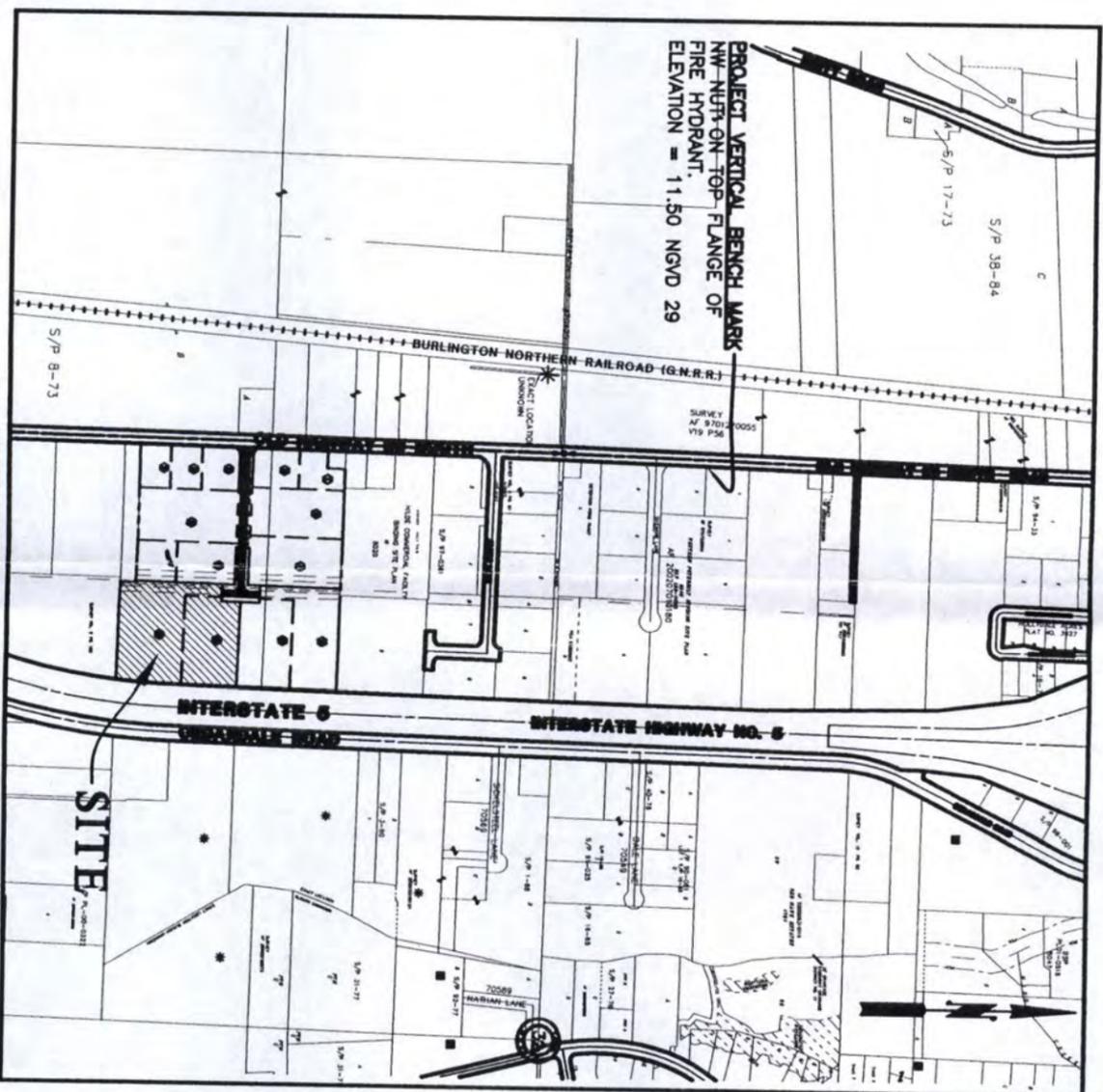
CASCADE NATURAL GAS
1520 SOUTH 2ND
MOUNT VERNON, WA 98273
TEL: (360)538-6195
FAX: (360)538-2564
CONTACT: MIKE POPPE
JOEL JOHNSTONE

WATER PURVEYOR
SKAGIT PUD #1
P.O. BOX 1436
MOUNT VERNON, WA 98273
TEL: (360)424-7104
FAX: (360)424-8784
CONTACT: DAN FELIX

UTILITY LOCATE
(800)424-5555

VERTICAL DATUM - NAVD 83
ELEVATION OF THE TOP FLANGE OF FIRE HYDRANT IS 11.50 FEET NGVD. THE PROJECT BENCHMARK ELEVATION IS 11.50 FEET NGVD. BASED ON THE TO NGVD MONUMENT '0-231 1923' ELEV. = 11.4'

UNDERGROUND UTILITY NOTE:
BASED UPON SURFACE INDICATIONS AND UNDERGROUND UTILITY LOCATE SERVICE WAS UTILIZED FOR THEIR LOCATION. THE USE OF THIS MAP FOR THEIR EXACT LOCATION IS NOT GUARANTEED. UTILITY LOCATE SERVICE AT 1-800-424-5555 48 HOURS BEFORE CONSTRUCTION.



VICINITY MAP
1"=400'

SHEET SCHEDULES:

SHEET 1 OF 8	COVER
SHEET 2 OF 8	EXISTING CONDITIONS & SITE PREPARATION
SHEET 3 OF 8	STORM DRAINAGE & GRADING PLAN
SHEET 4 OF 8	SEWER, WATER & CONDUIT PLAN
SHEET 5 OF 8	DIMENSION, LANSOLAPPING & CROSS-SECTION PLAN
SHEET 6 OF 8	DETAILS
SHEET 7 OF 8	SPECIFICATIONS
SHEET 8 OF 8	SPECIFICATIONS
SHEET 9 OF 8	SPECIFICATIONS
SHEET 10 OF 8	SPECIFICATIONS

LEGEND

---	EXISTING RIGHT OF WAY LINE	○	PROPOSED SILT FENCE
---	CENTERLINE	○	PROPOSED CLEANOUT ASSEMBLY FOR STORM OR SANITARY SEWER
---	EXISTING RIGHT OF WAY LINE	○	PROPOSED STORM DRAIN
---	EXISTING PROPERTY LINE	○	PROPOSED STORM CATCH BASIN
○	EXISTING PROPERTY CORNER	○	PROPOSED SANITARY SEWER
○	EXISTING STORM DRAIN	○	PROPOSED BIOTRITRATION SWALE
□	EXISTING STORM CATCH BASIN	○	PROPOSED POWER, CABLE TELEPHONE, GAS LINE, & FIBER OPTIC
SS	EXISTING SANITARY SEWER	○	PROPOSED WATERLINE
○	EXISTING SANITARY MANHOLE	1"-W	PROPOSED 1" DIAMETER WATERLINE
W	EXISTING WATERLINE	2"-W	PROPOSED 2" DIAMETER WATERLINE
W	EXISTING WATER VALVE	⊗	PROPOSED WATER VALVE
⊗	EXISTING FIRE HYDRANT	⊗	PROPOSED FIRE HYDRANT
P-C-T	EXISTING POWER, CABLE TELEPHONE, GAS LINE	⊗	PROPOSED WATER METER
○-P	EXISTING POWER, CABLE	⊗	PROPOSED CONCRETE
○-P	EXISTING UTILITY POLE	⊗	PROPOSED ASPHALT
G	EXISTING GAS LINE	⊗	PROPOSED CRUSHED ROCK
FO	EXISTING FIBER OPTIC	⊗	PROPOSED LIGHT POLE
28	EXISTING GROUND CONTOUR LINE	⊗	PROPOSED HOSE BIB
---	EXISTING EDGE OF ASPHALT	⊗	PROPOSED ASPH. SURFACE ELEV.
---	EXISTING ASPHALT		
---	EXISTING GRAVEL		
---	EXISTING SWALE		
---	EXISTING ROLLED CURB		
---	EXISTING TO BE REMOVED		

PROJECT AREA
LOTS 11 & 12 WITHIN THE PLAT OF RED FAMILY PROPERTIES, LLC, AS RECORDED UNDER SKAGIT COUNTY AUDITOR'S FILE NUMBER 200607070069, RESPECTIVELY COMPRISING PARCEL NUMBERS 124763 AND 124764 AT 530 ELEANOR LANE AND 510 ELEANOR LANE, MOUNT VERNON WASHINGTON. THE MAJORITY OF SITE DEVELOPMENT REPRESENTED HEREIN IS LOCATED ON LOT 12.

RECEIVED
CITY OF MOUNT VERNON
DEC 28 2007
COMMUNITY DEPARTMENT

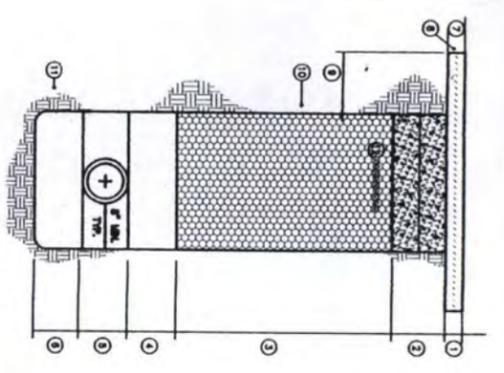
PLAN STATUS:

SCALE: AS NOTED	SHEET TITLE:	DRAWING NO. 070308SITE.dwg
DRAWN BY: D. REASON	PROPOSED BUILDING & SITE REDEVELOPMENT FOR VALLEY RV & MARINE	JOB NO. 07030
CHECKED BY: J. RAVNIK	DATE: 12/18/07	SHEET NO. 1 OF 10

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555

Ravnik & Associates, Inc.
CIVIL ENGINEERING & LAND-USE PLANNING
1633 LINDAMOOD LANE/P.O. BOX 361
BURLINGTON, WA 98233
PH: (360) 707-2048 FAX: (360) 707-2216

SHEET DESCRIPTION:
COVER SHEET

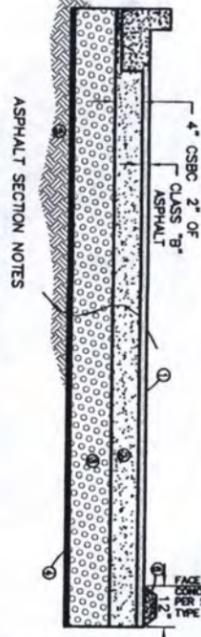


TRENCH DETAIL

UTILITY TRENCH DETAIL WITHIN THE PAVING AND SHOULDER AREAS

NO SCALE

- GENERAL NOTES**
- (1) CLASS B ASPHALT (SEE SECTION FOR DETAIL)
 - (2) 1" MINIMUM OR CAST IRON POINT ON EQUAL COORDINATE TO THE CENTERLINE OF THE TRENCH
 - (3) 2" MINIMUM OR CAST IRON POINT ON EQUAL COORDINATE TO THE CENTERLINE OF THE TRENCH
 - (4) 4" DEPTH OF BACK SHOT ON PEA GRAVEL TO BE HAND COMPACTED ABOVE CURB OR PAVEMENT
 - (5) 4" DEPTH OF BACK SHOT ON PEA GRAVEL TO BE HAND COMPACTED
 - (6) 4" DEPTH OF BACK SHOT ON PEA GRAVEL TO BE HAND COMPACTED
 - (7) 4" DEPTH OF BACK SHOT ON PEA GRAVEL TO BE HAND COMPACTED
 - (8) 4" DEPTH OF BACK SHOT ON PEA GRAVEL TO BE HAND COMPACTED
 - (9) 4" DEPTH OF BACK SHOT ON PEA GRAVEL TO BE HAND COMPACTED
 - (10) 4" DEPTH OF BACK SHOT ON PEA GRAVEL TO BE HAND COMPACTED
 - (11) 4" DEPTH OF BACK SHOT ON PEA GRAVEL TO BE HAND COMPACTED

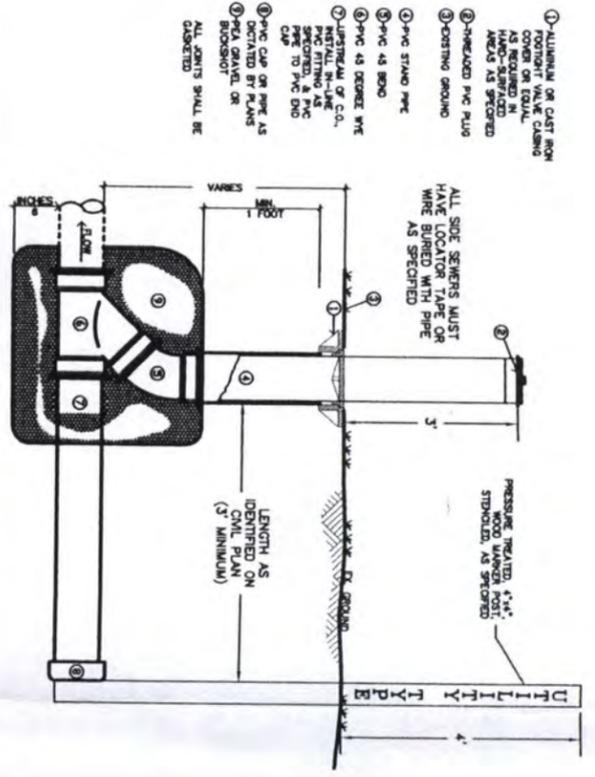


ASPHALT SECTION NOTES

1. ALL ASPHALT SHALL BE CLASS B CONFORMING TO SECTION 5-04 OF THE 2008 STANDARD SPECIFICATIONS FOR ASPHALT CONCRETE AND ASPHALT SURFACING MIXTURES.
2. GRAVEL BENEATH SECTION 5-04 OF THE 2008 STANDARD SPECIFICATIONS SHALL BE CLASS B CONFORMING TO SECTION 5-04 OF THE 2008 STANDARD SPECIFICATIONS FOR ASPHALT CONCRETE AND ASPHALT SURFACING MIXTURES.
3. GRAVEL BENEATH SECTION 5-04 OF THE 2008 STANDARD SPECIFICATIONS SHALL BE CLASS B CONFORMING TO SECTION 5-04 OF THE 2008 STANDARD SPECIFICATIONS FOR ASPHALT CONCRETE AND ASPHALT SURFACING MIXTURES.
4. GRAVEL BENEATH SECTION 5-04 OF THE 2008 STANDARD SPECIFICATIONS SHALL BE CLASS B CONFORMING TO SECTION 5-04 OF THE 2008 STANDARD SPECIFICATIONS FOR ASPHALT CONCRETE AND ASPHALT SURFACING MIXTURES.

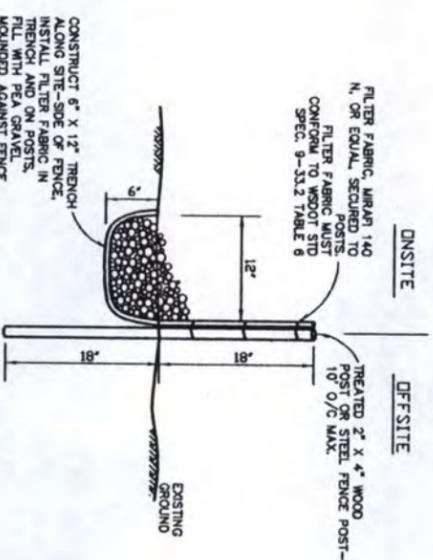
ASPHALT CROSS SECTION DETAIL

NOT TO SCALE



CLEAN OUT DETAIL

NO SCALE

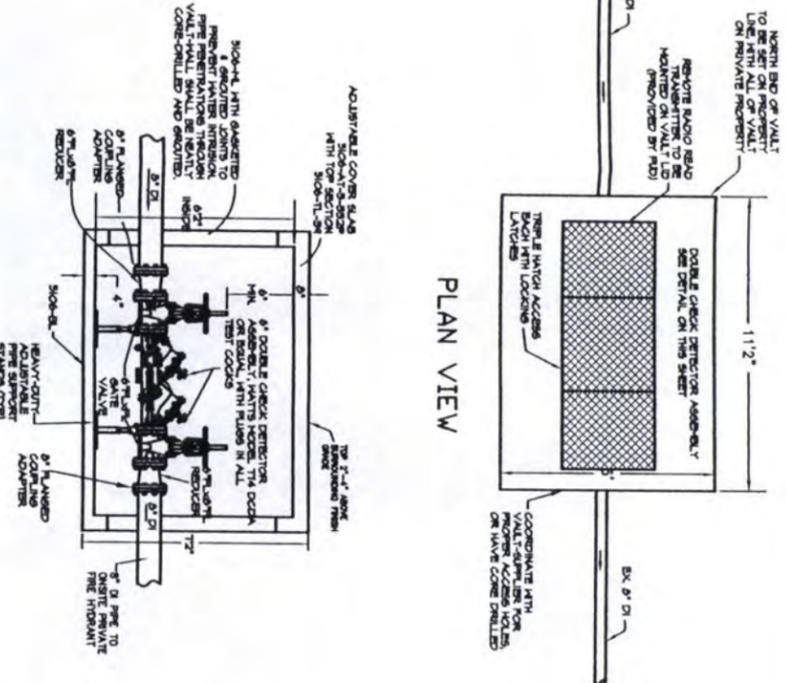


SILT FENCE DETAIL

NOT TO SCALE

PLANS AND TRENCHING DETAILS ARE NOT REQUIRED WITHIN THE DISTRICT OF COLUMBIA. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF COLUMBIA DEPARTMENT OF PUBLIC WORKS AND ENGINEERING. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF COLUMBIA DEPARTMENT OF PUBLIC WORKS AND ENGINEERING.

EXISTING 6\"/>



EXISTING 6\"/>

NO SCALE

CALL TWO BUSINESS DAYS BEFORE YOU DIG 1-800-424-5555

PLAN STATUS:

SCALE AS NOTED	SHEET TITLE: PROPOSED BUILDING & SITE REDEVELOPMENT FOR VALLEY RV & MARINE	DRAWING NO. 0703000E1.DWG
DRAWN BY: D. RAVNIK		JOB NO. 070300
CHECKED BY: J. RAVNIK		SHEET NO. 6 OF 10
DATE 12/18/07		

Ravnik & Associates, Inc.
 CIVIL ENGINEERING & LAND-USE PLANNING
 1633 LINDAWOOD LANE/PO. BOX 361
 BURLINGTON, VA 22215
 PH: (540) 767-2848 FAX: (540) 767-2216

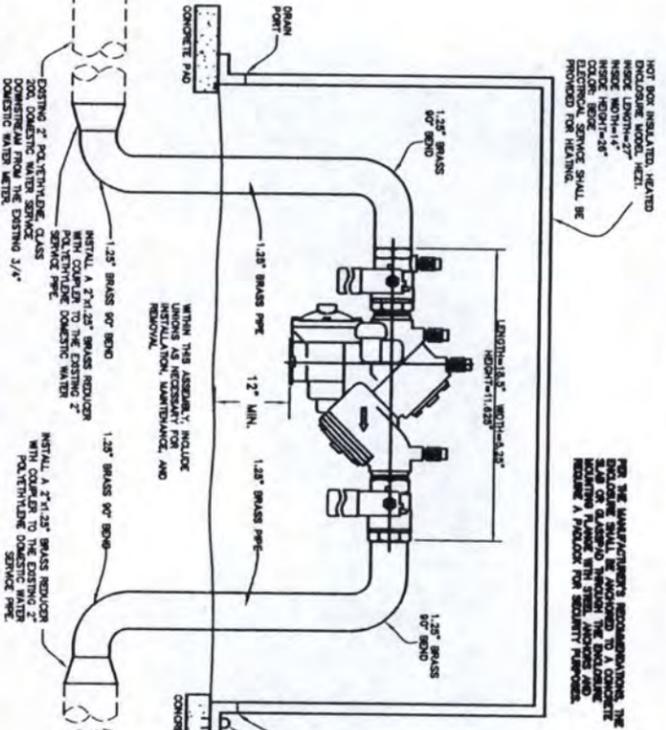
DETAILS

EV. NO.	REVISION	DATE	BY	APPROVED

DOMESTIC WATER METER SIZING

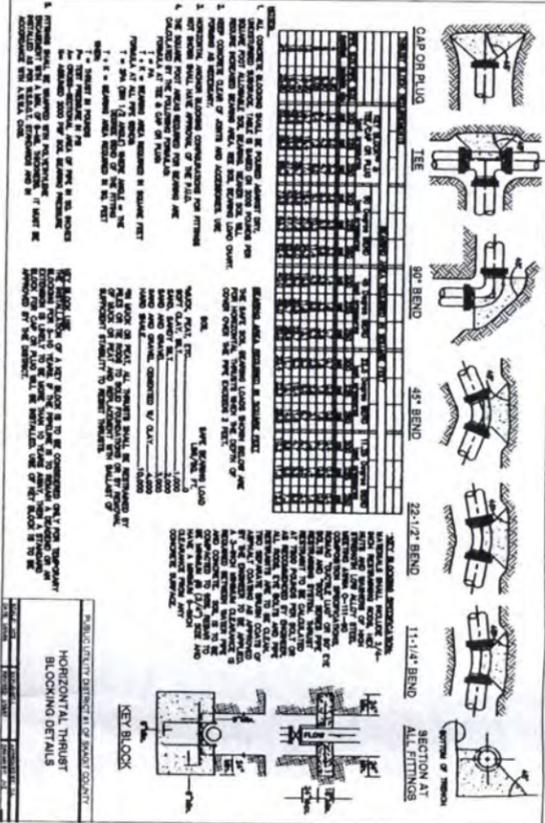
- NEEDS**
- TOILET (WITH GRAVITY TANK) - 4 x 2.5 FIXTURE UNITS EACH = 10 FU
 - BATHROOM SINK - 4 x 1 FIXTURE UNITS EACH = 4 FU
 - KITCHEN SINK - 1 x 1.5 FIXTURE UNITS EACH = 1.5 FU
 - SERVICE SINK - 1 x 1.5 FIXTURE UNITS EACH = 1.5 FU
 - BAY SINK - 1 x 1.0 FIXTURE UNITS EACH = 1.0 FU
 - SHOWER - 1 x 2.0 FIXTURE UNITS EACH = 2.0 FU
 - HOSE BIBBS - 7 (1 x 2.5, 6 x 1.0) FIXTURE UNITS EACH = 8.5 FU
 - TOTAL QUANTITY OF FIXTURE UNITS = 28.5 FU**

THE SUBJECT PROPERTY IS ALREADY SERVED BY AN EXISTING 3/4" WATER METER WITH A 1" DIAMETER PIPE, WHICH CAN PROVIDE UP TO 39 FIXTURE UNITS.

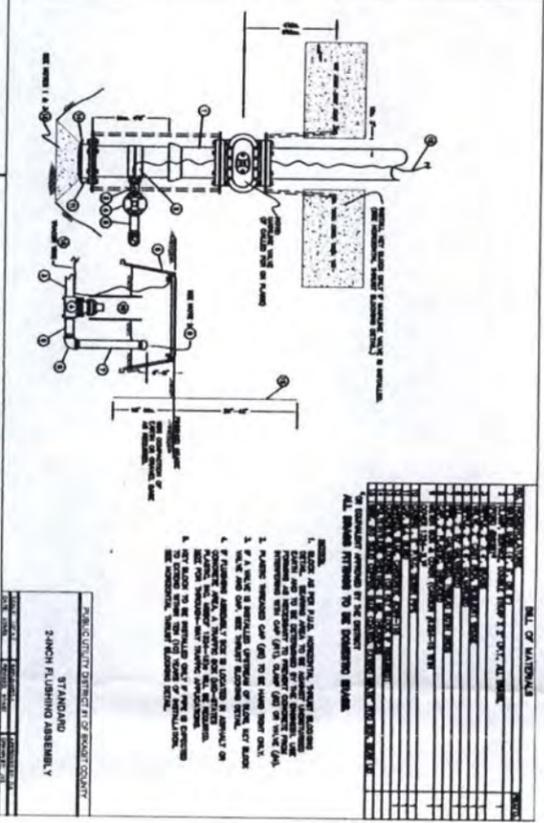


WATTS REDUCED PRESSURE BACKFLOW ASSEMBLY, RPBA L25, MODEL #909 MIOT

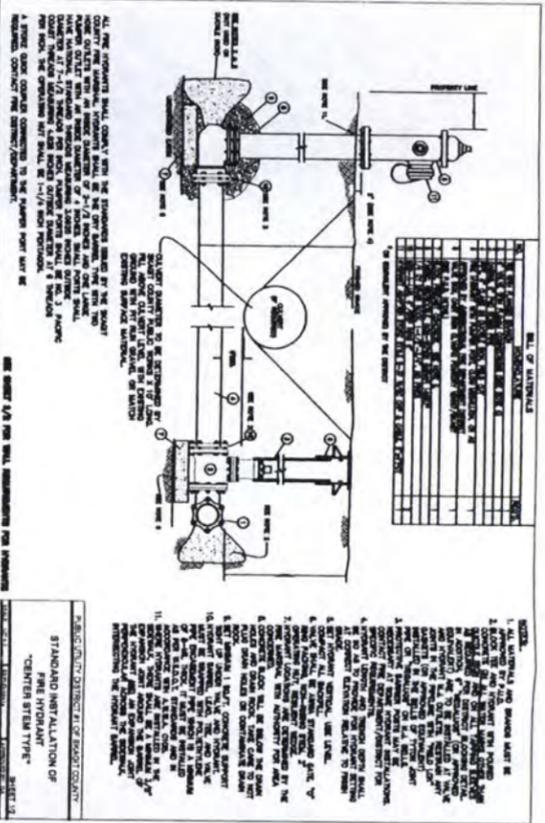
TO BE INSTALLED ON THE EXISTING DOMESTIC WATERLINE IMMEDIATELY DOWNSTREAM OF THE EXISTING 3/4\"/>



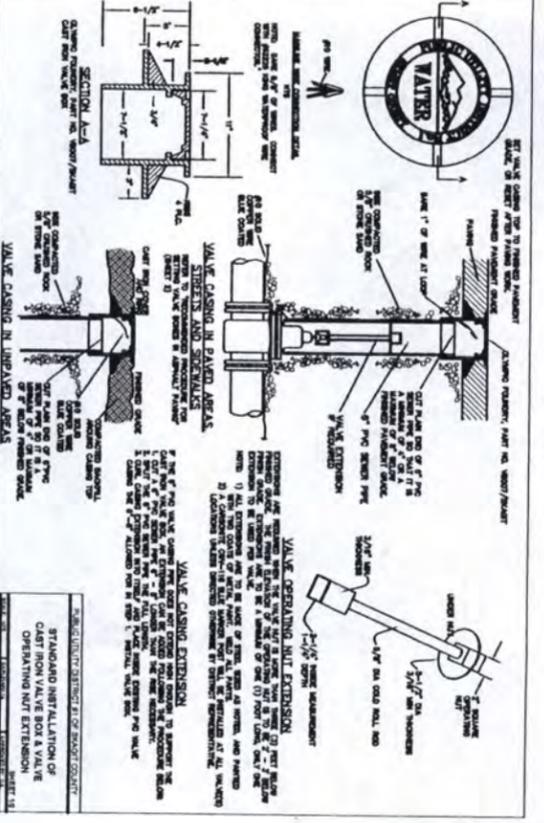
HORIZONTAL THRUST



2\"/>



FIRE HYDRANT



GATE VALVE

CALL TWO BUSINESS DAYS BEFORE YOU DIG 1-800-424-5555

PLAN STATUS:

SCALE: AS NOTED	SHEET TITLE: PROPOSED BUILDING & SITE REDEVELOPMENT FOR VALLEY RV & MARINE	DRAWING NO. 070300E1DWG
DRAWN BY: D. REHSEN		JOB NO. 07030
CHECKED BY: J. RAVNIK		SHEET NO. 7 OF 10
DATE: 12/17/07		

Ravnik & Associates, Inc.
 CIVIL ENGINEERING & LAND-USE PLANNING
 1633 LINDAWOOD LANE, RD. BOX 361
 DUBLINGTON, VA 22029
 PH: (800) 707-2948 FAX: (800) 707-2216

DETAILS

REV. NO.	REVISION	DATE	BY	APPROVED

DRIVING NO. 070300E1DWG
 JOB NO. 07030
 SHEET NO. 7 OF 10

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 71



201411170136

Skagit County Auditor

\$78.00

11/17/2014 Page

1 of

7 1:53PM

WHEN RECORDED, RETURN TO:

Mr. Stanley V. Piha
Stanley Real Estate
2101 4th Avenue, Suite 310
Seattle, WA 98121

**SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX**

2014 4328
NOV 17 2014

LAND TITLE OF SKAGIT COUNTY

Amount Paid \$0
Skagit Co. Treasurer
By *Mdm* Deputy

QUIT CLAIM DEED
(Boundary Line Adjustment)

148727-0

Grantor: Eleanor Place, LLC
Grantee: Eleanor Place, LLC
Assessor's Property
Tax Parcel Nos: P124763 and P124764

WHEREAS, Grantor Eleanor Place, LLC, a Washington limited liability company ("Grantor") is the owner of two parcels of real property located in Mt. Vernon, Skagit County, Washington, commonly described as Lots 11 and 12 and more fully described below:

Lot 11, "Plat of REO Family Properties, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington; Skagit County Tax Parcel No. P124763

(hereinafter "Parcel A").

Lot 12, "Plat of REO Family Properties, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington; Skagit County Tax Parcel No. P124764

(hereinafter "Parcel B"); and,

WHEREAS, Parcels A and B are adjoining properties, and Declarant wishes to effect a boundary line adjustment between them, conveying the following portion of Parcel A to Parcel B:

The south 100.00 feet of the west 180.00 feet of Lot 11, "Plat of REO Family Properties, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington.

; and,

WHEREAS, the amended legal descriptions of Parcels A and B will, upon completion of the boundary lot line adjustment, be as follows with respect to Parcel A:

Lot 11, "Plat of REO Family Properties, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington, except the south 100.00 feet of the west 180.00 feet of said Lot 11.

Skagit County Tax Parcel No. P124763

and as follows with respect to Parcel B:

Lot 12, "Plat of REO Family Properties, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington, together with the south 100.00 feet of the west 180.00 feet of Lot 11 of said "Plat of REO Family Properties, LLC."

Skagit County Tax Parcel No. P124764

; and,

WHEREAS, the locations of the aforementioned Parcels A and B before the boundary line adjustment are shown on the map set forth on the attached Exhibit 1, which is incorporated herein by this reference; and,

Whereas, the locations of the aforementioned Parcels A and B after the boundary line adjustment are shown on the map set forth on the attached Exhibit 2, which is incorporated herein by this reference.

NOW, THEREFORE, for and in consideration of the said boundary line adjustment, and for no monetary consideration, Grantor Eleanor Place, LLC does hereby convey and quitclaim from Parcel A to Parcel B all interest in the real property lying and being in the County of Skagit, State of Washington, and more fully described below:

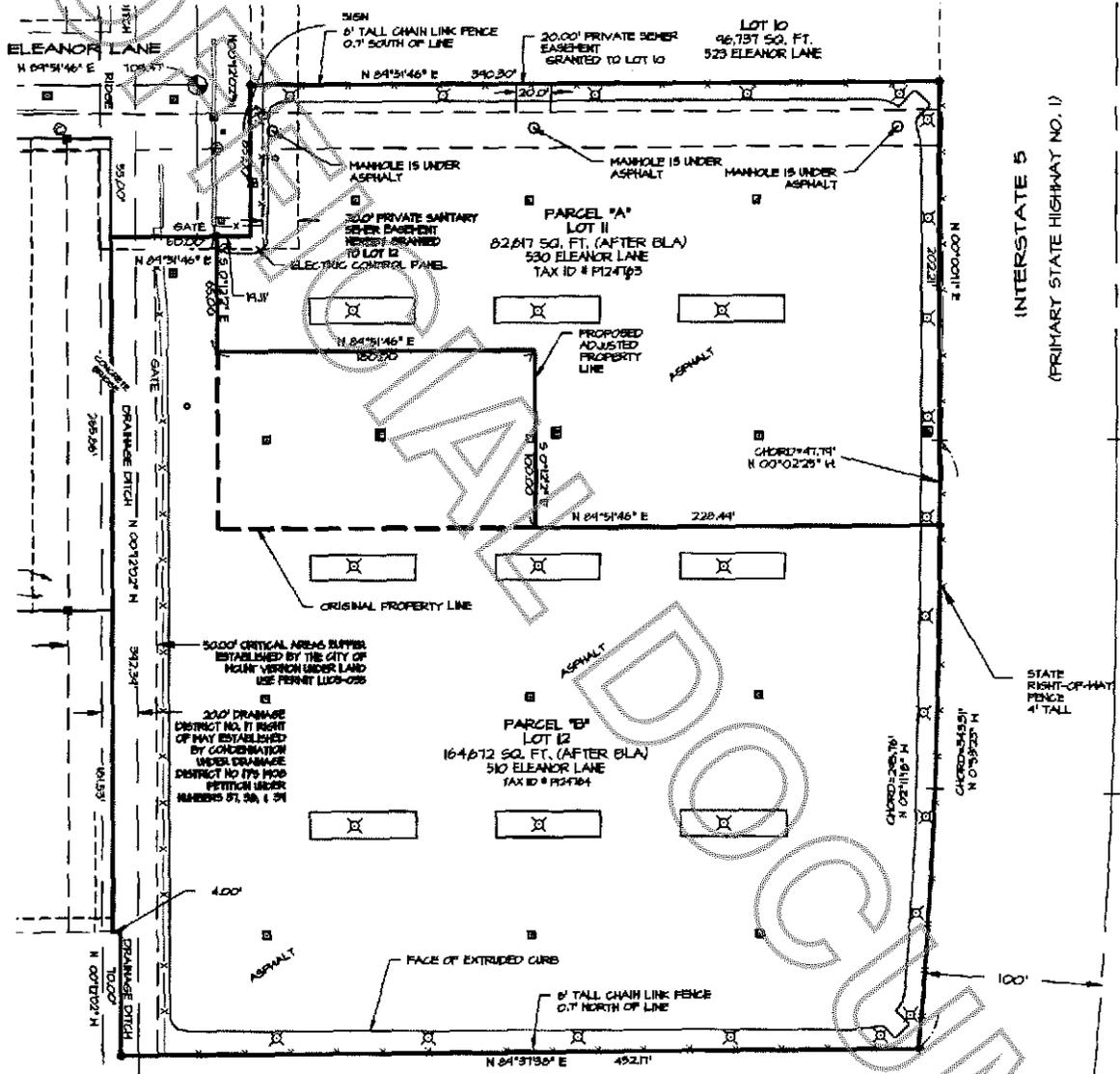
The south 100.00 feet of the west 180.00 feet of Lot 11, "Plat of REO Family Properties, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington.

QUIT CLAIM



Exhibit 1

CITY OF MOUNT VERNON
BOUNDARY LINE ADJUSTMENT
FILE NO.



Skagit County Auditor
11/17/2014 Page 4 of 7 1:53PM \$78.00

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 72



201508170146

Skagit County Auditor
8/17/2015 Page

\$78.00
1 of 7 1:40PM

After recording return to:
Phillips Burgess, PLLC
724 Columbia St. NW, Suite 320
Olympia, WA 98501

CHICAGO TITLE
620024139

STATUTORY WARRANTY DEED

Grantor(s): SUSAN NICHOLAS, as her separate estate

Grantee(s): GB MOUNT VERNON LLC, a Washington limited liability company

Abbreviated Legal Description: Lots 9 & 10 REO FAMILY PROPERTIES

Assessor's Property Tax Parcel/Account No.: P124761/4899-000-009-0000; P124762/4899-000-010-0000

Reference Numbers of Documents Assigned or Released: N/A

THE GRANTOR, SUSAN NICHOLAS, as her separate estate, for good and valuable consideration in hand paid, conveys, and warrants to GRANTEE, GB MOUNT VERNON LLC, a Washington limited liability company, the following described real estate situated in Skagit County, State of Washington, together with all after acquired title of the Grantor(s) therein:

See Attached **Exhibit A**

TOGETHER with all tenements, hereditaments and appurtenances, including easements and water rights, if any, thereto belonging or appertaining, and any reversions, remainders, rents, issues or profits thereof, SUBJECT only to the Permitted Exceptions attached hereto as **Exhibit B**.

Dated: 8/13/15

SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX
20153246
AUG 17 2015

Susan Nicholas

Amount Paid \$27,350.⁷⁵
Skagit Co. Treasurer
By mm Deputy

ACKNOWLEDGMENT

STATE OF WASHINGTON)
COUNTY OF Spokane) ss.

I certify that I know or have satisfactory evidence that Susan Nicholas is the person who appeared before me, and said person acknowledged that she signed this instrument and acknowledged it to be her free and voluntary act for the uses and purposes mentioned in this instrument.

Given under my hand and official seal this 15th day of August, 2015.



Deanna Guiles
Name: Deanna Guiles
Notary Public in and for the State of Washington
Residing at Maxville
Appointment expires: 4/4/2018

UNRECORDED DOCUMENT

EXHIBIT A

PARCEL A:

Lot 9 together with the North 82 feet of Lot 10, all in the PLAT OF REO FAMILY PROPERTIES, LLC, according to the Plat thereof recorded July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington.

Situated in Skagit County, Washington.

PARCEL B:

Lot 10, PLAT OF REO FAMILY PROPERTIES, LLC, according to the Plat thereof recorded July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington.

EXCEPT the North 82 feet thereof.

Situated in Skagit County, Washington.

EXHIBIT B

1. Relinquishment of all existing, future, or potential easements for access, light, view, and air and of all rights of ingress, egress and regress to, from, and between said premises and the highway (or highways) constructed on lands conveyed by Deed
Auditor's No.: 486030, 487101 and 487104, records of Skagit County, Washington
To: State of Washington

2. Exceptions and reservations as contained in instrument;
Recorded: January 31, 1990
Auditor's No.: 9001310018, records of Skagit County, Washington
Executed By: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
and Janice Barnes and Peggy Smith
As Follows: This conveyance is a boundary line adjustment and is not for the purpose of creating an additional building lot

3. Agreement, including the terms and conditions thereof; entered into;
By: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
Janice L. Barnes, as her separate property; and Peggy J. Smith, as her separate property
And Between: City of Mount Vernon
Recorded: November 29, 2000
Auditor's No.: 200011290057, records of Skagit County, Washington
Providing: Consent to change of grade
Affects: As delineated on plat map

4. Easement, including the terms and conditions thereof, disclosed by instrument(s);
Recorded: November 29, 2000
Auditor's No(s): 200011290058, records of Skagit County, Washington
In favor of: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
Janice L. Barnes, as her separate property; and Peggy J. Smith, as her separate property
For: A non-exclusive easement for ingress, egress and utilities - enter said reserved easement with materials, workmen, or agents to construct, maintain, replace, reconstruct and remove utilities together with all appurtenances incident thereto or necessary therewith
Affects: As delineated on plat map

5. Easement, including the terms and conditions thereof, disclosed by instrument(s),
Recorded: November 29, 2000
Auditor's No(s): 200011290059, records of Skagit County, Washington

UNNOTIFIED INSTRUMENT

In favor of: The City of Mount Vernon
For: To enter the premises with materials, workmen, or agents to construct, maintain, replace, reconstruct, and remove sanitary sewage facilities, drainage facilities and/or telecommunication facilities - cut and remove from said premises any trees and other obstructions, right of ingress and egress over, under and across - right of conveyance of said easement and privileges
Affects: As delineated on plat map

6. Exceptions and reservations as contained in instrument;
Recorded: November 29, 2000
Auditor's No.: 200011290059, records of Skagit County, Washington
Executed By: Richard H. Smith and Patricia Ann Smith, husband and wife; Robert E. Burkland and Pamela K. Burkland, husband and wife; Janice L. Barnes, as her separate property; and Peggy J. Smith, as her separate property
As Follows: Reserved to the grantors, their heirs and assigns, the right and privilege to use the above described land of the Grantor, at any time, in any manner and for any purpose not inconsistent with the full use and enjoyment of the easement by the Grantee, its successors and assigns, of the rights and privilege therein granted. The Grantee is responsible for operating and maintaining the above-described works of improvement.

Grantors shall refrain from construction or placing any buildings or fencing upon the above-described premises. The City shall under no circumstances be held responsible for the restoration of any buildings upon the above-described premises, if said improvements are in any way disturbed during the exercise of the rights and privileges granted herein provided that the city will repair any paving materials damaged by the Grantee or its agents pursuant to the Grantors exercise of its rights under this easement.

7. Easement, including the terms and conditions thereof, disclosed by instrument(s);
Recorded: March 9, 2004
Auditor's No(s): 200403090081, records of Skagit County, Washington
In favor of: The City of Mount Vernon
For: To enter the premises herein described with materials, workmen, or agents to construct, maintain, replace, reconstruct and remove sanitary sewage facilities, drainage facilities - cut and remove from said premises any trees and other obstructions - right of ingress and egress over, under and across - right of conveyance of said easement and privileges.

8. Exceptions and reservations as contained in instrument;
Recorded: March 9, 2004
Auditor's No.: 200403090081, records of Skagit County, Washington
Executed By: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
Janice L. Barnes, as her separate property and Peggy J. Smith, as
her separate property

As Follows: Reserved to the grantors, their heirs and assigns, the right and privilege to use the above described land of the Grantor, at any time, in any manner and for any purpose not inconsistent with the full use and enjoyment of the easement by the Grantee, its successors and assigns, of the rights and privileges therein granted. The Grantee is responsible for operating and maintaining the above-described works of improvement.

Grantors shall refrain from construction or placing any buildings or fencing upon the above-described premises. The City shall under no circumstances be held responsible for the restoration of any buildings upon the above-described premises, if said improvements are in any way disturbed during the exercise of the rights and privileges granted herein provided that the City will repair any paving materials damaged by the Grantee or its agents pursuant to the Grantors exercise of its rights under this easement.

9. Easement, including the terms and conditions thereof, granted by instrument;
Recorded: October 24, 2005
Auditor's No.: 200510240218, records of Skagit County, Washington
In favor of: Puget Sound Power & Light Company
For: Underground electric system together with necessary appurtenances
Affects: A strip of land 10 feet in width along East boundary line
10. Covenants, conditions, and restrictions contained in declaration(s) of restriction, but omitting any covenant or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by law;
Recorded: July 7, 2006
Auditor's No(s): 200607070068, records of Skagit County, Washington

11. Covenants, conditions, restrictions, recitals, reservations, easements, easement provisions, dedications, building setback lines, notes, statements, and other matters, if any, but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is

permitted by applicable law, as set forth on PLAT OF REO FAMILY PROPERTIES
LLC:

Recording No: 200607070069

12. Boundary Line Adjustment Quit Claim Deed and the terms and conditions thereof:

Recording Date: April 29, 2009

Recording No: 200904280132

13. Covenants, conditions, restrictions, recitals, reservations, easements, easement provisions, dedications, building setback lines, notes, statements, and other matters, if any, but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth on Boundary Line Adjustment Survey:

Recording No: 200904280131

14. Real estate taxes and special assessments, not yet due and/or payable.

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 73



201508170146

Skagit County Auditor
8/17/2015 Page

\$78.00
1 of 7 1:40PM

After recording return to:
Phillips Burgess, PLLC
724 Columbia St. NW, Suite 320
Olympia, WA 98501

CHICAGO TITLE
620024139

STATUTORY WARRANTY DEED

Grantor(s): SUSAN NICHOLAS, as her separate estate

Grantee(s): GB MOUNT VERNON LLC, a Washington limited liability company

Abbreviated Legal Description: Lots 9 & 10 REO FAMILY PROPERTIES

Assessor's Property Tax Parcel/Account No.: P124761/4899-000-009-0000; P124762/4899-000-010-0000

Reference Numbers of Documents Assigned or Released: N/A

THE GRANTOR, SUSAN NICHOLAS, as her separate estate, for good and valuable consideration in hand paid, conveys, and warrants to GRANTEE, GB MOUNT VERNON LLC, a Washington limited liability company, the following described real estate situated in Skagit County, State of Washington, together with all after acquired title of the Grantor(s) therein:

See Attached **Exhibit A**

TOGETHER with all tenements, hereditaments and appurtenances, including easements and water rights, if any, thereto belonging or appertaining, and any reversions, remainders, rents, issues or profits thereof, SUBJECT only to the Permitted Exceptions attached hereto as **Exhibit B**.

Dated: 8/13/15

SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX
20153246
AUG 17 2015

Susan Nicholas

Amount Paid \$27,350.⁷⁵
Skagit Co. Treasurer
By mm Deputy

ACKNOWLEDGMENT

STATE OF WASHINGTON)
COUNTY OF Spokane) ss.

I certify that I know or have satisfactory evidence that Susan Nicholas is the person who appeared before me, and said person acknowledged that she signed this instrument and acknowledged it to be her free and voluntary act for the uses and purposes mentioned in this instrument.

Given under my hand and official seal this 15th day of August, 2015.



Deanna Guiles
Name: Deanna Guiles
Notary Public in and for the State of Washington
Residing at Maxville
Appointment expires: 4/4/2018

UNRECORDED DOCUMENT

EXHIBIT A

PARCEL A:

Lot 9 together with the North 82 feet of Lot 10, all in the PLAT OF REO FAMILY PROPERTIES, LLC, according to the Plat thereof recorded July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington.

Situated in Skagit County, Washington.

PARCEL B:

Lot 10, PLAT OF REO FAMILY PROPERTIES, LLC, according to the Plat thereof recorded July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington.

EXCEPT the North 82 feet thereof.

Situated in Skagit County, Washington.

EXHIBIT B

1. Relinquishment of all existing, future, or potential easements for access, light, view, and air and of all rights of ingress, egress and regress to, from, and between said premises and the highway (or highways) constructed on lands conveyed by Deed
Auditor's No.: 486030, 487101 and 487104, records of Skagit County, Washington
To: State of Washington
2. Exceptions and reservations as contained in instrument;
Recorded: January 31, 1990
Auditor's No.: 9001310018, records of Skagit County, Washington
Executed By: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
and Janice Barnes and Peggy Smith
As Follows: This conveyance is a boundary line adjustment and is not for the purpose of creating an additional building lot
3. Agreement, including the terms and conditions thereof; entered into;
By: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
Janice L. Barnes, as her separate property; and Peggy J. Smith, as her separate property
And Between: City of Mount Vernon
Recorded: November 29, 2000
Auditor's No.: 200011290057, records of Skagit County, Washington
Providing: Consent to change of grade
Affects: As delineated on plat map
4. Easement, including the terms and conditions thereof, disclosed by instrument(s);
Recorded: November 29, 2000
Auditor's No(s): 200011290058, records of Skagit County, Washington
In favor of: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
Janice L. Barnes, as her separate property; and Peggy J. Smith, as her separate property
For: A non-exclusive easement for ingress, egress and utilities - enter said reserved easement with materials, workmen, or agents to construct, maintain, replace, reconstruct and remove utilities together with all appurtenances incident thereto or necessary therewith
Affects: As delineated on plat map
5. Easement, including the terms and conditions thereof, disclosed by instrument(s),
Recorded: November 29, 2000
Auditor's No(s): 200011290059, records of Skagit County, Washington

UNRECORDED INSTRUMENT

In favor of: The City of Mount Vernon
For: To enter the premises with materials, workmen, or agents to construct, maintain, replace, reconstruct, and remove sanitary sewage facilities, drainage facilities and/or telecommunication facilities - cut and remove from said premises any trees and other obstructions, right of ingress and egress over, under and across - right of conveyance of said easement and privileges
Affects: As delineated on plat map

6. Exceptions and reservations as contained in instrument;
Recorded: November 29, 2000
Auditor's No.: 200011290059, records of Skagit County, Washington
Executed By: Richard H. Smith and Patricia Ann Smith, husband and wife; Robert E. Burkland and Pamela K. Burkland, husband and wife; Janice L. Barnes, as her separate property; and Peggy J. Smith, as her separate property
As Follows: Reserved to the grantors, their heirs and assigns, the right and privilege to use the above described land of the Grantor, at any time, in any manner and for any purpose not inconsistent with the full use and enjoyment of the easement by the Grantee, its successors and assigns, of the rights and privilege therein granted. The Grantee is responsible for operating and maintaining the above-described works of improvement.

Grantors shall refrain from construction or placing any buildings or fencing upon the above-described premises. The City shall under no circumstances be held responsible for the restoration of any buildings upon the above-described premises, if said improvements are in any way disturbed during the exercise of the rights and privileges granted herein provided that the city will repair any paving materials damaged by the Grantee or it's agents pursuant to the Grantors exercise of its rights under this easement.

7. Easement, including the terms and conditions thereof, disclosed by instrument(s);
Recorded: March 9, 2004
Auditor's No(s): 200403090081, records of Skagit County, Washington
In favor of: The City of Mount Vernon
For: To enter the premises herein described with materials, workmen, or agents to construct, maintain, replace, reconstruct and remove sanitary sewage facilities, drainage facilities - cut and remove from said premises any trees and other obstructions - right of ingress and egress over, under and across - right of conveyance of said easement and privileges.

8. Exceptions and reservations as contained in instrument;
Recorded: March 9, 2004
Auditor's No.: 200403090081, records of Skagit County, Washington
Executed By: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
Janice L. Barnes, as her separate property and Peggy J. Smith, as
her separate property

As Follows: Reserved to the grantors, their heirs and assigns, the right and privilege to use the above described land of the Grantor, at any time, in any manner and for any purpose not inconsistent with the full use and enjoyment of the easement by the Grantee, its successors and assigns, of the rights and privileges therein granted. The Grantee is responsible for operating and maintaining the above-described works of improvement.

Grantors shall refrain from construction or placing any buildings or fencing upon the above-described premises. The City shall under no circumstances be held responsible for the restoration of any buildings upon the above-described premises, if said improvements are in any way disturbed during the exercise of the rights and privileges granted herein provided that the City will repair any paving materials damaged by the Grantee or its agents pursuant to the Grantors exercise of its rights under this easement.

9. Easement, including the terms and conditions thereof, granted by instrument;
Recorded: October 24, 2005
Auditor's No.: 200510240218, records of Skagit County, Washington
In favor of: Puget Sound Power & Light Company
For: Underground electric system together with necessary appurtenances
Affects: A strip of land 10 feet in width along East boundary line
10. Covenants, conditions, and restrictions contained in declaration(s) of restriction, but omitting any covenant or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by law;
Recorded: July 7, 2006
Auditor's No(s): 200607070068, records of Skagit County, Washington

11. Covenants, conditions, restrictions, recitals, reservations, easements, easement provisions, dedications, building setback lines, notes, statements, and other matters, if any, but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is

permitted by applicable law, as set forth on PLAT OF REO FAMILY PROPERTIES
LLC:

Recording No: 200607070069

12. Boundary Line Adjustment Quit Claim Deed and the terms and conditions thereof:

Recording Date: April 29, 2009

Recording No: 200904280132

13. Covenants, conditions, restrictions, recitals, reservations, easements, easement provisions, dedications, building setback lines, notes, statements, and other matters, if any, but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth on Boundary Line Adjustment Survey:

Recording No: 200904280131

14. Real estate taxes and special assessments, not yet due and/or payable.

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 74

When recorded return to:

Eleanor Place, LLC
23051 Military Road South
Kent, WA 98032



201311010049

Skagit County Auditor \$72.00
11/1/2013 Page 1 of 1 11:58AM

Filed for Record at Request of
Land Title and Escrow
Escrow Number: 147299-OE

Grantor: Reo Family Properties LLC, a Washington limited liability company
Grantee: Eleanor Place, LLC, a Washington limited liability company

147299-OE

Statutory Warranty Deed

LAND TITLE OF SKAGIT COUNTY

THE GRANTOR REO FAMILY PROPERTIES LLC, a Washington Limited Liability Company for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid, conveys and warrants to ELEANOR PLACE, LLC, a Washington limited liability company the following described real estate, situated in the County of Skagit, State of Washington:

Abbreviated Legal: Lots 8, 11, 12 & 13, Plat Of Reo Family Properties.

Tax Parcel Number(s): 4899-000-011-0000, P124763, 4899-000-012-0000, P124764
4899-000-008-0000, P124760, 4899-000-013-0000, P124765

Lots 8, 11, 12 and 13, "PLAT OF REO FAMILY PROPERTIES, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington.

Situate in the City of Mount Vernon, County of Skagit, State of Washington.

Subject to all covenants, conditions, restrictions, reservations, agreements and easements of record including, but not limited to, those shown on Schedule "B-1" of Land Title Company's Preliminary Commitment No. 147299-OE.

Dated October 25, 2013

Reo Family Properties LLC, a Washington limited liability company

By: Randall J. Olson, Manager/Officer

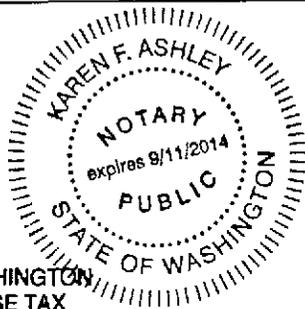
By: Stanton C.G. Olson, Manager/Officer

STATE OF Washington }
County of Skagit } SS:

I certify that I know or have satisfactory evidence Rodney E. Olson and Stanton C.G. Olson the person who appeared before me, and said person acknowledged that they signed this instrument, on oath stated They are authorized to execute the instrument and is Managers/Officers of REO Family Properties, LLC, a Washington limited liability* to be the free and voluntary act of such party for the uses and purposes mentioned in this instrument.

*company
Dated: October 30, 2013

Karen Ashley
Notary Public in and for the State of Washington
Residing at Sedro-Woolley
My appointment expires: 9/11/2014



SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX
2013 4460
NOV 01 2013

Amount Paid \$ 45,795.50
Skagit Co. Treasurer
By kk Deputy

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 75

When recorded return to:
Michael J. McDaniel and Amanda G. McDaniel
17665 S. Skyridge Drive
Mount Vernon, WA 98274

201112210085
Skagit County Auditor

12/21/2011 Page 1 of 5 3:46PM

Recorded at the request of:

File Number: A102927

Statutory Warranty Deed

A102927-1

GUARDIAN NORTHWEST TITLE CO.

THE GRANTOR REO Family Properties LLC, a Washington Limited Liability Company for and in consideration of **TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION** in hand paid, conveys and warrants to **Michael J. McDaniel and Amanda G. McDaniel**, husband and wife the following described real estate, situated in the County of Skagit, State of Washington.

Abbreviated Legal:

Lot 7 "PLAT OF REO FAMILY PROPERTIES, LLC"

Tax Parcel Number(s): P124759, 4899-000-007-0000

Lot 7, as delineated on the "PLAT OF REO FAMILY PROPERTIES, LLC", recorded July 7, 2006, under Auditor's File No. 200607070069, records of Skagit County, Washington.

This conveyance is subject to covenants, conditions, restrictions and easements, if any, affecting title, which may appear in the public record, including those shown on any recorded plat or survey, as per Exhibit "A" attached hereto

Dated 12/15/2011

REO Family Properties LLC

By: Stan Olson, Manager

By: Randy Olson, Manager

20113903
SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

DEC 21 2011

Amount Paid \$ 2630.50
By MF Skagit Co. Treasurer Deputy

NOTARY PUBLIC
STATE OF WASHINGTON
KAREN ALDERSON
My Appointment Expires Mar 28, 2015

STATE OF Washington }
COUNTY OF Skagit } SS:

I certify that I know or have satisfactory evidence that Stan Olson and Randy Olson are the persons who appeared before me, and said persons acknowledged that they signed this instrument and acknowledged it as the Co-Managers of REO Family Properties, LLC, to be the free and voluntary act of such party(ies) for the uses and purposes mentioned in this instrument.

Dated: 12-19-11

Karen Alderson
Karen Alderson
Notary Public in and for the State of Washington
Residing at Bellingham
My appointment expires: 3-28-15

EXHIBIT A

EXCEPTIONS:

A. Relinquishment of right of access to State Highway and of light, view and air, under terms of deeds to the State of Washington under Auditor's File Nos. 486030, 487101 and 487104.

B. RESERVATION CONTAINED IN DEED

Executed by: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
and Janice Barnes and Peggy Smith
Recorded: January 31, 1990
Auditor's No.: 9001310018
As Follows: This conveyance is a boundary line adjustment and is not for the purpose of creating an additional building lot

C. AGREEMENT, AND THE TERMS AND PROVISIONS THEREOF:

Between: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife,
Janice L. Barnes, as her separate property; and Peggy J. Smith, as
her separate property
And: City of Mount Vernon
Dated: October 23, 2000
Recorded: November 29, 2000
Auditor's No.: 200011290057
Regarding: Consent to Change of Grade
Affects: As delineated on plat map

D. EASEMENT AND PROVISIONS CONTAINED THEREIN AS CREATED OR DISCLOSED INSTRUMENT:

In Favor Of: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
Janice L. Barnes, as her separate property; and Peggy J. Smith,
as her separate property
Recorded: November 29, 2000
Auditor's No.: 200011290058
For: A non-exclusive easement for ingress, egress and utilities – enter
said reserved easement with materials, workmen, or agents to
construct, maintain, replace, reconstruct, and remove utilities
together with all appurtenances incident thereto or necessary
therewith
Affects: As delineated on plat map



201112210085
Skagit County Auditor

E. EASEMENT, INCLUDING TERMS AND PROVISION THEREOF:

Grantee: The City of Mount Vernon
Dated: October 23, 2000
Recorded: November 29, 2000
Auditor's No.: 200011290059
Purpose: To enter the premises with materials, workmen, or agents, to construct, maintain, replace, reconstruct, and remove sanitary sewage facilities, drainage facilities, and/or telecommunication facilities – cut and remove from said premises any trees and other obstructions – right of ingress and egress over, under and across – right of conveyance of said easement and privileges
Area Affected: As delineated on plat map

F. RESERVATION CONTAINED IN INSTRUMENT

Executed by: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
Janice L. Barnes, as her separate property; and Peggy J. Smith, as her separate property
Recorded: November 29, 2000
Auditor's No.: 200011290059
Area Affected: As delineated on plat map
As Follows:

RESERVED TO THE GRANTORS, their heirs and assigns, the right and privilege to use the above described land of the Grantor, at any time, in any manner and for any purpose not inconsistent with the full use and enjoyment of the easement by the Grantee, its successors and assigns, of the rights and privilege therein granted. The Grantee is responsible for operating and maintaining the above-described works of improvement.

GRANTORS SHALL refrain from construction or placing any buildings or fencing upon the above-described premises. The City shall under no circumstances be held responsible for the restoration of any buildings upon the above-described premises, if said improvements are in any way disturbed during the exercise of the rights and privileges granted herein provided that the City will repair any paving materials damaged by the Grantee or it's agents pursuant to the Grantors exercise of its rights under this easement.

G. EASEMENT, INCLUDING TERMS AND PROVISION THEREOF:

Grantee: The City of Mount Vernon
Dated: August 27, 2003
Recorded: March 9, 2004
Auditor's No.: 200403090081
Purpose: To enter the premises herein described with materials, workmen, or agents, to construct, maintain, replace, reconstruct, and remove sanitary sewage facilities, drainage facilities – cut and remove from said premises any trees and other obstructions – right of ingress and egress over, under and across – right of conveyance of said easement and privileges



201112210085
Skagit County Auditor

H. RESERVATION CONTAINED IN INSTRUMENT

Executed by: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
Janice L. Barnes, as her separate property; and Peggy J. Smith, as
her separate property
Recorded: March 9, 2004
Auditor's No.: 200403090081
As Follows:

RESERVED TO THE GRANTORS, their heirs and assigns, the right and privilege to use the above described land of the Grantor, at any time, in any manner and for any purpose not inconsistent with the full use and enjoyment of the easement by the Grantee, its successors and assigns, of the rights and privilege therein granted. The Grantee is responsible for operating and maintaining the above-described works of improvement.

GRANTORS SHALL refrain from construction or placing any buildings or fencing upon the above-described premises. The City shall under no circumstances be held responsible for the restoration of any buildings upon the above-described premises, if said improvements are in any way disturbed during the exercise of the rights and privileges granted herein provided that the City will repair any paving materials damaged by the Grantee or it's agents pursuant to the Grantors exercise of its rights under this easement.

An Addendum to said easement was recorded March 9, 2004 under Skagit County Auditor's File No. 200403090082.

I. EASEMENT, INCLUDING THE TERMS AND PROVISIONS THEREOF:

Grantee: Puget Sound Energy, Inc., a Washington corporation
Dated: October 18, 2005
Recorded: October 24, 2005
Auditor's No.: 200510240218
Purpose: "...utility systems for purposes of transmission, distribution and sale of gas and electricity..."
Area Affected: A strip of land ten (10) feet in width

J. PROTECTIVE COVENANTS AND/OR EASEMENTS, BUT OMITTING RESTRICTIONS, IF ANY, BASED ON RACE, COLOR, RELIGION OR NATIONAL ORIGIN:

Recorded: July 7, 2006
Auditor's No.: 200607070068

K. MATTERS DISCLOSED AND/OR DELINEATED ON THE FACE OF THE FOLLOWING PLAT/SUBDIVISION:

Plat/Subdivision Name: REO Family Properties LLC
Recorded: July 7, 2006
Auditor's No.: 200607070069



201112210085
Skagit County Auditor

L. REGULATORY NOTICE/AGREEMENT THAT MAY INCLUDE COVENANTS,
CONDITIONS AND RESTRICTIONS AFFECTING THE SUBJECT PROPERTY:

Recorded: February 22, 2008
Auditor's No.: 20080220003
Regarding: Ground Elevation Disclosure

Reference is hereby made to the record for the full particulars of said notice/agreement. However, said notice/agreement may have changed or may in the future change without recorded notice.

Said notice/agreement may pertain to governmental regulations for building or land use. Said matters are not a matter of title insurance. If such non-title insurance matters are shown, they are shown as a courtesy only, without the expectation that all such matters have been shown.



201112210003
Skagit County Auditor

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 76



201411250071

Skagit County Auditor \$72.00
11/25/2014 Page 1 of 1 10:55AM

When recorded return to:

Mount Vernon Highway 99, LLC
23051 Military Road South
Kent, WA 98032

Filed for Record at Request of
Land Title and Escrow
Escrow Number: 150813-OE

SKAGIT COUNTY WASHINGTON 1
REAL ESTATE EXCISE TAX
20144467
NOV 25 2014

Grantor: Reo Family Properties, LLC
Grantee: Mount Vernon Highway 99, LLC
AND TITLE OF SKAGIT COUNTY

Amount Paid \$5454.⁰³
Skagit Co. Treasurer
By *Vernon* Deputy

150813-OE

Statutory Warranty Deed

THE GRANTOR REO FAMILY PROPERTIES LLC, a Washington limited liability company for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid, conveys and warrants to MOUNT VERNON HIGHWAY 99, LLC, a Washington limited liability company the following described real estate, situated in the County of Skagit, State of Washington:

Abbreviated Legal: Lots 5 & 6, Plat Of Reo Family Properties, LLC.

Tax Parcel Number(s): 4899-000-006-0000, P124758, 4899-000-005-0000, P124757

Lots 5 and 6, "PLAT OF REO FAMILY PROPERTIES, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington.

Situate in the City of Mount Vernon, County of Skagit, State of Washington.

Subject to all covenants, conditions, restrictions, reservations, agreements and easements of record including, but not limited to, those shown on Schedule "B-1" of Land Title Company's Preliminary Commitment No. 150813-OE.

Dated November 21, 2014

Reo Family Properties, LLC, a Washington limited liability company

[Signature]
By: Randall J. Olson, Manager/Officer

[Signature]
By: Stanton C.G. Olson, Manager/Officer

STATE OF Washington }
County of Skagit } SS:

I certify that I know or have satisfactory evidence Randall J. Olson and Stanton C.G. Olson
the person who appeared before
me, and said person acknowledged that they signed this instrument, on oath stated "They are
authorized to execute the instrument and is Managers/officers
of Reo Family Properties, LLC, a Washington limited*
to be the free and voluntary act of such party for the uses and purposes mentioned in this instrument.

*liability company
Dated: November 24, 2014

[Signature]
Karen Ashley
Notary Public in and for the State of Washington
Residing at Sedro-Woolley
My appointment expires: 9/11/2018



**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 77



201411250071

Skagit County Auditor \$72.00
11/25/2014 Page 1 of 1 10:55AM

When recorded return to:

Mount Vernon Highway 99, LLC
23051 Military Road South
Kent, WA 98032

Filed for Record at Request of
Land Title and Escrow
Escrow Number: 150813-OE

SKAGIT COUNTY WASHINGTON 1
REAL ESTATE EXCISE TAX
20144467
NOV 25 2014

Grantor: Reo Family Properties, LLC
Grantee: Mount Vernon Highway 99, LLC
AND TITLE OF SKAGIT COUNTY

Amount Paid \$5454.⁰³
Skagit Co. Treasurer
By *Vernon* Deputy

150813-OE

Statutory Warranty Deed

THE GRANTOR REO FAMILY PROPERTIES LLC, a Washington limited liability company for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid, conveys and warrants to MOUNT VERNON HIGHWAY 99, LLC, a Washington limited liability company the following described real estate, situated in the County of Skagit, State of Washington:

Abbreviated Legal: Lots 5 & 6, Plat Of Reo Family Properties, LLC.

Tax Parcel Number(s): 4899-000-006-0000, P124758, 4899-000-005-0000, P124757

Lots 5 and 6, "PLAT OF REO FAMILY PROPERTIES, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington.

Situate in the City of Mount Vernon, County of Skagit, State of Washington.

Subject to all covenants, conditions, restrictions, reservations, agreements and easements of record including, but not limited to, those shown on Schedule "B-1" of Land Title Company's Preliminary Commitment No. 150813-OE.

Dated November 21, 2014

Reo Family Properties, LLC, a Washington limited liability company

[Signature]
By: Randall J. Olson, Manager/Officer

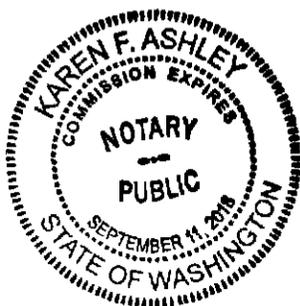
[Signature]
By: Stanton C.G. Olson, Manager/Officer

STATE OF Washington }
County of Skagit } SS:

I certify that I know or have satisfactory evidence Randall J. Olson and Stanton C.G. Olson
the person who appeared before
me, and said person acknowledged that they signed this instrument, on oath stated "They are
authorized to execute the instrument and is Managers/officers
of Reo Family Properties, LLC, a Washington limited*
to be the free and voluntary act of such party for the uses and purposes mentioned in this instrument.

*liability company
Dated: November 24, 2014

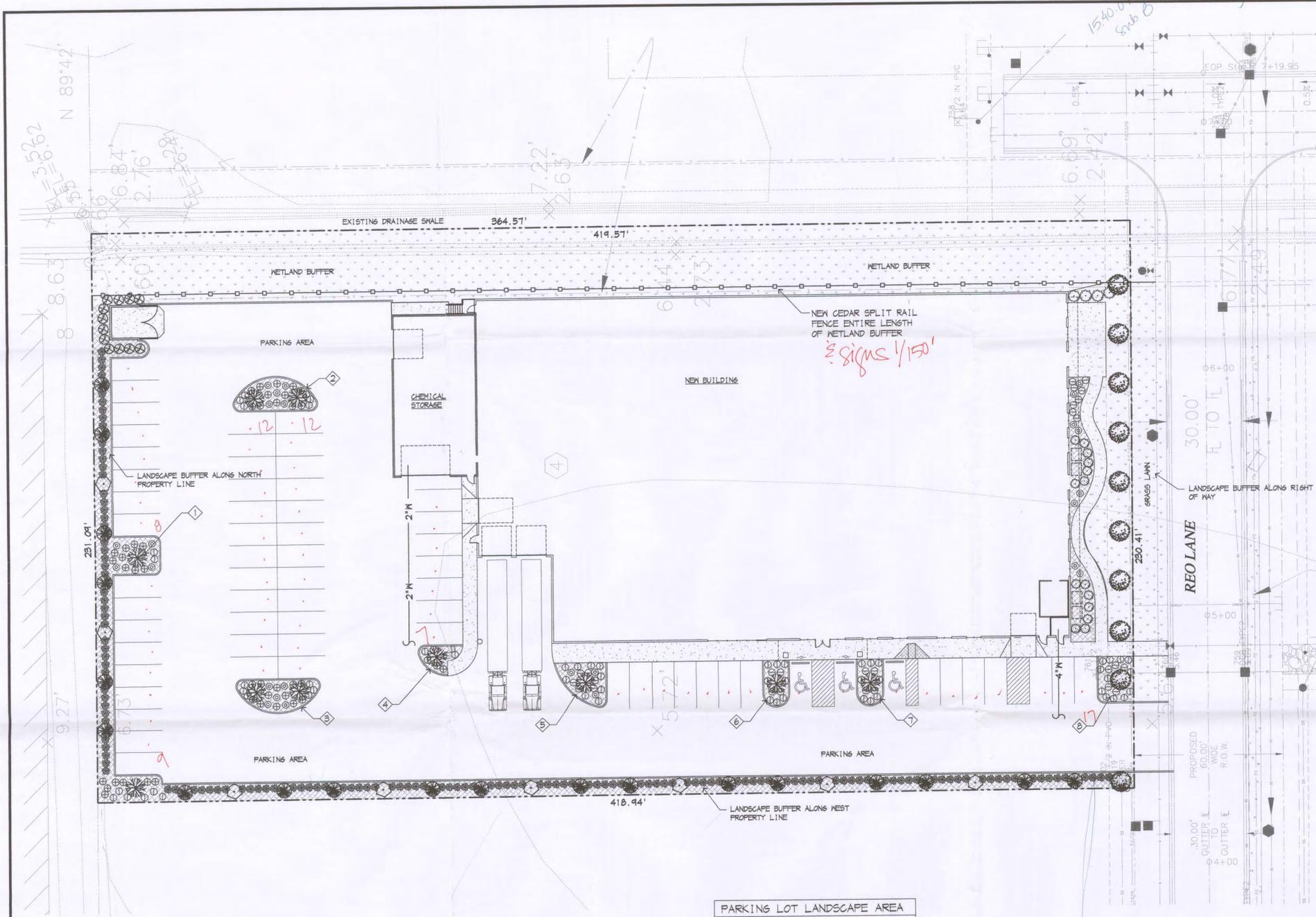
[Signature]
Karen Ashley
Notary Public in and for the State of Washington
Residing at Sedro-Woolley
My appointment expires: 9/11/2018



**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 78

FILED
Landscap



PLANTING SCHEDULE					
SYMBOL	QUANTITY	BOTANICAL	COMMON	SIZE	REMARKS
(Symbol)	10	ACER PLATANOIDES	CRIMSON SENTRY MAPLE	1-1/2" MIN. @ 6" ABV. GRND.	6' MIN. HEIGHT
(Symbol)	9	CORNUS KOUSA	KOUSA DOGWOOD	1-1/2" MIN. @ 6" ABV. GRND.	6' MIN. HEIGHT
(Symbol)	12	THUJA OCCIDENTALIS	ARBOVITAE CEDAR 'EMERALD GREEN'	1-1/2" MIN. @ 6" ABV. GRND.	6' MIN. HEIGHT
(Symbol)	14	CALOCEDRUS DECURRENS	INCENSE CEDAR	1-1/2" MIN. @ 6" ABV. GRND.	6' MIN. HEIGHT
(Symbol)	8	ACER GRISELUM	PAPERBARK MAPLE	1-1/2" MIN. @ 6" ABV. GRND.	6' MIN. HEIGHT
TREES					
(Symbol)	140	ILEX CRENATA	JAPANESE HOLLY	24" HIGH MIN. 2 GALLON	5 SHRUBS PER 100 S.F.
(Symbol)	18	FRUNJUS LAUROCERASUS	OTTO LUYKEN LAUREL	24" HIGH MIN. 2 GALLON	5 SHRUBS PER 100 S.F.
(Symbol)	26	VIBURNUM DAVIDII	EVERGREEN VIBURNUM	24" HIGH MIN. 2 GALLON	5 SHRUBS PER 100 S.F.
(Symbol)	42	MAHONIA AQUIFOLIUM	OREGON GRAPE	24" HIGH MIN. 2 GALLON	5 SHRUBS PER 100 S.F.
(Symbol)	25	RHOODODENDRON	VARIED	24" HIGH MIN. 2 GALLON	5 SHRUBS PER 100 S.F.
(Symbol)	61	AZALEA (RHOODODENDRON)	VARIED	24" HIGH MIN. 2 GALLON	5 SHRUBS PER 100 S.F.
SHRUBS					
(Symbol)		ARGOSTAPHYLOS (VIA-URSI)	KINNIKINICK	1 GALLON	24" O/C (SHRUBS AND GROUND COVER PLANTED TO ATTAIN A COVERAGE OF 90% WITHIN 3 YEARS OF PLANTING)
GROUND COVER					
(Symbol)		SODDED TURF LAWN	GRASS		

- LANDSCAPE NOTES:**
- BACKFILL MIX FOR PLANTING TREES, SHRUBS AND GROUND COVER SHALL BE ONE PART BY VOLUME OF 3-WAY TOPSOIL MIXED WITH ONE PART NATIVE SOIL.
 - PLANTER AREAS TO RECEIVE 3-WAY TOPSOIL.
 - ALL TREES, SHRUBS AND GROUND COVER SHALL BE FERTILIZED WITH AGRO 4-2-2 TRANSPLANTER OR EQUAL AT PLANTING TIME.
 - AFTER PLANTING OF ALL PLANTS, MULCH ALL AREAS WITH A MINIMUM OF 2" OF MEDIUM FINE BARK MULCH.
 - OWNER TO APPROVE PLANTING PRIOR TO INSTALLATION.
 - PLANT TYPES MAY BE SUBSTITUTED DUE TO AVAILABILITY WITH SIMILAR SPECIES AND VARIETIES.
 - LANDSCAPING CONTRACTOR RESPONSIBLE FOR MAINTENANCE DURING CONSTRUCTION PERIOD.
 - ALL PLANTS TO BE HEALTHY AT THE TIME OF PLANTING AND GUARANTEED FOR ONE FULL YEAR OR UNTIL THE NEXT SPRING (WHICHEVER IS GREATER).
 - ALL BEAUTY BARK TO BE PLACED ON NEED CLOTH BARRIER.
 - NOT USED.
 - A SPRINKLER SYSTEM IS REQUIRED FOR THIS PROJECT. DESIGN AND INSTALLATION OF THE SYSTEM WILL BE THE RESPONSIBILITY OF THE BIDDING CONTRACTOR. GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE ARCHITECT AND THE CITY OF MOUNT VERNON PRIOR TO INSTALLATION OF THE SYSTEM.
 - ROOT BARRIERS SHALL BE USED ON ALL LANDSCAPING OF TREES ABUTTING PAVEMENT AREAS.

LANDSCAPE CALCULATIONS:

LANDSCAPING REQUIRED:
 PARKING LOT LANDSCAPING PER MYC 17.49.020 =
 48 PARKING LOT AREA x 48 x 36,041 SF = 1,442 SF REQ'D.
 PARKING LOT LANDSCAPING PROVIDED = 1,621 SF

LOT LANDSCAPE SCREENING PER MYC 17.49.040
 - 10' TYPE I LANDSCAPE SCREENING ALONG N & S PROPERTY LINES
 - 5' TYPE I LANDSCAPE SCREENING ALONG W PROPERTY LINE
 - 25' NETLAND BUFFER ALONG EAST PROPERTY LINE

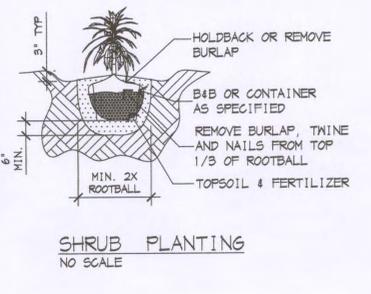
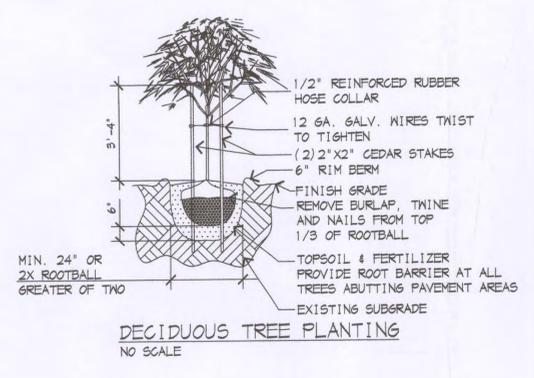
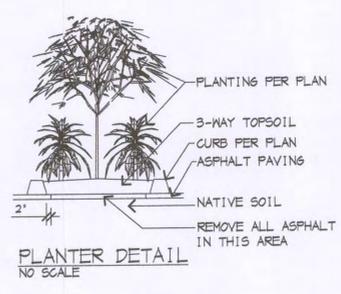
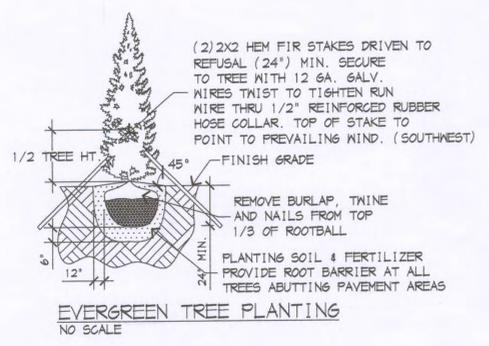
10% MINIMUM GROSS LANDSCAPE AREA PER MYC 17.49.020.6
 21.56% TOTAL LANDSCAPE AREA PROVIDED

TOTAL TREES REQUIRED:
 1 TREE/150 SF PARKING LOT LANDSCAPE x 1,621 SF = 11 TREES

TOTAL TREES PROVIDED:
 11 TREES PROVIDED

PARKING LOT LANDSCAPE AREA	
NO.	SQUARE FOOTAGE
1	282 SF
2	314 SF
3	314 SF
4	135 SF
5	264 SF
6	174 SF
7	174 SF
8	254 SF
TOTAL	2046 SF

LANDSCAPE PLAN
1" = 20'-0"



DATE REVISIONS

5/31/06	ISSUE FOR PRE-APPLICATION
7/10/06	ISSUE FOR COORDINATION
8/11/06	ISSUE FOR LAND USE APPLICATION
9/14/06	ISSUE FOR BUILDING PERMIT

Architects
 Gary Parkinson
 2812 COLBY AVE.
 EVERETT, WASHINGTON 98201
 (425) 252-2163
 FAX (425) 742-8130

A NEW OFFICE/MANUFACTURING FACILITY FOR:
BBC BIOCHEMICAL
 409 ELEANOR LANE
 MOUNT VERNON, WASHINGTON 98273

SHEET:
L 1.1
 JOB NO.:
 06c-2636

When recorded return to:

James L. Biesecker, Member
P.O. Box 609
Stanwood, WA 98292

Recorded at the request of:
First American Title
File Number: 88763



Skagit County Auditor

8/30/2006 Page 1 of 6 1:47PM

Statutory Warranty Deed

THE GRANTOR REO Family Properties, LLC for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid, conveys and warrants to Biesecker Holdings, LLC, A limited liability company the following described real estate, situated in the County of Skagit, State of Washington

FIRST AMERICAN TITLE CO.
88763

Abbreviated Legal:
Lot 4 "PLAT OF REO FAMILY PROPERTIES, LLC"

Tax Parcel Number(s): 4899-000-004-0000, P124756

SUBJECT TO SCHEDULE B-1 EXCEPTIONS ATTACHED HERETO
Lot 4 "PLAT OF REO FAMILY PROPERTIES, LLC", recorded July 7, 2006, under Auditor's File No. 200607070069, records of Skagit County, Washington.

Dated August 30, 2006

REO Family Property

Stan Olson
By: Stan Olson, Personal Representative

4454
SKAGIT COUNTY - WASHINGTON
Real Estate Excise Tax
PAID

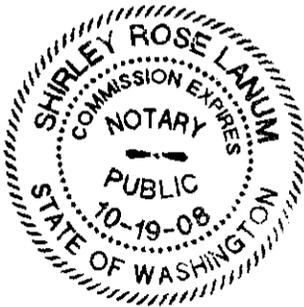
AUG 30 2006

Amount Paid \$ 12,053.82
Skagit County Treasurer
Deputy
J. Olson

State of Washington }
County of Skagit } SS:

I certify that I know or have satisfactory evidence Stan Olson the person(s) who appeared before me, and said person(s) acknowledged that he/she/they signed this instrument, on oath stated he/she/they are authorized to execute the instrument and is Member of REO Properties, LLC to be the free and voluntary act of such party for the uses and purposes mentioned in this instrument.

Date: August 30, 2006



Shirley Rose Lanum
Shirley Rose Lanum
Notary Public in and for the State of Washington
Residing at Burlington
My appointment expires: 10-19-2008

Order No: 88763

Schedule "B-1"

EXCEPTIONS:

A. Relinquishment of right of access to State Highway and of light, view and air, under terms of deeds to the State of Washington under Auditor's File Nos. 486030, 487101 and 487104.

B. RESERVATION CONTAINED IN DEED

Executed by: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
and Janice Barnes and Peggy Smith
Recorded: January 31, 1990
Auditor's No.: 9001310018
As Follows: This conveyance is a boundary line adjustment and is not for the purpose of creating an additional building lot

C. AGREEMENT, AND THE TERMS AND PROVISIONS THEREOF:

Between: Richard H. Smith and Patricia Ann Smith, husband and wife; Robert E. Burkland and Pamela K. Burkland, husband and wife, Janice L. Barnes, as her separate property; and Peggy J. Smith, as her separate property
And: City of Mount Vernon
Dated: October 23, 2000
Recorded: November 29, 2000
Auditor's No.: 200011290057
Regarding: Consent to Change of Grade
Affects: As delineated on plat map

D. EASEMENT AND PROVISIONS CONTAINED THEREIN AS CREATED OR DISCLOSED INSTRUMENT:

In Favor Of: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
Janice L. Barnes, as her separate property; and Peggy J. Smith, as her separate property
Recorded: November 29, 2000
Auditor's No.: 200011290058
For: A non-exclusive easement for ingress, egress and utilities - enter said reserved easement with materials, workmen, or agents to construct, maintain, replace, reconstruct, and remove utilities together with all appurtenances incident thereto or necessary therewith
Affects: As delineated on plat map



200608300119
Skagit County Auditor

Order No: 88763

E. EASEMENT, INCLUDING TERMS AND PROVISION THEREOF:

Grantee: The City of Mount Vernon
Dated: October 23, 2000
Recorded: November 29, 2000
Auditor's No.: 200011290059
Purpose: To enter the premises with materials, workmen, or agents, to construct, maintain, replace, reconstruct, and remove sanitary sewage facilities, drainage facilities, and/or telecommunication facilities – cut and remove from said premises any trees and other obstructions – right of ingress and egress over, under and across – right of conveyance of said easement and privileges
Area Affected: As delineated on plat map

F. RESERVATION CONTAINED IN INSTRUMENT

Executed by: Richard H. Smith and Patricia Ann Smith, husband and wife; Robert E. Burkland and Pamela K. Burkland, husband and wife; Janice L. Barnes, as her separate property; and Peggy J. Smith, as her separate property
Recorded: November 29, 2000
Auditor's No.: 200011290059
Area Affected: As delineated on plat map
As Follows:

RESERVED TO THE GRANTORS, their heirs and assigns, the right and privilege to use the above described land of the Grantor, at any time, in any manner and for any purpose not inconsistent with the full use and enjoyment of the easement by the Grantee, its successors and assigns, of the rights and privilege therein granted. The Grantee is responsible for operating and maintaining the above-described works of improvement.

GRANTORS SHALL refrain from construction or placing any buildings or fencing upon the above-described premises. The City shall under no circumstances be held responsible for the restoration of any buildings upon the above-described premises, if said improvements are in any way disturbed during the exercise of the rights and privileges granted herein provided that the City will repair any paving materials damaged by the Grantee or it's agents pursuant to the Grantors exercise of its rights under this easement.

G. EASEMENT, INCLUDING TERMS AND PROVISION THEREOF:

Grantee: The City of Mount Vernon
Dated: August 27, 2003
Recorded: March 9, 2004
Auditor's No.: 200403090081
Purpose: To enter the premises herein described with materials, workmen, or agents, to construct, maintain, replace, reconstruct, and remove sanitary sewage facilities, drainage facilities – cut and remove from said premises any trees and other obstructions – right of ingress and egress over, under and across – right of conveyance of said easement and privileges



200608300119
Skagit County Auditor

Order No: 88763

H. RESERVATION CONTAINED IN INSTRUMENT

Executed by: Richard H. Smith and Patricia Ann Smith, husband and wife; Robert E. Burkland and Pamela K. Burkland, husband and wife; Janice L. Barnes, as her separate property; and Peggy J. Smith, as her separate property

Recorded: March 9, 2004

Auditor's No.: 200403090081

As Follows:

RESERVED TO THE GRANTORS, their heirs and assigns, the right and privilege to use the above described land of the Grantor, at any time, in any manner and for any purpose not inconsistent with the full use and enjoyment of the easement by the Grantee, its successors and assigns, of the rights and privilege therein granted. The Grantee is responsible for operating and maintaining the above-described works of improvement.

GRANTORS SHALL refrain from construction or placing any buildings or fencing upon the above-described premises. The City shall under no circumstances be held responsible for the restoration of any buildings upon the above-described premises, if said improvements are in any way disturbed during the exercise of the rights and privileges granted herein provided that the City will repair any paving materials damaged by the Grantee or it's agents pursuant to the Grantors exercise of its rights under this easement.

An Addendum to said easement was recorded March 9, 2004 under Skagit County Auditor's File No. 200403090082.

I. EASEMENT, INCLUDING THE TERMS AND PROVISIONS THEREOF:

Grantee: Puget Sound Energy, Inc., a Washington corporation

Dated: October 18, 2005

Recorded: October 24, 2005

Auditor's No.: 200510240218

Purpose: "...utility systems for purposes of transmission, distribution and sale of gas and electricity..."

Area Affected: A strip of land ten (10) feet in width

J. PROTECTIVE COVENANTS AND/OR EASEMENTS, BUT OMITTING RESTRICTIONS, IF ANY, BASED ON RACE, COLOR, RELIGION OR NATIONAL ORIGIN:

Recorded: July 7, 2006

Auditor's No.: 200607070068

K. MATTERS DISCLOSED AND/OR DELINEATED ON THE FACE OF THE FOLLOWING PLAT/SUBDIVISION:

Plat/Subdivision Name: REO Family Properties LLC

Recorded: July 7, 2006

Auditor's No.: 200607070069

Said matters include but are not limited to the following:

1. Know all men by these presents that Reo Family Properties, LLC, a Washington limited liability Company and Skagit State Bank, owners in the fee simple or contract purchasers and mortgage holders or lien holders of the land hereby platted, declare this plat and dedicate to the use of public forever, the streets, avenues, shown hereon and the use thereof for all public purposes consistent with the use thereof for public highway purposes together with the right to make all necessary slope for cuts and fills upon the lots and blocks shown hereon in the original reasonable grading for all such streets and avenues shown hereon



200608300119

Skagit County Auditor

Order No: 88763

2. An easement is hereby granted to the City of Mount Vernon in and across Tract A, and in that area shown as a 20 foot access and storm drain easement located on Lot 13, for access and inspection purposes, together with the right to perform emergency repairs to the private storm drain system located within these areas at its own discretion.
3. This property is subject to and together with easements, reservations, restrictions, covenants, liens, leases or other instruments of record referred to in Land Title Company report referenced under Note No. 1 above. Said report lists documents recorded under Auditor's File Nos. 9001210018, 200011240057, 200011240058, 200011290059, 200403090081, 200403090082 and 200510240218.
4. For additional subdivision and meridian information see record of survey's recorded under Auditor's File Nos. 9506050091 and 8612180043.
5. Sewage Disposal – City of Mount Vernon.
6. Storm Drainage – On-site conveyance and retention system.
7. Street Standard – City of Mount Vernon.
8. Water – P.U.D. No. 1 of Skagit County.
9. Power – Puget Sound Energy.
10. Telephone – Verizon Northwest.
11. Gas – Cascade Natural Gas.
12. Television Cable – Comcast Corporation.
13. Garbage Collection – City of Mount Vernon.
14. Owner/Developer – Reo Family Properties, LLC,
A Washington limited liability Company
305 Freeway Drive
Mount Vernon, WA 98273
15. Buyer should be aware that this plat is located in an AO Zone flood plain and the lowest floor (including basement) is to be elevated as specified on the firm map. Please contact City of Mount Vernon for most current requirements.
16. An existing buffer area has been established by the City of Mount Vernon under land use permit number, LU 05-035. Any waiver or modification of the 50 foot buffer area will require further application and permit approval.
17. Lots 4, 9, 12 and 13 are encumbered by a critical areas buffer at such time that these lots are developed, the owners must install the buffer fencing as required by the Mount Vernon Municipal Code. Any modifications to the type of fence material must be approved by the community and economic development director. Occupancy will not be granted for any development on these lots until the fence has been installed.
18. All lots within this subdivision are subject to impact fees payable upon issuance of a building permit.



200608300119

Skagit County Auditor

Order No: 88763

19. Subject to the Declaration of Covenants, Conditions and Restrictions as recorded under Auditor's File No. 200607070068 which establishes ownership and maintenance responsibilities for Tract "A".

20. An easement is hereby reserved for and granted to the City of Mount Vernon, Public Utility District No. 1 of Skagit County; Puget Sound Energy; Cascade Natural Gas Corporation; Verizon Northwest, Inc. and AT&T Broadband; Comcast Corporation; and their respective successors and assigns under and upon the exterior seven (7) feet of front boundary line of all lots and tracts as shown on the face of this plat, in which to install, lay, construct, renew, operate, maintain and remove utility systems, lines, fixtures, appurtenances attached thereto, for the purpose of providing utility service to the subdivision and other property. together with the right to enter upon the lots and tracts at all times for the purposes stated, with the understanding that any grantee shall be responsible to all unnecessary damage it causes to any real property owner in the subdivision by the exercise of rights and privileges herein granted.

21. Easements for the purpose of conveying local storm water runoff and sanitary sewer are hereby granted in favor of all abutting private lot owners in the areas designated as private sewer easements. The maintenance of private easements established and granted herein shall be the responsibility of and the cost thereof shall be borne equally by, the present and future owners of the abutting property and their heirs, personal representatives and assigns.

The City of Mount Vernon is hereby granted the right to enter said easements for emergency purposes at its own discretion.

22. Twenty (20.0) foot drainage District No. 17 right-of-way established by condemnation under drainage District No. 17's 1908 petition under numbers 57,38 and 39, over Lots 4, 9, 10, 11, 12, 13 and Tract "A".



200608300119
Skagit County Auditor

STAFF REPORT	City of Mount Vernon Development Services Department
	CRITICAL AREA PERMIT REPORT & DECISION

A. BACKGROUND

Permit Submittal Date: February 23, 2006

Project Name: Buffer Reduction for REO Family Properties

Project Number: LU 05-035

Project Manager: Rebecca Bradley

Project Description: Proposed is a 13 lot subdivision of approximately 24 acres with lots that will range in size from .64 to 3.5 acres on a site zoned for commercial and limited industrial uses. A 696-foot long public roadway and all of the necessary utilities will be constructed to serve the proposed development.

The Wetland Reconnaissance that was completed found that there were no wetlands on the site. There is an existing man-made drainage facility that bisects the site in a north to south direction that is located within a 20-foot wide right-of-way. The MVMC classifies the man made drainage facility as a 'Category II' stream due to the presence of salmonids as noted by both the Washington Department of Fish & Wildlife (WDFW) and the Skagit River System Cooperative. Therefore, the waterway is regulated as a critical area and subject to Mount Vernon Municipal Code Chapter 15.40.

A buffer reduction plan has been submitted that would reduce the mandatory 100-foot buffer centered on the drainage facility to a total width of 50 feet centered on the drainage facility as allowed subject to the provisions listed in MVMC 15.40.120(C).

The civil plans submitted with the buffer reduction plan show a portion of the storm sewer system, south of the proposed REO Lane, within the reduced buffer area. The only way that this section of pipe can be allowed within the reduced buffer is for the applicant to submit the requisite materials meeting the provisions of MVMC 15.40.070(B).

An addendum to the original SEPA determination was issued on February 24, 2006 that addresses the buffer mitigation plan; as it was not proposed at the time the original SEPA determination was made.

The applicant has chosen to submit a Fill & Grade Permit outside of the preliminary plat process which has not yet been completed. The review and decision on the buffer reduction is being processed as part of the Fill & Grade Permit application, and will be incorporated in the review and decision for the preliminary plat.

Applicant: REO Family Properties, LLC, C/O Stan Olson, 305 Freeway Drive, Mount Vernon, WA 98273.

Project Location: The site is located approximately 3,700 feet south of Anderson Road, and is bound by Old Highway 99 South to the West and Interstate-5 to the east within a portion of Section 32, Township 34 North, Range 04 East, W.M.

Site Area: Approximately 24 acres.

B. EXHIBITS

Attached to this staff report are the following Exhibits:

- A. Mitigation Plan for: Valley RV, dated February 1, 2006 by Skagit Wetlands and Critical Areas, Inc.
- B. Reduced civil plans date stamped February 23, 2006 by Ravnik and Associates, Inc.
- C. Addendum to Determination of Non-Significance

C. FINDINGS OF FACT

Based on the MVMC found in Chapter 15.40, the following findings of fact have been made:

- 1. MVMC 15.40.040 establishes regulations for the protection of properties which contain or are adjacent to environmentally sensitive areas. MVMC 15.40.020(27) defines "sensitive areas" or "environmentally sensitive areas" as "those areas defined and established as critical areas under the provisions of the Washington State Growth Management Act".
- 2. The on-site drainage facility has been mapped by the Washington State Department of Natural Resources as a fish bearing modified natural channel described as a "type F", the channel is described as a "type 3" with the former DNR stream typing method, and the City's Shannon & Wilson report and mapping identify it has a 'Category II' stream. Per MVMC 15.40.040 staff utilizes these resources in determining how to classify waterways within the City.
- 3. MVMC 15.40.020(28) defines a 'Stream' as "an area where surface waters flow sufficiently to produce a defined channel or bed. A defined channel or bed is an area which demonstrates clear evidence of the passage of water and includes but is not limited

to bedrock channels, gravel beds, sand and silt beds, and defined channel swales. The channel or bed need not contain water year-round. This definition is not meant to include irrigation ditches, canals, storm or surface water runoff devices or other entirely artificial watercourses **unless they are used by salmonids or used to convey streams naturally occurring prior to construction in such watercourses**".

4. The applicant has not submitted evidence that salmonids do not use the on-site waterway and without this evidence the City will rely on the mapping completed by the Department of Natural Resources, the City's Shannon & Wilson report and mapping, and the evidence submitted by the Skagit River System Cooperative that all indicate that salmonids use the on-site waterway.
5. In addition, the applicant declined to have a biologist that would be retained by the City complete the requisite testing to verify whether or not salmonids use the on-site waterway.
6. MVMC 15.40.120(A) outlines standard buffer widths of streams classified within the City. The on-site waterway has been classified as a "Category II" stream; and as such, a 100-foot total width buffer centered on the stream would be required.
7. MVMC 15.40.120(C) provides a way in which an applicant can have the standard buffer reduced up to a maximum of fifty percent (50%) as long as a buffer enhancement plan uses native vegetation and substantiates that an enhanced buffer will improve the functional values of the buffer and provides additional protection of the stream system is provided to the City.
8. MVMC 15.40.080(C) states that a split rail fence shall be installed along the boundaries of all critical area buffers and in a prominent location one stream sign shall be posted per lot or every 150 feet, or as determined by the City Development Services Director.
9. MVMC 15.40.190(C) stipulates that the City can require maintenance/monitoring bonds when mitigation plans are proposed.
10. On February 23, 2006 the applicant submitted a critical area mitigation plan and revised civil plans for the above-described project proposal.
11. An addendum to the original SEPA determination for the above-described project was issued on February 24, 2006 which addressed the buffer reduction mitigation plan which was not proposed at the time the original SEPA determination was made.

D. CONCLUSIONS

Based on the MVMC found in Chapter 15.40, the following conclusions have been made:

- A. The Mitigation Plan, dated February 1, 2006 meets the requirements of MVMC 15.40.120(C)(2). However, there are two clarifications to this report that are necessary. First, the MVMC identifies the on-site waterway as a Category II Stream, which would require a standard 100-foot buffer centered on the waterway; not a Category III stream with a 50 foot buffer as cited in this report. Second, MVMC 15.40.070(A)(2) may exempt the normal and routine maintenance of existing dikes, drainage ditches, drainage retention/detention facilities, or ornamental landscape ponds; however, the applicant would still be required to check with other State and Federal agencies to make sure that permits from these agencies would or would not be necessary for such work.

- B. The civil plans submitted with the Mitigation Plan identify two (2) locations where the on-site waterway will be crossed with bridge structures. MVMC 15.40070(B)(1) provides exemptions for the construction of public transportation corridors such as roads, sidewalks, and trails; and utilities such as water and sewer lines, gas lines, telecommunications and power lines where it can clearly be demonstrated that the project is needed for the benefit of the public and no practicable alternative exists. Staff has completed a review of the project plans and the transportation corridors surrounding the site and is able to provide a conclusion that no practicable alternative exists to access the east side of the project site, and so the requirements of MVMC 15.40.070(B)(1) are satisfied for the bridge locations.
- C. Without additional information from the applicant, staff is not able to make a determination that no practicable alternative exists for the location of the storm sewer line that is shown within the reduced buffer area south of the proposed REO lane. The applicant shall either submit for review and approval evidence that the storm sewer line meets the criteria outlined in MVMC 15.40.120(B)(1); or revised plans shall be submitted that show the storm sewer line outside of the reduced buffer area.
- D. The Development Services Director has determined that a maintenance/monitoring bond in the amount of One Hundred and Fifty Percent (150%) of the estimated cost of the total cost of the plant material, mulching, site preparation, fencing, signage and monitoring for five (5) years will be required.
- E. A split rail fence shall be installed along the landward edge of the reduced buffer area and stream signs shall be posted every 150 feet.

E. RECOMMENDATION

The buffer reduction mitigation plan submitted as part of application, is **APPROVED** subject to compliance with the standards of the Mount Vernon Municipal Code and the following specific requirements:

1. The applicant shall either submit for review and approval evidence that the storm sewer line, shown south of REO Lane meets the criteria outlined in MVMC 15.40.120(B)(1); or revised plans shall be submitted that show the storm sewer line outside of the reduced buffer area.
2. A maintenance/monitoring bond in the amount of One Hundred and Fifty Percent (150%) of the estimated cost of the total cost of the plant material, mulching, site preparation, fencing, signage and monitoring for five (5) years will be required prior to any construction activity commencing within the standard buffer area (100-foot centered on the waterway).
3. A split rail fence shall be installed along the landward edge of the reduced buffer area and stream signs shall be posted every 150 feet.
4. Siltation fencing shall be installed (and inspected by the City) along the landward edge of all buffer areas prior to any construction activities commencing on the site.
5. The 'Critical Area Review' fee of \$500.00 shall be paid as part of the permit approval.

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 79

WHEN RECORDED RETURN TO:
Name: HP Mobile Wash, Inc. , a Washington Corp
Address: 4753 Mount Baker Loop
Mount Vernon, WA 98273



Skagit County Auditor \$78.00
12/31/2015 Page 1 of 6 1:24PM

Escrow Number: 687715RT
Filed for Record at Request of: Rainier Title, LLC

STATUTORY WARRANTY DEED

THE GRANTOR(S), REO Family Properties LLC, for and in consideration of Ten dollars and Zero cents (\$10.00) and other good and valuable consideration in hand paid, conveys, and warrants to HP Mobile Wash, Inc. , a Washington Corporation the following described real estate, situated in the County of Skagit, State of Washington:

See attached Exhibit A, which is made a part hereof by this reference.

Abbreviated Legal: Lot 3, Reo Family Properties, LLC

Subject to: See attached Exhibit A, which is made a part hereof by this reference.

Tax Parcel Number(s): 48990000030000

Dated: December 29th 2015

Pr 1755

Land Title and Escrow

1537260

Stanton C G Olson, Manager
Stanton C.G. Olson, Manager

Randall J Olson, Manager
Randall J. Olson, Manager

SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX
20155301
DEC 31 2015

Amount Paid \$ *10,329.00*
Skagit Co. Treasurer
By *MLM* Deputy

STATE OF Washington

ss.

COUNTY OF Skagit

I certify that I know or have satisfactory evidence that Stanton C.G Olson and Randall J Olson (is/are) the person(s) who appeared before me, and said persons (s) acknowledged that (he/she/they) signed this instrument and acknowledge it as the Managers of REO Family Properties LLC to be the free and voluntary act of such party(ies) for the uses and purposes mentioned in this instrument.

Dated: *December 29, 2015*

KAREN L. MAUCK
STATE OF WASHINGTON
NOTARY --- PUBLIC
My Commission Expires 11-02-2019

Karen L Mauck
Name: *Karen L. Mauck*
Notary Public in the State of *Washington*
Residing in: *Snohomish*
My Commission Expires: *11-2-2019*

Exhibit A

EXCEPTIONS CONTINUED:

N. (Continued):

14. Owner/Developer: Reo Family Properties, LLC
A Washington Limited Liability Company
305 Freeway Drive
Mount Vernon, WA 98273

15. Buyer should be aware that this plat is located in an AO Zone Flood Plain and the lowest floor (including basement) is to be elevated as specified on the firm map. Please contact City of Mount Vernon for most current requirements.

16. An existing buffer area has been established by the City of Mount Vernon under land use permit numbers, LU05-035. Any waiver or modification of the 50-foot buffer area will require further application and permit approval.

17. Lots 4, 9, 12 and 13 are encumbered by a critical areas buffer at such time that these lots are developed, the owners must install the buffer fencing as required by the Mount Vernon Municipal Code. Any modification to the type of fence material must be approved by the community and economic development director occupancy will not be granted for any development on these lots until the fence has been installed.

18. All lots within this subdivision are subject to impact fees payable upon issuance of a building permit.

19. Subject to the declaration of covenants, conditions, and restrictions as recorded under Auditor's File Number 200607070068 which establishes ownership and maintenance responsibilities for Tract "A".

O. COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN DECLARATION OF PROTECTIVE RESTRICTIONS, AS HERETO ATTACHED

Declaration Dated: July 7, 2006
Recorded: July 7, 2006
Auditor's No.: 200607070068
Executed By: Reo Family Properties, LLC

P. DECLARATION OF F.I.R.M. MAP GROUND ELEVATIONS FOR THE PLAT OF REO FAMILY PROPERTIES, LLC UNDER AUDITOR'S FILE NO. 200607070069, SKAGIT COUNTY, WASHINGTON:

Dated: February 21, 2008
Recorded: February 22, 2008
Auditor's No.: 200802220003

Exhibit A

Legal Description. The following described real estate, situated in the County of Skagit, State of Washington:

Lot 3, "PLAT OF REO FAMILY PROPERTIES, LLC," as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069, records of Skagit County, Washington. Situate in the City of Mount Vernon, County of Skagit, State of Washington.

Subject To:

A. Relinquishment of right of access to State Highway and of light, view and air, under terms of deeds to the State of Washington under Auditor's File Nos. 486030, 487101 and 487104.

B. RESERVATIONS CONTAINED IN DEED:

Executed By: Richard H. Smith and Patricia Ann Smith, husband and wife ;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
and Janice Barnes and Peggy Smith
Recorded: January 31, 1990
Auditor's No.: 9001310018
As Follows: This conveyance is a boundary line adjustment and is not for the purpose of creating an additional building lot

C. AGREEMENT AND THE TERMS AND PROVISIONS THEREOF:

Between: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife,
Janice L. Barnes, as her separate property; and Peggy J. Smith,
as her separate property
And: City of Mount Vernon
Dated: October 23, 2000
Recorded: November 29, 2000
Auditor's No.: 200011290057
Regarding: Consent to Change of Grade
Affects: Portion of said plat

D. EASEMENT AND PROVISIONS CONTAINED THEREIN AS CREATED OR DISCLOSED INSTRUMENT:

In Favor of: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
Janice L. Barnes, as her separate property; and Peggy J. Smith,
as her separate property
Recorded: November 29, 2000
Auditor's No.: 200011290058
For: A non-exclusive easement for ingress, egress and utilities -- enter said reserved easement with materials, workmen, or agents to construct, maintain, replace, reconstruct, and remove utilities together with all appurtenances incident thereto or necessary therewith
Affects: Portion of said plat

Exhibit A

EXCEPTIONS CONTINUED:

E. EASEMENT, INCLUDING TERMS AND PROVISIONS THEREOF:

Grantee: The City of Mount Vernon
Purpose: To enter the premises with materials, workmen, or agents, to construct, maintain, replace, reconstruct, and remove sanitary sewage facilities, drainage facilities, and/or telecommunication facilities cut and remove from said premises any tress and other obstructions right of ingress and egress over, under and across right of conveyance of said easement and privileges
Area Affected: Portion of said premises
Dated: October 23, 2000
Recorded: November 29, 2000
Auditor's No.: 200011290059

F. RESERVATIONS CONTAINED IN INSTRUMENT:

Executed By: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
Janice L. Barnes, as her separate property; and Peggy J. Smith, as her separate property
Recorded: November 29, 2000
Auditor's No.: 200011290059
Area Affected: Portion of said premises
As Follows:

Reserved to the Grantors, their heirs and assigns, the right and privilege to use the above described land of the Grantor, at any time, in any manner and for any purpose not inconsistent with the full use and enjoyment of the easement by the Grantee, its successors and assigns, of the rights and privilege therein granted. The Grantee is responsible for operating and maintaining the above described works of improvement.

Grantors shall refrain from construction or placing any buildings or fencing upon the above described premises. The City shall under no circumstances be held responsible for the restoration of any buildings upon the above described premises, if said improvements are in any way disturbed during the exercise of the rights and privileges granted herein provided that the City will repair any paving materials damaged by the Grantee or its agents pursuant to the Grantors exercise of its rights under this easement.

G. EASEMENT, INCLUDING TERMS AND PROVISIONS THEREOF:

Grantee: The City of Mount Vernon
Purpose: To enter the premises herein described with materials, workmen, or agents, to construct, maintain, replace, reconstruct, and remove sanitary sewage facilities, drainage facilities cut and remove from said, premises any tress and other obstructions right of ingress and egress over, under and across right of conveyance of said easement and privileges
Dated: August 27, 2003
Recorded: March 9, 2004
Auditor's No.: 200403090081

Exhibit A

EXCEPTIONS CONTINUED:

H. RESERVATIONS CONTAINED IN INSTRUMENT:

Executed By: Richard H. Smith and Patricia Ann Smith, husband and wife;
Robert E. Burkland and Pamela K. Burkland, husband and wife;
Janice L. Barnes, as her separate property; and Peggy J. Smith, as
her separate property
Recorded: March 9, 2004
Auditor's No.: 200403090081
As Follows:

Reserved to the Grantors, their heirs and assigns, the right and privilege to use the above described land of the Grantor, at any time, in any manner and for any purposes not inconsistent with the full use and enjoyment of the easement by the Grantee, its successors and assigns, of the rights and privilege therein granted. The Grantee is responsible for operating and maintaining the above described works of improvement.

Grantors shall refrain from construction or placing any buildings or fencing upon the above described premises. The City shall under no circumstances be held responsible for the restoration of any buildings upon the above described premises, if said improvements are in any way disturbed during the exercise of the rights and privileges granted herein provided that the City will repair any paving materials damaged by the Grantee or its agents pursuant to the Grantors exercise of its rights under this easement.

An Addendum to said easement was recorded March 9, 2004 under Skagit County Auditor's File No. 200403090082.

I. EASEMENT AND TERMS AND CONDITIONS THEREOF:

Disclosed and Delineated By: Plat of said addition
Purpose: Slopes, utilities and drainage
Area Affected: Portion of said premises

- J. Right of the public to make necessary slopes for cuts or fills upon property herein described in the reasonable original grading of streets, avenues, alleys and roads, as dedicated in the plat.

K. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:

Grantee: Puget Sound Energy, Inc., a Washington Corporation
Purpose: The right to construct, operate, maintain, repair, replace and enlarge an underground electric transmission and/or distribution system
Area Affected: A strip of land 10 feet in width with 5 feet on each side of the centerline of grantees facilities as now constructed, to be constructed, extended or relocated lying within the above described parcel
Dated: October 18, 2005
Recorded: October 24, 2005
Auditor's No.: 200510240218

- Continued -

Exhibit A

EXCEPTIONS CONTINUED:

L. Utilities Easement on face of said plat:

An easement is hereby reserved and granted to the City of Mount Vernon, Public Utility District No. 1 of Skagit County, Puget Sound Energy; Cascade Natural Gas Corporation; Verizon Northwest, Inc., and A T & T Broadband; Comcast Corporation; and their respective successors and assigns under and upon the exterior seven feet of front boundary line of all lots and tracts as show on the face of this plat, in which to install, lay, construct, renew, operate, maintain and remove utility systems, lines, fixtures, appurtenances attached thereto, for the purpose of providing utility service to the subdivision and other property, together with the right to enter upon the lots and tracts at all times for the purposes stated with the understanding that any grantee shall be responsible to all unnecessary damage it causes to any real property owner in the subdivision by the exercise of rights and privileges herein granted.

M. Private Drainage and sewer easements on face of said plat:

Easements for the purpose of conveying local storm water runoff and sanitary sewer are hereby granted in favor of all abutting private lot owners in the areas designated as private drainage or private sewer easements, the maintenance of private easements established and granted herein shall be the responsibility of and the costs thereof shall be borne equally by the present and future owners of the abutting property and their heirs, personal representatives and assigns.

The City of Mount Vernon is hereby granted the right to enter said easements for emergency purposes as its own discretion.

N. Conditions and restrictions on the face of said plat:

1. Description and exception information is from First American Title Insurance Company, a California Corporation, Subdivision Guarantee Order No. 88107 dated April 27, 2006.

2. This property is subject to and together with easements, reservations, restrictions, covenants, liens, leases or other instruments or record referred to in Land Title Company Report referenced under Note 1 above. Said report lists documents recorded under Auditor's File Numbers 9001210018, 200011290057, 200011290058, 200011290059, 200405090081, 200405090082, 200510240218.

3. For additional subdivision and meridian information see record of surveys recorded under Auditor's File Numbers 9806050091 and 8612160043.

- | | |
|---------------------------|--|
| 4. Zoning Classification: | City of Mount Vernon/Skagit County
Commercial – Limited Industrial (C-LI) |
| 5. Sewage Disposal: | City of Mount Vernon |
| 6. Storm Drainage: | On site conveyance & retention system |
| 7. Street Standards: | City of Mount Vernon |
| 8. Water: | PUD No. 1 of Skagit County |
| 9. Power: | Puget Sound Energy |
| 10. Telephone: | Verizon Northwest |
| 11. Gas: | Cascade Natural Gas |
| 12. Television Cable: | Comcast Corporation |
| 13. Garbage Collection: | City of Mount Vernon |

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 80

DEDICATION
 KNOWN ALL MEN BY THESE PRESENTS THAT REO FAMILY PROPERTIES, LLC, A WASHINGTON LIMITED LIABILITY COMPANY AND SKAGIT STATE BANK, OWNERS IN THE FEE SIMPLE OR CONTRACT PURCHASERS AND MORTGAGE HOLDERS OR LIEN HOLDERS OF THE LAND HEREBY PLATED, DECLARE THIS PLAT AND DEDICATE TO THE USE OF PUBLIC FOREVER, THE STREETS, AVENUES, SHOWN HEREON AND THE USE THEREOF FOR ALL PUBLIC PURPOSES CONSISTENT WITH THE USE THEREOF FOR PUBLIC HIGHWAY PURPOSES TOGETHER WITH THE RIGHT TO MAKE ALL NECESSARY SLOPE FOR CUTS AND FILLS UPON THE LOTS AND BLOCKS SHOWN HEREON IN THE ORIGINAL REASONABLE GRADING FOR ALL SUCH STREETS AND AVENUES SHOWN HEREON.

IN WITNESS WHEREOF, THE OWNERS AND SAID CORPORATION HAVE CAUSED THEIR SIGNATURES AND CORPORATE NAME TO BE HERETO SUBSCRIBED AND ITS CORPORATE SEAL TO BE HERETO AFFIXED THIS 10 DAY OF July, 2006.

REO FAMILY PROPERTIES, LLC
 A WASHINGTON LIMITED LIABILITY COMPANY
 BY: Thomas E. Barrett
 TITLE Owner

SKAGIT STATE BANK
 BY: [Signature]
 TITLE VP

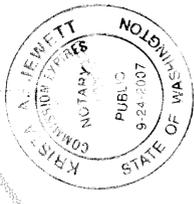
ACKNOWLEDGMENTS

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT Thomas E. Barrett THE PERSON WHO APPEARED BEFORE ME AND SAID PERSON ACKNOWLEDGED THAT (HE/SHE) SIGNED THIS INSTRUMENT ON DATE STATED THAT (HE/SHE) WAS AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED TO AS THE Owner OF REO FAMILY PROPERTIES, LLC, A WASHINGTON LIMITED LIABILITY COMPANY TO BE THE FREE AND VOLUNTARY ACT OF SAID PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.
 DATED: 7-10, 2006.



Krista A. Jewett
 NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON
 NOTARY NAME TO BE PRINTED
 RESIDING AT: Skagit County
 MY APPOINTMENT EXPIRES 9-24-07

STATE OF WASHINGTON)
 COUNTY OF SNOHOMISH)
 I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT Mike Olson IS THE PERSON WHO APPEARED BEFORE ME AND SAID PERSON ACKNOWLEDGED THAT (HE/SHE) SIGNED THIS INSTRUMENT ON DATE STATED THAT (HE/SHE) WAS AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED TO AS THE Owner OF SKAGIT STATE BANK, TO BE THE FREE AND VOLUNTARY ACT OF SAID PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.
 DATED: 7-10, 2006.



Krista A. Jewett
 NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON
 NOTARY NAME TO BE PRINTED
 RESIDING AT: Skagit Co.
 MY APPOINTMENT EXPIRES 9-24-07

UTILITIES EASEMENT

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF MOUNT VERNON, PUBLIC UTILITY DISTRICT NO. 1 OF SKAGIT COUNTY, PUGET SOUND ENERGY, CASCADE NATURAL GAS CORPORATION, VERIZON NORTHWEST, INC., AND AT&T BROADBAND, COMCAST CORPORATION, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS UNDER AND UPON THE EXTERIOR SEVEN (7) FEET OF FRONT BOUNDARY LINE OF ALL LOTS AND TRACTS AS SHOWN ON THE FACE OF THIS PLAT, IN WHICH TO INSTALL, LAY, CONSTRUCT, REPAIR, OPERATE, MAINTAIN AND REMOVE UTILITY SYSTEMS, LINES, FIXTURES, APPURTENANCES ATTACHED THERETO, FOR THE PURPOSE OF PROVIDING UTILITY SERVICE TO THE SUBDIVISION AND OTHER PROPERTY TOGETHER WITH THE RIGHT TO ENTER UPON THE LOTS AND TRACTS AT ALL TIMES FOR THE PURPOSES STATED, WITH THE UNDERSTANDING THAT ANY GRANTEE SHALL BE RESPONSIBLE TO ALL UNNECESSARY DAMAGE IT CAUSES TO ANY REAL PROPERTY OWNER IN THE SUBDIVISION BY THE EXERCISE OF RIGHTS AND PRIVILEGES HEREIN GRANTED.

PRIVATE DRAINAGE AND SEWER EASEMENTS

EASEMENTS FOR THE PURPOSE OF CONVERTING LOCAL STORM WATER RUNOFF AND SANITARY SEWER ARE HEREBY GRANTED IN FAVOR OF ALL ADJOINING PRIVATE LOT OWNERS IN THE AREAS DESIGNATED AS PRIVATE DRAINAGE OR PRIVATE SEWER EASEMENTS, THE MAINTENANCE OF PRIVATE EASEMENTS ESTABLISHED AND GRANTED HEREIN SHALL BE THE RESPONSIBILITY OF AND THE COSTS THEREOF SHALL BE BORNE EQUALLY BY THE PRESENT AND FUTURE OWNERS OF THE ADJOINING PROPERTY AND THEIR HEIRS, PERSONAL REPRESENTATIVES AND ASSIGNS. THE CITY OF MOUNT VERNON IS HEREBY GRANTED THE RIGHT TO ENTER SAID EASEMENTS FOR EMERGENCY PURPOSES AT ITS OWN DISCRETION.

REO FAMILY PROPERTIES, LLC
 A WASHINGTON LIMITED LIABILITY COMPANY
 CITY OF MOUNT VERNON FILE NO. LU 05-035 D 05-325
 A PORTION OF NW 1/4 S1/4 AND S1/4 S1/4
 SECTION 32, TOWNSHIP 34 NORTH, RANGE 4 EAST, 1M1,
 CITY OF MOUNT VERNON
 SKAGIT COUNTY, WASHINGTON

ACCESS AND STORM DRAIN EASEMENT TO CITY OF MOUNT VERNON
 AN EASEMENT IS HEREBY GRANTED TO THE CITY OF MOUNT VERNON IN AND ACROSS TRACT A, AND IN THAT AREA SHOWN AS A 20' ACCESS AND STORM DRAIN EASEMENT TO PERFORM EMERGENCY REPAIRS TO THE PRIVATE STORM DRAIN SYSTEM LOCATED WITHIN THESE AREAS AT ITS OWN DISCRETION.

CONDITIONS AND RESTRICTIONS

- DESCRIPTION AND EXCEPTION INFORMATION IS FROM FIRST AMERICAN TITLE INSURANCE COMPANY, A CALIFORNIA CORPORATION, SUBDIVISION GUARANTEE ORDER NUMBER 88107 DATED APRIL 27, 2006.
- THIS PROPERTY IS SUBJECT TO AND TOGETHER WITH EASEMENTS, RESERVATIONS, RESTRICTIONS, COVENANTS, LIENS, LEASES OR OTHER INSTRUMENTS OF RECORD REFERRED TO IN LAND TITLE COMPANY REPORT REFERENCED UNDER NOTE 1 ABOVE, SAID REPORT LISTS DOCUMENTS RECORDED UNDER AUDITORS FILE NUMBERS 4001210019, 200011240057, 200011240058, 200011240059, 2004030400281, 2004030400282, 2005102440216.
- FOR ADDITIONAL SUBDIVISION AND MERIDIAN INFORMATION SEE RECORD OF SURVEY'S RECORDED UNDER AUDITORS FILE NUMBERS 4500650091 & 8612160043.
- ZONING CLASSIFICATION: CITY OF MOUNT VERNON/SKAGIT COUNTY COMMERCIAL-LIMITED INDUSTRIAL (C-LI)
- SEWAGE DISPOSAL: CITY OF MOUNT VERNON ON SITE CONVEYANCE & RETENTION SYSTEM
- STORM DRAINAGE: CITY OF MOUNT VERNON
- WATER: PUD NO. 1 OF SKAGIT COUNTY
- POWER: PUGET SOUND ENERGY
- TELEPHONE: VERIZON NORTHWEST
- GAS: CASCADE NATURAL GAS
- TELEVISION CABLE: COMCAST CORPORATION
- GARBAGE COLLECTION: CITY OF MOUNT VERNON
- OWNER/DEVELOPER: REO FAMILY PROPERTIES, LLC A WASHINGTON LIMITED LIABILITY COMPANY 305 FREEMANT DR. MOUNT VERNON, WA, 98273
- BUYER SHOULD BE AWARE THAT THIS PLAT IS LOCATED IN AN AO ZONE FLOOD PLAIN AND THE LOWEST FLOOR (INCLUDING BASEMENT) IS TO BE ELEVATED AS SPECIFIED ON THE FIRM MAP PLEASE CONTACT CITY OF MOUNT VERNON FOR MOST CURRENT REQUIREMENTS.
- AN EXISTING BUFFER AREA HAS BEEN ESTABLISHED BY THE CITY OF MOUNT VERNON UNDER PERMIT NUMBER: L105-035. ANY MAJOR OR MODIFICATION OF THE 50-FOOT BUFFER AREA WILL REQUIRE FURTHER APPLICATION AND PERMIT APPROVAL.
- LOTS 4, 9, 12 AND 13 ARE ENCUMBERED BY A CRITICAL AREAS BUFFER AT SUCH TIME THAT THESE LOTS ARE DEVELOPED. THE OWNERS MUST INSTALL THE BUFFER FENCING AS REQUIRED BY THE MOUNT VERNON MUNICIPAL CODE. ANY MODIFICATIONS TO THE TYPE OF FENCE MATERIAL MUST BE APPROVED BY THE COMMUNITY AND ECONOMIC DEVELOPMENT DIRECTOR. OCCUPANCY WILL NOT BE GRANTED FOR ANY DEVELOPMENT ON THESE LOTS UNTIL THE FENCE HAS BEEN INSTALLED.
- ALL LOTS WITHIN THIS SUBDIVISION ARE SUBJECT TO IMPACT FEES PAYABLE UPON ISSUANCE OF A BUILDING PERMIT.
- SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS AS RECORDED UNDER AUDITORS FILE NUMBER ~~200011240043~~ WHICH ESTABLISHES OWNERSHIP AND MAINTENANCE RESPONSIBILITIES FOR TRACT "A".

AUDITORS' CERTIFICATE
 FILED FOR RECORD AT THE REQUEST OF THOMAS E. BARRETT,
 200607070069
 Skagit County Auditor
 7/7/2006 Page 1 of 2 1:58PM

APPROVED AND APPROVED THIS 6th DAY OF July, 2006.
 CITY ENGINEER
 BY: Thomas E. Barrett
 DEPUTY COUNTY AUDITOR

APPROVED BY THE COUNCIL OF THE CITY OF MOUNT VERNON, WASHINGTON,
 THIS 10 DAY OF July, 2006.
 ASSIST. MAYOR
 ASSIST. CLERK

COUNTY TREASURER'S CERTIFICATE
 I HEREBY CERTIFY THAT ALL TAXES HERETOFORE LEVIED AND WHICH HAVE BECOME A LIEN UPON THE LANDS HEREBY DESCRIBED HAVE BEEN FULLY PAID AND DISCHARGED ACCORDING TO THE RECORDS OF MY OFFICE UP TO AND INCLUDING THE YEAR OF 2006.
 THIS 10 DAY OF July, 2006.
 BY: [Signature]
 SKAGIT COUNTY TREASURER



CITY TREASURER'S CERTIFICATE
 I HEREBY CERTIFY THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS AND ALL SPECIAL ASSESSMENTS ON ANY OF THE PROPERTIES HEREIN CONTAINED DESIGNATED AS STREETS, ALLEYS, OR FOR OTHER PUBLIC USES ARE PAID IN FULL. THIS 10 DAY OF July, 2006, UP TO AND INCLUDING THE YEAR 2006.
 BY: [Signature]
 CITY FINANCE DIRECTOR

LAND SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT THE PLAT OF REO FAMILY PROPERTIES, LLC IS BASED UPON AN ACTUAL SURVEY AND SUBDIVISION OF SECTION 32, TOWNSHIP 34 NORTH, RANGE 04 EAST, 1M1, THAT I HAVE CORRECTED AND DISTANCES ARE SHOWN CORRECTLY ON THE GROUND AND THAT I HAVE COMPLIED WITH THE PROVISIONS OF THE STATUTES AND PLATTING REGULATIONS OF THE CITY OF MOUNT VERNON.
 BY: Thomas E. Barrett
 DATE 6-30-06

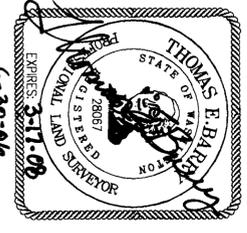
THOMAS E. BARRETT
 PROFESSIONAL LAND SURVEYOR
 CERTIFICATE NO. 28087
 REO FAMILY PROPERTIES, LLC
 307 N. OLYMPIA, SUITE 205
 ARLINGTON, WASHINGTON 98223
 (360) 435-3777 FAX (360) 435-4822
 Copyright reserved 2006 © Metron and Associates, Inc.

CITY OF MOUNT VERNON
 FILE NO. LU 05-035

METRON
 and ASSOCIATES INC.
 LAND SURVEYS, MAPS, AND LAND USE PLANNING
 307 N. OLYMPIA, SUITE 205
 ARLINGTON, WASHINGTON 98223
 (360) 435-3777 FAX (360) 435-4822
 Copyright reserved 2006 © Metron and Associates, Inc.

DATE: MAY 2006 BY: JSM SCALE: ---
 PROJECT NO. 05157 F.B. 4-34

PLAT OF
 REO FAMILY PROPERTIES, LLC
 A WASHINGTON LIMITED LIABILITY COMPANY
 A PORTION OF
 NW 1/4 S1/4 AND S1/4 S1/4 SECTION 32,
 TOWNSHIP 34 NORTH, RANGE 4 EAST, 1M1,
 SKAGIT COUNTY, WASHINGTON SHEET 1 OF 2

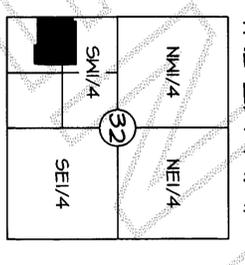


PROJECT BENCHMARK
 RECOVERED BRASS DISK W/ PINCH SET IN CONCRETE MONUMENT CASE VISITED OCTOBER 1948 ACCEPTED POSITION ELEVATION = 1217' NGVD. 24

REO FAMILY PROPERTIES, LLC
 A WASHINGTON LIMITED LIABILITY COMPANY
 CITY OF MOUNT VERNON FILE NO. LV 05-035 D 05-325
 A PORTION OF NW 1/4 S1/4, T34 N, R5E, S1/4, S1/4, SECTION 32, TOWNSHIP 34 NORTH, RANGE 4 EAST, WM.
 CITY OF MOUNT VERNON
 SKAGIT COUNTY, WASHINGTON

CALCULATED POSITION
 PER RECORD OF SURVEY
 A.F.N. 861260043 &
 A.F.N. 950600001

INDEX MAP



SECTION 32, TWP 34 N., R5E 04 E., WM.



LEGAL DESCRIPTION
 THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF WASHINGTON, COUNTY OF SKAGIT, AND IS DESCRIBED AS FOLLOWS:
 PARCEL A: THAT PORTION OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 34 NORTH, RANGE 4 EAST, WM., DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE EAST LINE OF THE FORMER PACIFIC HIGHWAY ALONG THE WEST LINE OF SAID SUBDIVISION 350 FEET SOUTH OF THE NORTH LINE OF SAID SUBDIVISION, THENCE EAST TO THE WEST RIGHT-OF-WAY LINE OF PRIMARY STATE HIGHWAY NO. 1 AS CONVERTED TO THE STATE OF WASHINGTON BY DEED RECORDED APRIL 14, 1953, UNDER AUDITOR'S FILE NO. 481101; THENCE SOUTH ALONG THE WEST LINE OF SAID HIGHWAY RIGHT-OF-WAY 350 FEET; MORE OR LESS, TO THE SOUTH LINE OF SAID SUBDIVISION; THENCE WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION TO THE EAST LINE OF THE FORMER PACIFIC HIGHWAY; THENCE NORTH ALONG THE HIGHWAY TO THE POINT OF BEGINNING.
 EXCEPT DRAINAGE DISTRICT NO. 17 DITCH RIGHTS-OF-WAY, ALSO EXCEPT THE WEST 80 FEET OF THE NORTH 80 FEET HEREOF.

PARCEL B:
 THAT PORTION OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 34 NORTH, RANGE 4 EAST, WM., EXCEPT THE FORMER PACIFIC HIGHWAY ALONG THE WEST LINE OF SAID SUBDIVISION, ALSO EXCEPT DRAINAGE DISTRICT NO. 17 DITCH RIGHTS-OF-WAY AND ALSO EXCEPT THE SOUTH 70 FEET THEREOF.

PARCEL C:
 THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 34 NORTH, RANGE 4 EAST, WM., EXCEPT DRAINAGE DISTRICT NO. 17 DITCH RIGHT-OF-WAY, ALSO EXCEPT THAT PORTION CONVERTED TO THE STATE OF WASHINGTON FOR HIGHWAY PURPOSES BY DEEDS RECORDED MARCH 17, 1953, AND APRIL 14, 1953, UNDER AUDITOR'S FILE NOS. 486930 AND 487104, RESPECTIVELY.
 (LEGAL DESCRIPTION PER FIRST AMERICAN TITLE INSURANCE COMPANY SUBDIVISION GUARANTEE ORDER NUMBER 89107 DATED APRIL 27, 2006)

SURVEYOR'S NOTES
 1. DISTANCES SHOWN HEREON ARE GRID DISTANCES. GRID DISTANCE / SCALE FACTOR (0.99994246) = GROUND DISTANCE.
 2. AREAS SHOWN HEREON ARE GRID AREAS. GRID AREA / SCALE FACTOR SQUARED (0.99988492) = GROUND AREA.
 3. DISTANCES SHOWN ON THIS PLAN ARE ROUNDED TO TWO DECIMAL PLACES. ACTUAL DISTANCES MAY VARY BY 0.0005 FEET FROM THAT INDICATED.

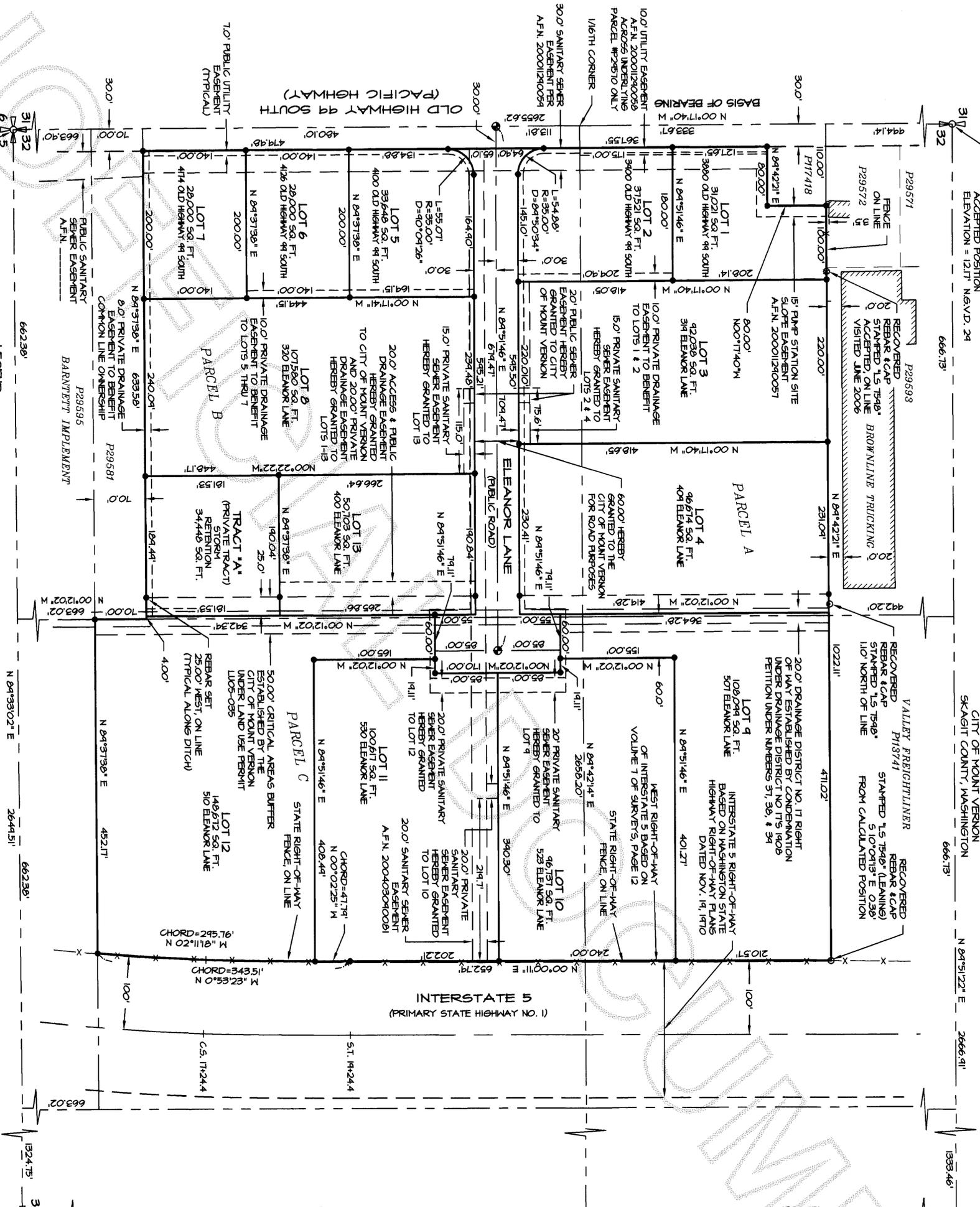
RECOVERED 1 1/2" IRON PIPE W/ NAIL SET IN WOOD PLUS VISITED OCTOBER 1948 ACCEPTED POSITION

CITY OF MOUNT VERNON
 FILE NO. LV 05-035

PLAT OF
REO FAMILY PROPERTIES, LLC
 A WASHINGTON LIMITED LIABILITY COMPANY

A PORTION OF
 NW 1/4 S1/4 AND S1/4 S1/4 SECTION 32,
 TOWNSHIP 34 NORTH, RANGE 4 EAST, WM.,
 CITY OF MOUNT VERNON
 SKAGIT COUNTY, WASHINGTON SHEET 2 OF 2

REV 02, JSM 6/21/06



FIELD PROCEDURES AND INSTRUMENTATION
 FIELD TRAVERSE: CLOSED CIRCUIT FIELD TRAVERSE PRECISION RATIO: GREATER THAN 1 PART IN 5000
 FIELD EQUIPMENT: TRIMBLE 4800 AND 4100 DUAL FREQUENCY GPS SURVEY RECEIVERS
 STANDARD ERROR DISTANCE: +/- 2CM (4 IPPM)
 FIELD EQUIPMENT: LEICA ROBOTIC TOTAL STATION TORALIOS
 LEAST COUNT ANGLE: 1 SECOND
 STANDARD ERROR DISTANCE: +/- 3MM (0.01 FT.)

ZONING CLASSIFICATION
 CITY OF MOUNT VERNON SKAGIT COUNTY
 COMMERCIAL-LIMITED INDUSTRIAL (C-1I)

LEGEND
 0 SURVEY MARKER RECOVERED AS NOTED
 CONCRETE MONUMENT
 W/ CHISELED "X"
 SET IN CONCRETE MONUMENT CASE
 VISITED OCTOBER 1948
 ACCEPTED POSITION
 0 SET STANDARD CONCRETE MONUMENT W/ BRASS DISK
 STAMPED "15 7548" IN CONCRETE MONUMENT CASE



METTRON
 and ASSOCIATES INC.
 LAND SURVEYS, MAPS, AND LAND USE PLANNING
 307 N. OLMPIC, SUITE 205
 ARLINGTON, WASHINGTON 98223
 (360) 435-3777 FAX (360) 435-4822
 Copyright reserved 2006 © Mettron and Associates, Inc.

DATE: MAY 2006 BY: JSM
 SCALE: 1" = 100'
 FB: 4-34

When Recorded Return to:
CHEOLWOO YOO
3900 Old Highway 99
Mount Vernon WA 98273



200808280119
Skagit County Auditor

8/28/2008 Page 1 of 2 11:20AM

Chicago Title Company - Island Division
Order No: IMV3212 MKP Title Order No: IC46165

STATUTORY WARRANTY DEED

PROPERTIES

THE GRANTOR REO FAMILY ~~PROPERTY~~, LLC, a Limited Liability Company

for and in consideration of **Three Hundred Forty-Eight Thousand Five Hundred and 00/100...(\$348,500.00) DOLLARS**

in hand paid, conveys and warrants to

CHEOLWOO YOO, a married man

the following described real estate, situated in the County of Skagit, State of Washington:

Lot 2, and the South 41.34 feet of Lot 1, PLAT OF REO FAMILY PROPERTIES, LLC, recorded July 6, 2006, under Auditor's File No. 200607070069, records of Skagit County, Washington and boundary line adjusted by survey recorded February 22, 2007, under Auditor's File No. 200702220148, records of Skagit County, Washington, and as amended by Amended Record of Survey of Boundary Line Adjustment recorded August 8, 2008, under Auditor's File No. 200808080084, records of Skagit County, Washington.

Tax Parcel Number(s): 4899-000-002-0000 P124754

Subject to: Restrictions, reservations and easements of record. Skagit County has established a policy for unincorporated areas to protect and encourage agriculture and forestry operations. If your real property is located near an agriculture or forestry operation, you may be subject to inconvenience or discomfort arising from such operations, including but not limited to, noise, odors, fumes, dust, flies, and other associated pests, the operation of machinery of any kind during any 24-hour period, the storage and disposal of manure, and the application of fertilizers, soil amendments, and pesticides. If conducted in compliance with local, state, and federal laws, these inconveniences or discomforts are hereby deemed not to constitute a nuisance as provided in Chapter 7.48 RCW for purposes of the Skagit County Code and shall not be subject to legal action as a public nuisance.

Dated: August 25, 2008
PROPERTIES
REO FAMILY ~~PROPERTY~~/LLC

RODNEY E. OLSON Date
Managing Member

RANDALL J. OLSON Date
Managing Member

STANTON C.G. OLSON Date
Managing Member

2797
SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

AUG 28 2008

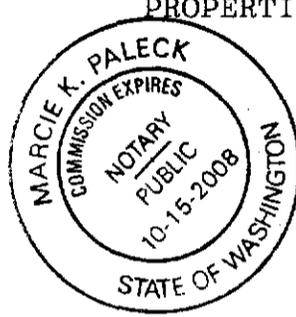
Amount Paid \$ 6208.30
Skagit Co. Treasurer
By *man* Deputy

STATE OF WASHINGTON
COUNTY OF Skagit

I certify that I know or have satisfactory evidence that RODNEY E. OLSON, STANTON C.G. OLSON and RANDALL J. OLSON is/are the person(s) who appeared before me, and said person(s) acknowledged that he/she/they signed this instrument, on oath stated that he is / she is / they are authorized to execute the instrument and acknowledged it as the MANAGING MEMBERS of REO FAMILY ~~PROPERTY~~ LLC to be the free and voluntary act of such party for the uses and purposes mentioned in this instrument.

Dated: August 27, 2008

Marcie K Paleck
Marcie K. Paleck
Notary Public in and for the State of Washington
Residing at Mount Vernon
My appointment expires: October 15, 2008



200808280119
Skagit County Auditor
8/28/2008 Page 2 of 2 11:20AM

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 81

Building Permit City of Mount Vernon

Permit 21649

Site Address 3880 S Old Highway 99

Legal Desc REO FAMILY PROPERTIES LLC, LOT 1, ACRES 0.54, AF#200607070069

Lot **Block** **P#** P124753 **Plat**

Owner's Name HIGHLINE HOLDINGS LLC

Address P O BOX 29236

City BELLINGHAM **Zip** 98228 **Phone** () -

Architect's Name

Address

City **Phone** () -

Lending Agency

Address

City **Phone** () -

Contractor's Name Pioneer Pole Buildings

Address PO BOX 2965

City FERNDAL, WA **Phone** (360) 380-4436

City License 7471 **State License** PIONEPB026N8(11/25/2008)

Type of Permit Work Type

- | | | |
|--|--|--|
| <input type="checkbox"/> Residential Application | <input type="checkbox"/> Fill Permit | <input type="checkbox"/> Sign Permit |
| <input type="checkbox"/> Building Permit | <input type="checkbox"/> Plumbing Permit | <input type="checkbox"/> Mechanical Perr |
| <input type="checkbox"/> Reroof/Dem | <input type="checkbox"/> Fence | <input type="checkbox"/> Other |

Occupancy Use Other

Description of Work

Construct new office building.

NOTICE: This permit is issued by the Building Official and, under the provisions of the Uniform Building Code, shall expire by limitation and become null and void if the building or work authorized by such permit is not commenced within 180 days from the date of permit issuance, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days. By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not, including calls for inspections.

[Signature] 1-22-08
Signature of Owner/Agent **Date**

FOLLOWING FOR DEPARTMENT USE ONLY

Street Setback	Side One	Side Two	Rear Yard Setback
122	71	12	10

Use Zone	Occ. Group	Type of Const
<input type="text"/>	<input type="text"/>	<input type="text"/>

NREC Required? **Vacant Site?** **Dwelling Units** 0 **Stories** 1
FAD **ESU's** 6 **Bedrooms**

Square Footage
Bldg 4032 **Porch** 200 **Garage** **Deck**

When signed and dated below, this is your permit. Permission is hereby given to do the above described work, according to the conditions hereon and according to the approved plans and specifications pertaining thereto, subject to compliance with the ordinances of the City of Mount Vernon.

[Signature] 1-22-08
Permit Issued By **Building Official**
 Conditions/Comments **Rick Prosser** **Date**

Approved for Issuance		Land Use Approval	
Date	By	Date	By
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
Engineering Department	<input type="text"/>	DNS	<input type="text"/>
CED Department	<input type="text"/>	CUP	<input type="text"/>
Fire Department	<input type="text"/>	VAR	<input type="text"/>
		SUP	<input type="text"/>
		MISC	<input type="text"/>
		REZ	<input type="text"/>

Plumbing Information

Amount	Type of Fixture or Item	Fee
2	Water Closet	\$14.00
<input type="checkbox"/>	Bathtub	
2	Lavatory	\$14.00
<input type="checkbox"/>	Shower	
<input type="checkbox"/>	Kitchen Sink	
<input type="checkbox"/>	Dishwasher	
<input type="checkbox"/>	Laundry Tray	
<input type="checkbox"/>	Clothes Washer	
1	Water Heater	\$7.00
<input type="checkbox"/>	Urinal/Bidet	
<input type="checkbox"/>	Drinking Fountain	
<input type="checkbox"/>	Floor Sink or Drain	
<input type="checkbox"/>	Slop Sink	
<input type="checkbox"/>	Grease Trap/Interceptor	
1	Water Piping	\$7.00
<input type="checkbox"/>		
<input type="checkbox"/>		

Permit \$20.00
Total Fees \$62.00

Mechanical Information

Gas? Electrical? Oil? Other?

Amount	Type of Fixture or Item	Fee
<input type="checkbox"/>	Air Conditioning Unit	
<input type="checkbox"/>	Refrigeration Unit	
<input type="checkbox"/>	<input type="checkbox"/> Boiler	
1	Forced Air System	\$13.25
<input type="checkbox"/>	Floor Furnace	
<input type="checkbox"/>	Wall Heater	
1	Unit Heater	\$13.25
<input type="checkbox"/>	Clothes Dryer	
2	Ventilation Fan	\$13.00
<input type="checkbox"/>	Range Hood	
<input type="checkbox"/>	Air Handling Unit	
<input type="checkbox"/>	Pre Manufactured Stove	
1	Hot Water Tank	\$9.50
1	Gas Piping	\$5.50
<input type="checkbox"/>		
<input type="checkbox"/>		

Permit \$22.00
Total Fees \$76.50

Fee Totals

Building Permit Fees	\$1,497.25
Plan Review Fees	\$974.00
Plumbing Permit Fees	\$62.00
Mechanical Permit Fees	\$76.50
Sign Permit Fees	\$0.00
Impact Fees	\$1,518.76
State Surcharge	\$4.50
Engineering Fees	\$1,467.50
Re-Inspection Fee	
Other	<input type="text"/>
Total Fees	\$5,600.51

Valuation Method

- Fees Based on \$221,988.00 Value
- Calculated Using Square Footage
 Contractor's Bid
 Architect Estimate
 Owner Provided

21649

Site Address: 3880 Oldhwy 995.

Lot # & Plat Name: _____

Parcel #- _____ Project Type: _____

Owner: _____ Date: _____

School Impact Fees (Applies to Residential Development Only)		Impact Fees	Admin. Fees
	Single Family Units @ \$5,000.00 and \$35.00 Admin./unit		
	Multi-Family Units @ \$2,900 and \$35 Admin./unit		
	Credits for Adjustments	()	()
	Total School Impact Fees		
Park Impact Fees (Applies to Residential Development Only)		Impact Fees	Admin. Fees
	Single Family Units @ \$855.00 + \$35.00 Admin./Unit		
	Multi-Family Units @ \$789.00 + \$70.00 Admin./Permit		
	Credits for Adjustments	()	()
	Total Park Impact Fees		
Fire Impact Fees		Impact Fees	Admin. Fees
	Single Family Units @ \$152.00 + \$35.00 Admin./Unit		
	Multi-Family Units @ \$152.00 + \$70.00 Admin./Permit		
	Commercial: \$0.22 x s.f. (Admin.: 1% of Fees; \$35.00 minimum)	887.04	35
	Credits for Adjustments <u>4032sf x .22</u>	()	()
	Total Fire Impact Fees		
Traffic Impact Fees		Impact Fees	Admin. Fees
ITE Land Use Code			
	Single Family @ \$3346.00/unit + 35.00 Admin.		
	Multi-Family @ \$2242.00/unit + \$70.00 Admin./Permit	office 243.16	
	Commercial sq.ft. <u>1,000</u> x <u>0.61</u> \$170.00/trip Administration is 1% of Fees; \$35.00 minimum.	warehouse 318.56	
	Credits for Adjustments	()	()
	Total Traffic Impact Fees	561.72	35
Total Impact Fees			1,448.76
Total Administrative Fees (Including transfer fees of \$ _____)			70
Total Owning			1,518.76

[Signature]
Applicant

1-22-08
Date

CED Department Approval: [Signature]
Signature

10-10-07
Date

Permit Application

City of Mount Vernon
Development Services Department
360-336-6214

BLDG

Routing #

D 07-462

RECEIVED
CITY OF MOUNT VERNON

SEP 26 2007

C.E.D. DEPARTMENT
BY _____

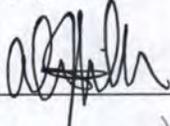
Site Address: 3880 Old Highway 99 South Mt. Vernon, WA 98273	
Parcel number: 200607070069 Lot No.: 1	Plat Name: REO Family Properties LLC
Owner Name: Shawn Hull	
Address: P.O. Box 29236 Bellingham, WA 98228	
Phone: (360) 738-8969	Cell phone: (360) 303-1879 E-mail: shawn@highlineservices.com
Contractor Business Name: Pioneer Pole Buildings	
Labor & Industries License number and expiration date: PLONEPB026N8	
City Business License: 7471	
Contact Name: Alia Hiller w/ P.P.B. (Pioneer Pole Buildings)	Address: P.O. Box 2965 Ferndale, WA 98248
Phone: (360) 380-4436	Cell Phone: (360) 303-4041 E-mail: alia@pioneerpolebuildings.net
Valuation of Project: \$ 87,650.00	Flood Zone?: A02
Detailed Project Description: 48'x84' commercial use (office/warehouse) building. Post-frame construction. 10'x20' lean-to on the front.	
Total:	Notified:
Comments:	

11/25/2008
city ok

BUILDING DEPARTMENT APPLICATION POLICIES

1. Whenever plans have been submitted for review in connection with an application for a building permit, the applicant shall be responsible for payment of plan review or "plan check" fees. Such fees shall be payable whether or not a building permit is issued.
2. Plan check fees shall be calculated by the method set forth in the Uniform Building Code, 1997 Edition.
3. The applicant shall be notified by the Building Department upon completion of the plan check. Applicant must pay for and pick up a building permit or in the alternative, pay plan check fees only, within 60 days of such notification. Failure to do so will result in the matter being referred to the City Attorney for collection of plan check fees.
4. Where a plan check has been conducted, but no building permit is issued, a plan check for which fees have been paid in a timely manner shall be valid for a period of 30 days from the date of payment. Such plan check may be used to support a subsequent application for a building permit for the same project within that 30 day period without additional plan check fees; PROVIDED, HOWEVER, in the event of a change in building code requirements during such 30 day period, the validity of such plan check will terminate, and a new plan check, with appropriate payment of fees, must accompany any subsequent application.
5. No plan check will be valid following the expiration of the 30 day period noted above. An application for a building permit made after such 30 day period, including applications for identical projects on the same parcel of property, will require a new plan check and the applicant will be responsible for the new plan check fees.
6. Where a plan check has been conducted, but no building permit is issued, it shall be the applicant's responsibility to pick up all submitted plans and documents within 6 weeks following payment of the plan check fees. Following such 6 week period, the plans and documents may be discarded or destroyed by the Building Department.

By signature hereunder I certify I have read and understand the policies set forth above. I certify that I am the owner, or am acting as the Owner's authorized agent, and that the application and documents contained with this submittal are complete and accurate to the best of my knowledge and abilities.

Signature: 

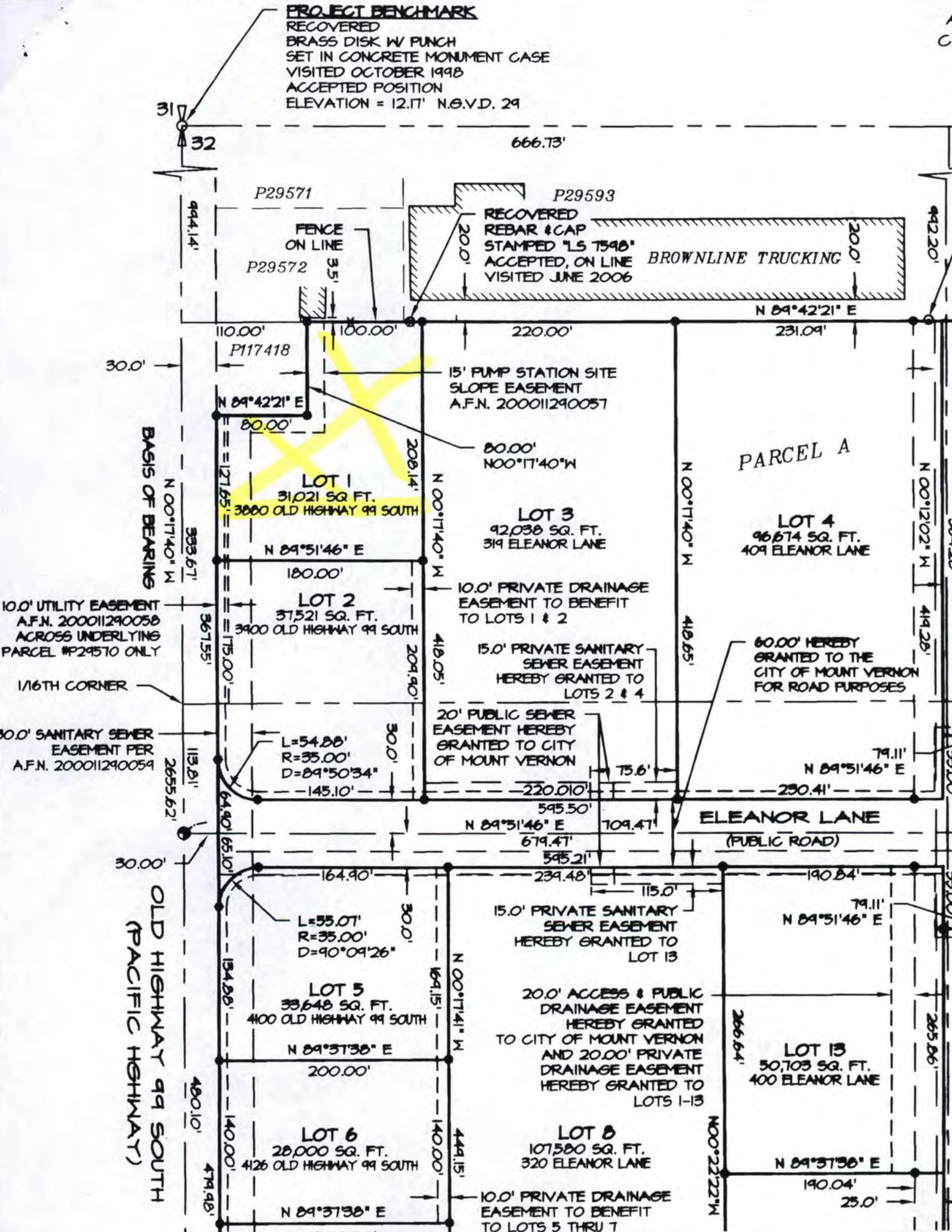
Date: 9/26/07

John Johnson - 360 293-9006

C:\Documents and Settings\lindably\Local Settings\Temporary Internet Files\OLK1B0\Permit Application new Routing.doc

PROJECT BENCHMARK

RECOVERED
BRASS DISK W/ PUNCH
SET IN CONCRETE MONUMENT CASE
VISITED OCTOBER 1998
ACCEPTED POSITION
ELEVATION = 12.17' N.G.V.D. 29



30.0'

BASIS OF BEARING

10.0' UTILITY EASEMENT
A.F.N. 200011290058
ACROSS UNDERLYING
PARCEL #P29570 ONLY

30.0' SANITARY SEWER
EASEMENT PER
A.F.N. 200011290059

OLD HIGHWAY 99 SOUTH
(PACIFIC HIGHWAY)

P29571

P29593

FENCE
ON LINE
P29572

RECOVERED
REBAR & CAP
STAMPED "LS T598"
ACCEPTED, ON LINE
VISITED JUNE 2006

BROWNLINE TRUCKING

15' PUMP STATION SITE
SLOPE EASEMENT
A.F.N. 200011290057

LOT 1
31,021 SQ. FT.
3000 OLD HIGHWAY 99 SOUTH

LOT 3
92,038 SQ. FT.
319 ELEANOR LANE

PARCEL A

LOT 4
96,674 SQ. FT.
409 ELEANOR LANE

LOT 2
37,521 SQ. FT.
3900 OLD HIGHWAY 99 SOUTH

10.0' PRIVATE DRAINAGE
EASEMENT TO BENEFIT
TO LOTS 1 & 2

15.0' PRIVATE SANITARY
SEWER EASEMENT
HEREBY GRANTED TO
LOTS 2 & 4

60.00' HEREBY
GRANTED TO THE
CITY OF MOUNT VERNON
FOR ROAD PURPOSES

20' PUBLIC SEWER
EASEMENT HEREBY
GRANTED TO CITY
OF MOUNT VERNON

ELEANOR LANE
(PUBLIC ROAD)

LOT 5
33,648 SQ. FT.
4100 OLD HIGHWAY 99 SOUTH

15.0' PRIVATE SANITARY
SEWER EASEMENT
HEREBY GRANTED TO
LOT 13

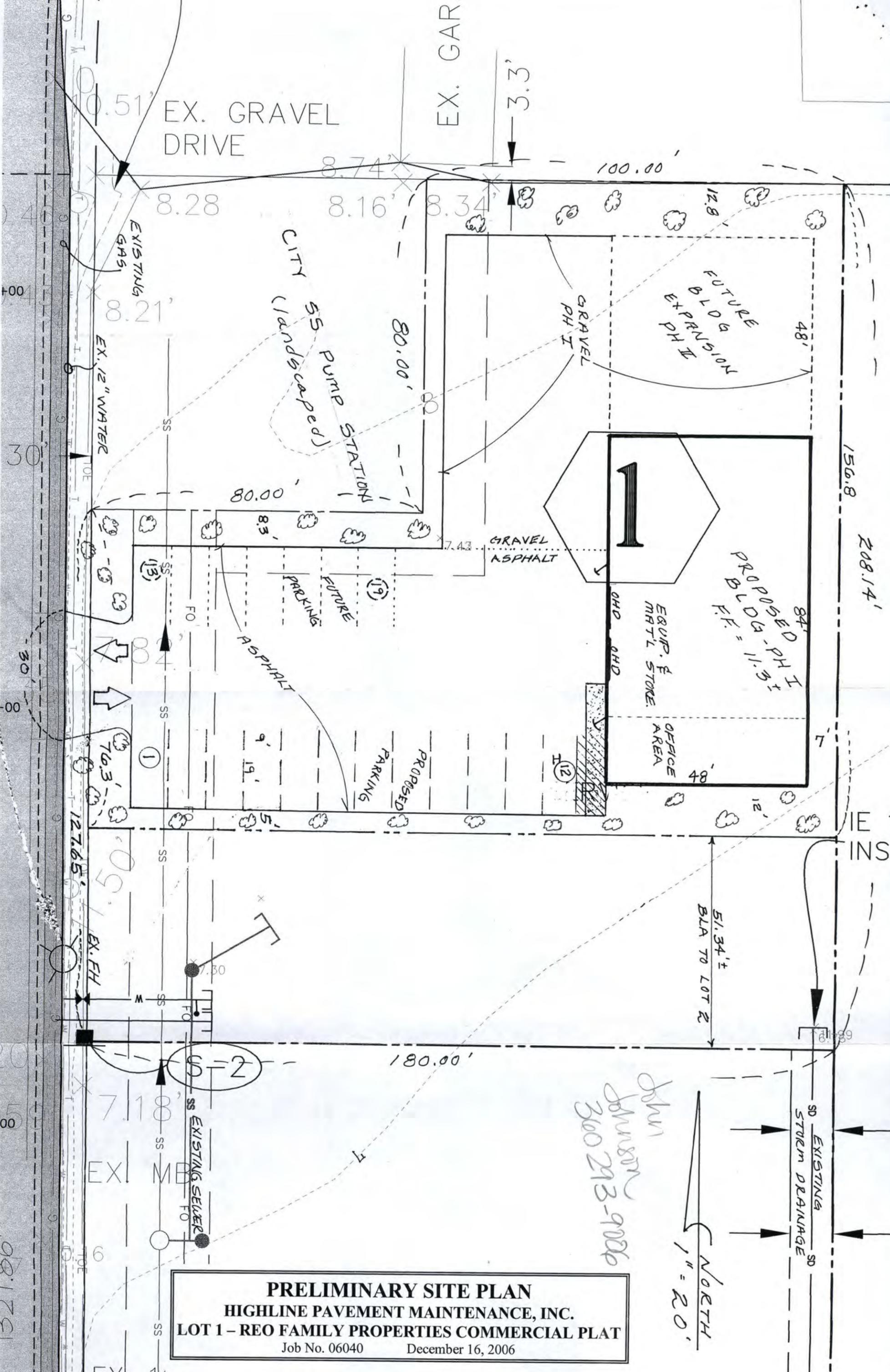
20.0' ACCESS & PUBLIC
DRAINAGE EASEMENT
HEREBY GRANTED
TO CITY OF MOUNT VERNON
AND 20.00' PRIVATE
DRAINAGE EASEMENT
HEREBY GRANTED TO
LOTS 1-13

LOT 13
50,703 SQ. FT.
400 ELEANOR LANE

LOT 6
28,000 SQ. FT.
4126 OLD HIGHWAY 99 SOUTH

LOT 8
107,580 SQ. FT.
320 ELEANOR LANE

10.0' PRIVATE DRAINAGE
EASEMENT TO BENEFIT
TO LOTS 5 THRU 7



PRELIMINARY SITE PLAN
HIGHLINE PAVEMENT MAINTENANCE, INC.
LOT 1 - REO FAMILY PROPERTIES COMMERCIAL PLAT
 Job No. 06040 December 16, 2006

John
 Johnson
 360 293-9006

NORTH
 1" = 20'

SD EXISTING
 STORM DRAINAGE

IE 1
 INST

51.34' ±
 B/LA TO LOT 2

180.00'

156.8
 208.14'

2

1

19

12

13

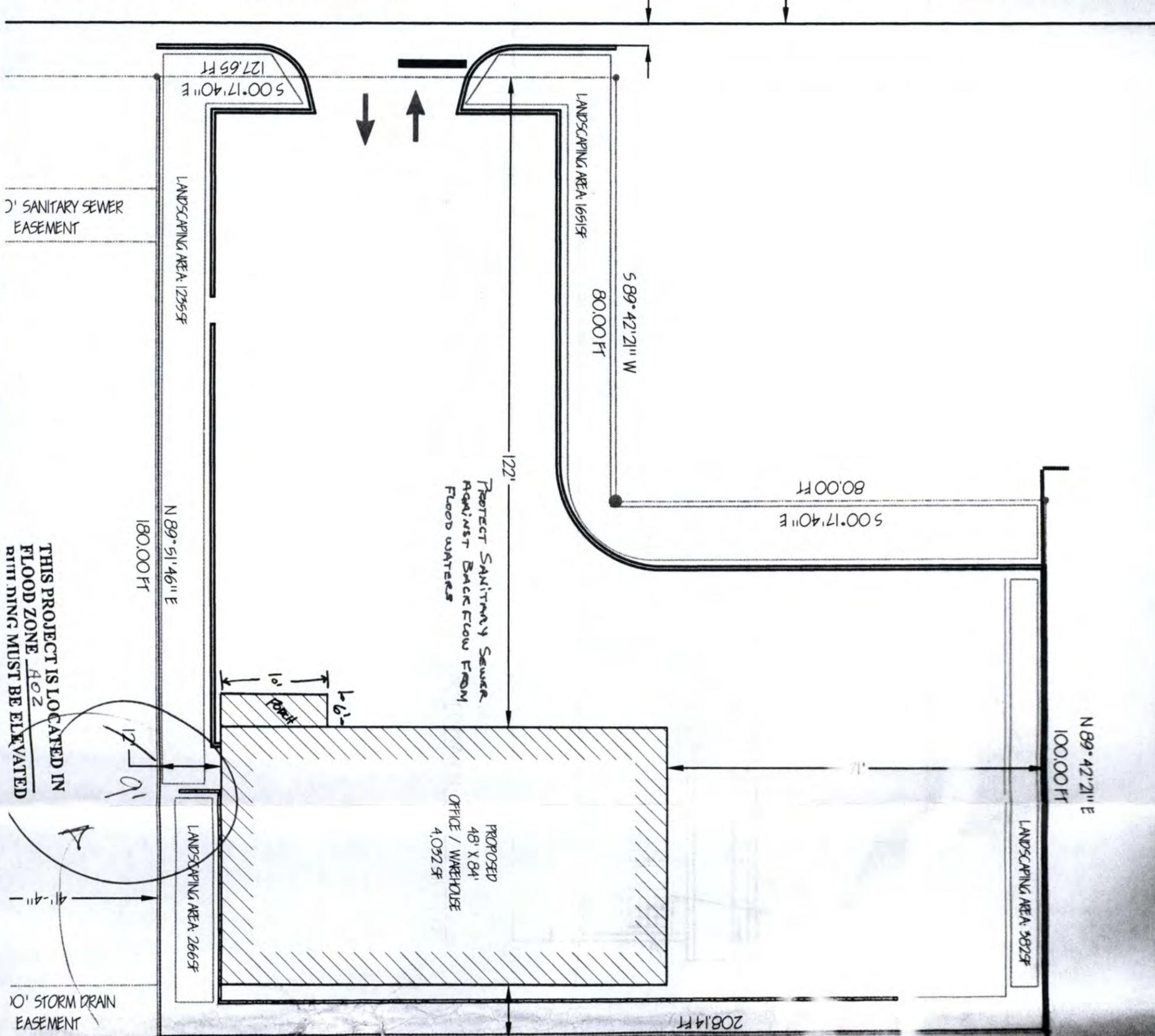
8

9

10

11

12



THIS PROJECT IS LOCATED IN
FLOOD ZONE A02
BUILDING MUST BE ELEVATED

STORM DRAIN
EASEMENT

*Change to 10' x 8' City Mill
Change to 10' x 8' City Mill
Change to 10' x 8' City Mill
Change to 10' x 8' City Mill*

IMPERVIOUS SURFACES

LOT AREA: 21,780 S.F. (0.5 ACRES)
EXISTING IMPERVIOUS SURFACES:

- 1. BUILDING: 0 SF.
- 2. GRAVEL: 0 SF.
- 3. ASPHALT PAVEMENT: 0 SF.
- TOTAL: 0 SF.

- PROPOSED IMPERVIOUS SURFACES:
- 1. BUILDING: 4,232 SF.
 - 2. ASPHALT PAVEMENT: 0 SF.
 - TOTAL: 4,232 SF.
- LOT COVERAGE: 19.4 %

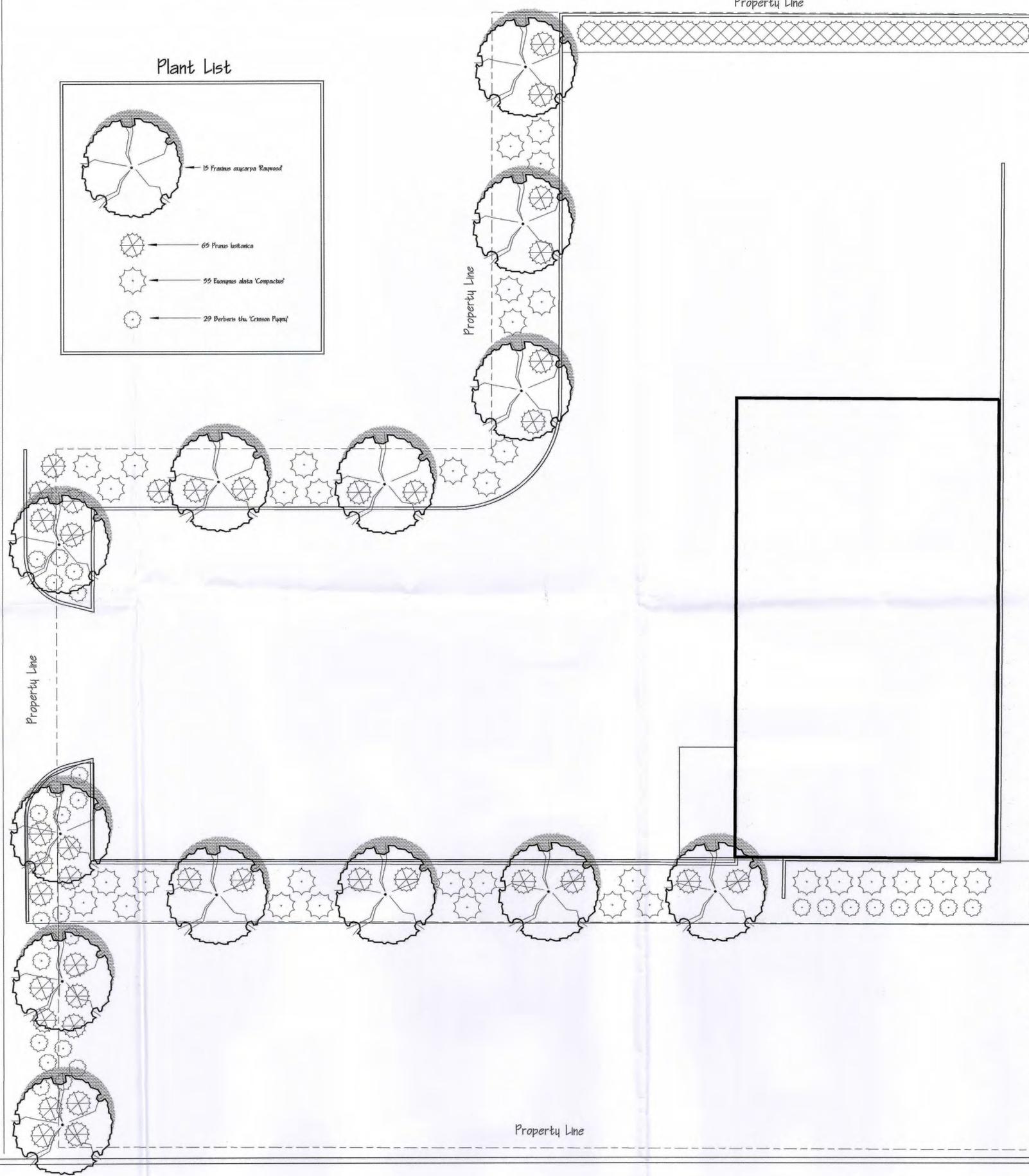
BUILDING INFORMATION

TYPE OF CONSTRUCTION: W
OCCUPANCY: WAREHOUSE
NUMBER OF STORES: 1

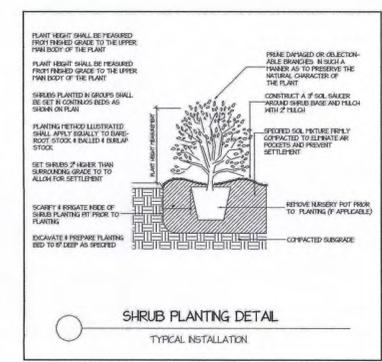
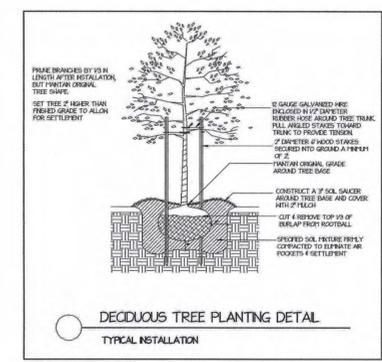
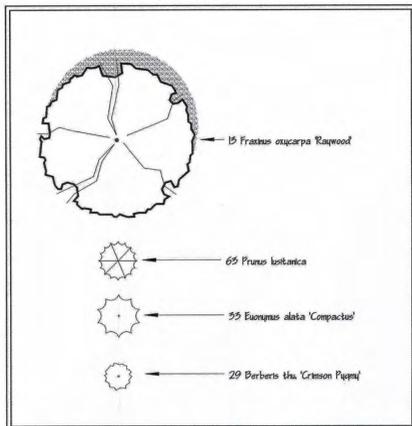
ALLOWABLE AREA CALCULATIONS

CL COMMERCIAL / LIMITED INDUSTRIAL
ADDRESS: 3880 OLD HIGHWAY 99 S,
MOUNTAIN VIEW, WA
MILL Y
PROP. COMM. T

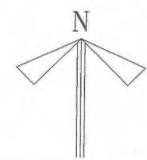
DOT-462
3880 Old Highway 99 S
Approved per K. Bradley



Plant List



NOTES
All measurements are estimations only. Please consult a professional surveyor prior to commencement of any construction work in order to verify property lines, easements, etc.
Call before you dig 1-800-424-5555
All plant beds to be mulched with 2" fine dark bark mulch
All shrubs 2 gallon or better in size
All trees 1 1/2" caliper or better in size
Total Lot Size: 2,065 sq. ft.
Total Landscaped Area: 511 sq. ft.



No.	Date	Description



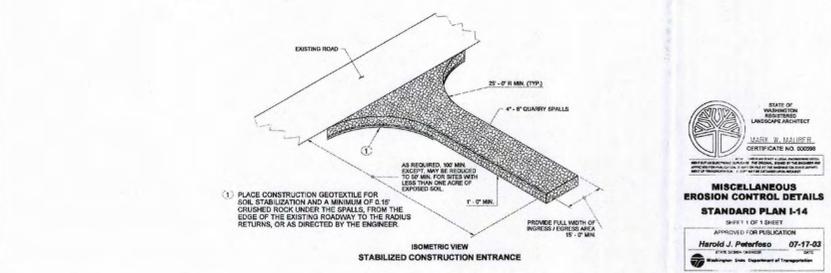
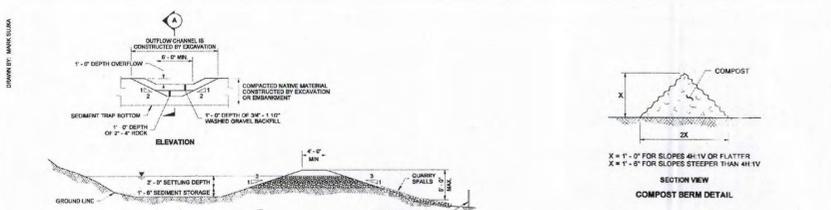
Landscape Plan

Shawn Hull Project

3880 Old Highway 99 S.

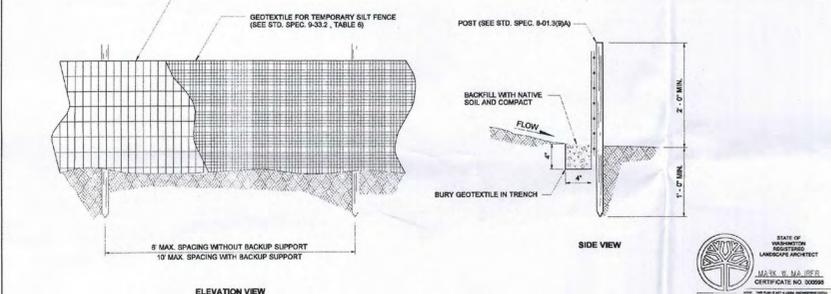
Mount Vernon, WA

SCALE: 1/4"	PROJECT NO: 00-490
DRAWN BY: Nathan Loeb	SHEET NO: L1
CHECKED BY:	
DATE: 10/16/07	
DATE OF PRINT:	



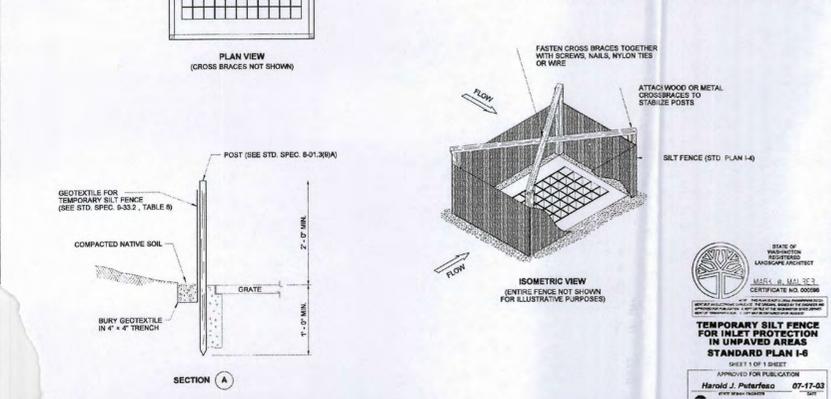
MISCELLANEOUS EROSION CONTROL DETAILS
 STANDARD PLAN I-4
 SHEET 1 OF 1 SHEET
 APPROVED FOR PUBLICATION
 Harold J. Peterfesa 07-17-03
 PROFESSIONAL ENGINEER
 STATE OF WASHINGTON
 LICENSE NO. 30099

- NOTES**
1. MAXIMIZE DEFLECTION OF SEDIMENT BY PLACING FENCE AS FAR AWAY FROM THE TOE OF SLOPE AS POSSIBLE WITHOUT ENCRUING ON SENSITIVE AREAS OR OUTSIDE OF THE CLEARING BOUNDARIES.
 2. INSTALL SILT FENCING ALONG CONTOURS WHENEVER POSSIBLE.
 3. INSTALL THE ENDS OF THE SILT FENCE TO POINT SLIGHTLY UP SLOPE TO PREVENT SEDIMENT FROM FLOWING AROUND THE ENDS OF THE FENCE.
 4. PERFORM MAINTENANCE IN ACCORDANCE WITH STANDARD SPECIFICATIONS 8-01.30(A) AND 8-01.31(B).



SILT FENCE
 STANDARD PLAN I-4
 SHEET 1 OF 1 SHEET
 APPROVED FOR PUBLICATION
 Harold J. Peterfesa 07-17-03
 PROFESSIONAL ENGINEER
 STATE OF WASHINGTON
 LICENSE NO. 30099

- NOTES**
1. PREFABRICATED UNITS MAY BE USED IN LIEU OF THE DESIGN SHOWN ON THIS PLAN UPON APPROVAL OF THE ENGINEER.
 2. STRUCTURE SHALL BE CONSTRUCTED SUCH THAT GEOTEXTILE MATERIAL SHALL BE FASTENED TO POSTS CREATING A SEAMLESS JOINT.
 3. ENSURE THAT POKING HEIGHT OF WATER DOES NOT CAUSE FLOODING ON ADJACENT ROADWAYS OR PRIVATE PROPERTY.
 4. PERFORM MAINTENANCE IN ACCORDANCE WITH STANDARD SPECIFICATION 8-01.31(B).



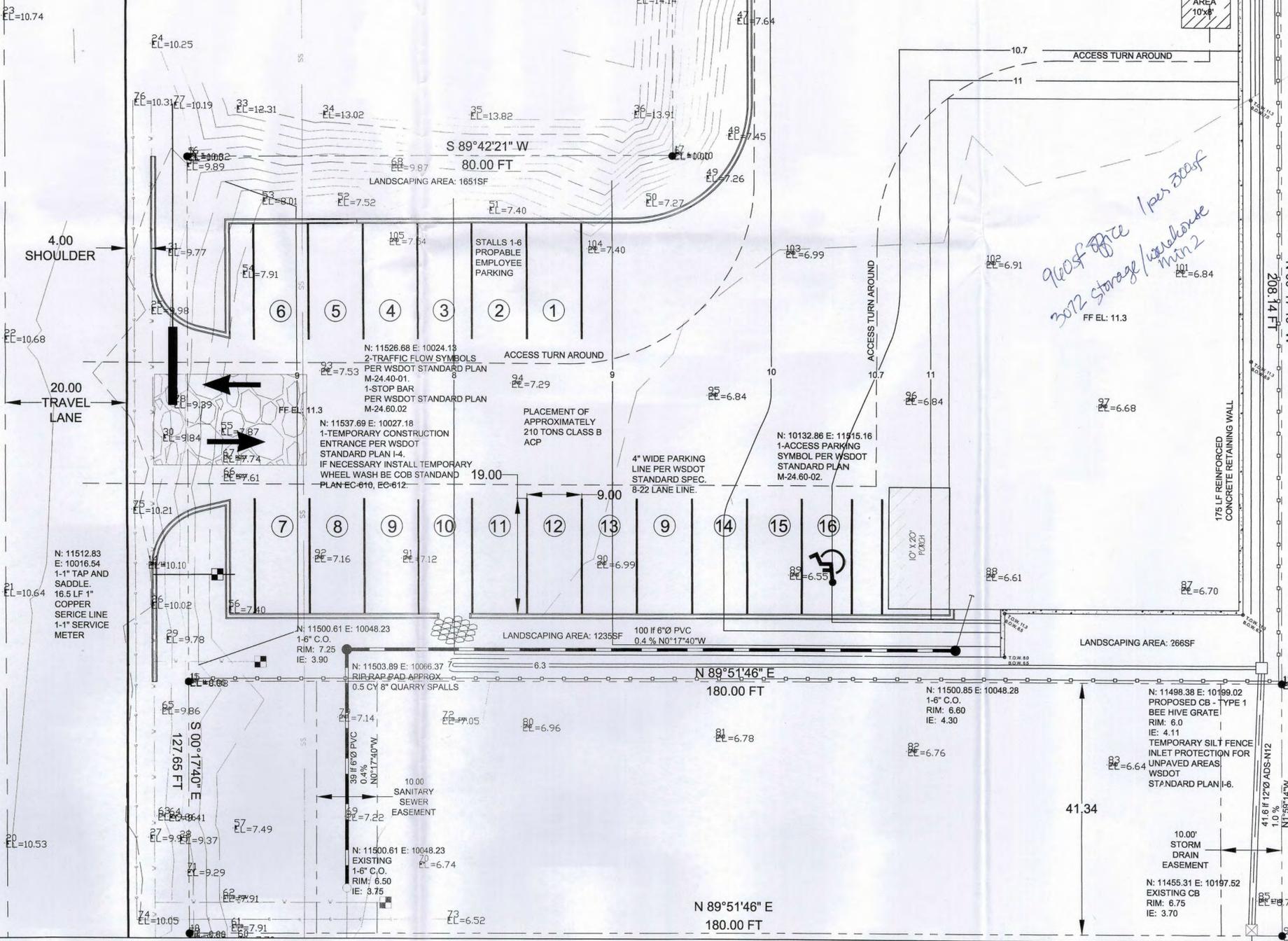
TEMPORARY SILT FENCE FOR INLET PROTECTION IN UNPAVED AREAS
 STANDARD PLAN I-6
 SHEET 1 OF 1 SHEET
 APPROVED FOR PUBLICATION
 Harold J. Peterfesa 07-17-03
 PROFESSIONAL ENGINEER
 STATE OF WASHINGTON
 LICENSE NO. 30099



This plan sheet is approved for construction in accordance with the City of Mount Vernon ordinances and policies. This plan sheet does not imply or convey permission to construct any item unless accompanied by an approved permit covering the work. All permits must be on a City approved form reviewed for compliance to City Codes. Actual conformance of the design with applicable laws is the sole responsibility of the professional engineer whose name and stamp appear on this sheet. Acquiring, complying with and providing mitigation for all Federal, State, County and Local laws, permits and mandates, including but not limited to the Endangered Species Act, Federal Wetland Permit, State Department of Fisheries Hydraulics Permit, Federal Flood plain Permits, National Pollutant Discharge Elimination System Permits is the responsibility of the Developer, Landowner and their Engineer. The issuance of this plan shall not be construed as proof of compliance with applicable laws and permit requirements.

APPROVED BY: _____ Date _____

This approval will expire in one year from the date noted above.



*900sf office 1 per zone
 3002 storage / warehouse min 2*

DESIGNED	DATE	BY
DRAWN	DATE	BY
CHECKED	DATE	BY

SCHEMMER ENGINEERING INC.
 317 COMMERCIAL AVENUE, SUITE 101
 ANACORTES, WA 98221 (360) 293-9006

TESC/GRADING/SITE PLAN/LANDSCAPE
SHAWN HULL, OWNER
 3880 OLD HIGHWAY 99 SOUTH
 MOUNT VERNON, WA

JOB NO.	07-112
SHEET	C2
	2 OF 4

When recorded return to:

Mr. Shawn Hull, Member
P.O. Box 29236
Bellingham, WA 98228



200702280142
Skagit County Auditor

2/28/2007 Page 1 of 1 12:09PM

Filed for Record at Request of
Land Title Company of Skagit
Escrow Number: 124214-PE

Grantor: REO Family Properties, LLC
Grantee: Highline Holdings, LLC

LAND TITLE OF SKAGIT COUNTY

Statutory Warranty Deed

THE GRANTOR REO FAMILY PROPERTIES LLC, a Washington Limited Liability Company for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid, conveys and warrants to HIGHLINE HOLDINGS, LLC, a Washington Limited Liability Company the following described real estate, situated in the County of Skagit, State of Washington:

Abbreviated Legal: Lot 1, Plat Of Reo Family Properties, LLC

Tax Parcel Number(s): 4899-000-001-0000(P124753)

Lot 1, "PLAT OF REO FAMILY PROPERTIES, LLC" as per plat recorded on July 7, 2006 under Auditor's File No. 200607070069 records of Skagit County, Washington.

EXCEPT the South 41.34 feet thereof.

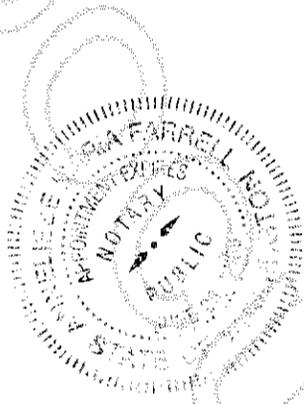
Situate in the City of Mount Vernon, County of Skagit, State of Washington.

Subject to all covenants, conditions, restrictions, reservations, agreements and easements of record including, but not limited to, those shown on Schedule "B-1" of Land Title Company's Preliminary Commitment No. 124214-PE.

Dated February 21, 2007

REO Family Properties, LLC

By: Rodney E. Olson, General Manager



STATE OF Washington }
County of Skagit } SS:
I certify that I know or have satisfactory evidence Rodney E. Olson is
the person who appeared before
me, and said person acknowledged that he signed this instrument, on oath stated He is
authorized to execute the instrument and is The Temporary General Manager
of ReO Family Properties, LLC
to be the free and voluntary act of such party for the uses and purposes mentioned in this instrument.

Dated: 2/28/07
879

SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

Anneliese Maria Farrell
Notary Public in and for the State of Washington
Residing at La Conner
My appointment expires: 6/28/2008

FEB 28 2007
Amount Paid \$ 3106.47
By Skagit Co. Treasurer
Deputy

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 82



Sewer Inspection Record

City of Mount Vernon
910 Cleveland Avenue
Mount Vernon, WA 98273
(360) 336-6243

Issue Date: Monday, July 02, 2012	Parcel#: P120400	Permit#: PR20120000397										
Site Address: 2520 CEDARDALE ROAD	Legal Description: (DR17 DK03) LOT 4 OF BINDING SITE PLAN PL03-0071, AF#200305070015. ALSO TOGETHER WITH THAT PORTION OF TRACT A OF BINDING SITE PLAN NO. PLO3-0071, RECORDED MAY 7, 2003, UNDER AUDITOR'S FILE NO. 200305070015, RECORDS OF SKAGIT COUNTY, WASHINGTON, AND BEING	Use Zone: Other										
Owner's Name: ANDERSON GARY E ANDERSON TERRY A, 85 E VISTA DEL MAR CAMANO ISLAND, WA 98282	<table style="width: 100%; border: none;"> <tr> <td><u>Square Footage</u></td> <td><u>Setbacks</u></td> </tr> <tr> <td>Building:</td> <td>Front:</td> </tr> <tr> <td>Porch:</td> <td>Side:</td> </tr> <tr> <td>Garage:</td> <td>Side:</td> </tr> <tr> <td>Deck:</td> <td>Rear:</td> </tr> </table>	<u>Square Footage</u>	<u>Setbacks</u>	Building:	Front:	Porch:	Side:	Garage:	Side:	Deck:	Rear:	Occupancy Use: Utility & Miscellaneous Construction type: Dwelling Units: No. of Bedrooms:
<u>Square Footage</u>	<u>Setbacks</u>											
Building:	Front:											
Porch:	Side:											
Garage:	Side:											
Deck:	Rear:											
Contractor's Name: Commercial Plumbing Incorporated 1900 Railroad Avenue Mount Vernon, WA 98273	Conditions/Comments:	To perform the following work: side sewer repair										

Condition	Description	Status	Department

<p>1. Foundation. Property lines must be staked</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Inspection</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr><td>Temp Erosion Control</td><td></td><td></td></tr> <tr><td>Temp Address</td><td></td><td></td></tr> <tr><td>Setbacks</td><td></td><td></td></tr> <tr><td>Footing Reinforcement</td><td></td><td></td></tr> <tr><td>Wall & Reinforcement</td><td></td><td></td></tr> <tr><td>Monopour</td><td></td><td></td></tr> <tr><td>Slab w/ Insulation</td><td></td><td></td></tr> <tr><td>Ground Work Plumbing</td><td></td><td></td></tr> <tr><td>Hold Downs</td><td></td><td></td></tr> </tbody> </table> <p>2. Plumbing/Heat/Ventilation.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Inspection</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr><td>Rough Plumbing</td><td></td><td></td></tr> <tr><td>Rough Heat & Vent Duct</td><td></td><td></td></tr> <tr><td>Duct Test</td><td></td><td></td></tr> <tr><td>Exhaust Fan</td><td></td><td></td></tr> <tr><td>Water Heater (Electric)</td><td></td><td></td></tr> </tbody> </table> <p>3. Mechanical</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Inspection</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr><td>Woodstove</td><td></td><td></td></tr> <tr><td>Gas Fireplace</td><td></td><td></td></tr> <tr><td>Gas Furnace</td><td></td><td></td></tr> <tr><td>Gas Water Heater</td><td></td><td></td></tr> <tr><td>Gas Piping</td><td></td><td></td></tr> </tbody> </table>	Inspection	Date	By	Temp Erosion Control			Temp Address			Setbacks			Footing Reinforcement			Wall & Reinforcement			Monopour			Slab w/ Insulation			Ground Work Plumbing			Hold Downs			Inspection	Date	By	Rough Plumbing			Rough Heat & Vent Duct			Duct Test			Exhaust Fan			Water Heater (Electric)			Inspection	Date	By	Woodstove			Gas Fireplace			Gas Furnace			Gas Water Heater			Gas Piping			<p>4. Framing. All Prior Corrections to be made</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Inspection</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr><td>Shearwall Nailing</td><td></td><td></td></tr> <tr><td>Bracing Panels</td><td></td><td></td></tr> <tr><td>Subfloor Framing</td><td></td><td></td></tr> <tr><td>Flood Elevation Certificate</td><td></td><td></td></tr> <tr><td>Framing</td><td></td><td></td></tr> </tbody> </table> <p>5. Insulation. All Framing Corrections Must be done.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Inspection</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr><td>Attic - Ceiling</td><td></td><td></td></tr> <tr><td>Batts @ Vault</td><td></td><td></td></tr> <tr><td>Floor</td><td></td><td></td></tr> <tr><td>Wall Insulation</td><td></td><td></td></tr> <tr><td>Insulation Certificate</td><td></td><td></td></tr> </tbody> </table> <p>6. Drywall</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Inspection</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr><td>Wall Board Nailing</td><td></td><td></td></tr> <tr><td>Rated Separation Walls</td><td></td><td></td></tr> <tr><td>Suspended Ceilings</td><td></td><td></td></tr> </tbody> </table> <p>7. Improvements</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Inspection</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr><td>Water Line</td><td></td><td></td></tr> <tr><td>Perimeter Drainage</td><td></td><td></td></tr> <tr><td>Sewer Line</td><td>7-2-12</td><td>JJ</td></tr> <tr><td>Driveway</td><td></td><td></td></tr> <tr><td>Parking Striping/Signage</td><td></td><td></td></tr> <tr><td>Sidewalk Curbout</td><td></td><td></td></tr> </tbody> </table>	Inspection	Date	By	Shearwall Nailing			Bracing Panels			Subfloor Framing			Flood Elevation Certificate			Framing			Inspection	Date	By	Attic - Ceiling			Batts @ Vault			Floor			Wall Insulation			Insulation Certificate			Inspection	Date	By	Wall Board Nailing			Rated Separation Walls			Suspended Ceilings			Inspection	Date	By	Water Line			Perimeter Drainage			Sewer Line	7-2-12	JJ	Driveway			Parking Striping/Signage			Sidewalk Curbout			<p>8. Design Standards</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Inspection</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr><td>Elevation/Facade</td><td></td><td></td></tr> <tr><td>Fencing</td><td></td><td></td></tr> <tr><td>Landscape</td><td></td><td></td></tr> </tbody> </table> <p>9. Manufactured/Portables</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Inspection</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr><td>Blocking & Tie Down</td><td></td><td></td></tr> <tr><td>Final</td><td></td><td></td></tr> <tr><td>Title Elimination</td><td></td><td></td></tr> </tbody> </table> <p>10. Final. All Corrections Must be done.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Inspection</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr><td>NREC Commissioning</td><td></td><td></td></tr> <tr><td>Asbuilts Comm. Mylar & Elec</td><td></td><td></td></tr> <tr><td>Asbuilts Res Utility</td><td></td><td></td></tr> <tr><td>Asbuilt Cash Security</td><td></td><td></td></tr> <tr><td>Special Insp. Closeout Letter</td><td></td><td></td></tr> <tr><td>Architect/Engineer sign off</td><td></td><td></td></tr> <tr><td>Landscape</td><td></td><td></td></tr> <tr><td>Landscape Cash Security</td><td></td><td></td></tr> <tr><td>Flood Elevation Certificate</td><td></td><td></td></tr> <tr><td>Finished Grade</td><td></td><td></td></tr> <tr><td>Electrical</td><td></td><td></td></tr> <tr><td>Fire Department</td><td></td><td></td></tr> <tr><td>Final for Occupancy</td><td></td><td></td></tr> </tbody> </table>	Inspection	Date	By	Elevation/Facade			Fencing			Landscape			Inspection	Date	By	Blocking & Tie Down			Final			Title Elimination			Inspection	Date	By	NREC Commissioning			Asbuilts Comm. Mylar & Elec			Asbuilts Res Utility			Asbuilt Cash Security			Special Insp. Closeout Letter			Architect/Engineer sign off			Landscape			Landscape Cash Security			Flood Elevation Certificate			Finished Grade			Electrical			Fire Department			Final for Occupancy		
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Conditions Notes:



Sewer Permit

City of Mount Vernon
 910 Cleveland Avenue
 Mount Vernon, WA 98273
 (360) 336-6214

Issue Date: Monday, July 02, 2012	Parcel#: P120400	Permit#: PR20120000397
Site Address: 2520 CEDARDALE ROAD	Sign Size:	Use Zone: Other
Owner's Name: ANDERSON GARY E ANDERSON TERRY A, 85 E VISTA DEL MAR CAMANO ISLAND, WA 98282	<u>Square Footage</u> <u>Setbacks</u> Building: Front: Porch: Side: Garage: Side: Deck: Rear:	Occupancy Use: Utility & Miscellaneous Construction type: Dwelling Units: No. of Bedrooms: Total Valuation:
Contractor's Name: Commercial Plumbing Incorporated 1900 Railroad Avenue Mount Vernon, WA 98273	Conditions/Comments:	To perform the following work: side sewer repair

Legal Description:

(DR17 DK03) LOT 4 OF BINDING SITE PLAN PL03-0071, AF#200305070015. ALSO TOGETHER WITH THAT PORTION OF TRACT A OF BINDING SITE PLAN NO. PLO3-0071, RECORDED MAY 7, 2003, UNDER AUDITOR'S FILE NO. 200305070015, RECORDS OF SKAGIT COUNTY, WASHINGTON, AND BEING

Condition	Description	Status	Department	Total Fees	Amount
				Sewer Repair - 2030	\$25.00
				Total Due	\$25.00

Notice: This permit is issued by the Building Official and, under provisions of the international Building Code, shall expire by limitation and become null and void if the building or work authorized by such permit is not commenced within 180 days from the date of permit issuance, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days. By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not, including calls for inspections. I will do all of my own work or use only registered and licensed contractors to do work performed under the permit resulting from this application. I understand that L & I provides information regarding contractor registration laws. (RCW 18.27.110)

 Signature of Owner/Agent

7-2-2012

 Date

When signed and dated below, this is your permit. Permission is hereby given to do the aboved described work, according to the conditions hereon and according to the approved plans and specifications pertaining thereto, subject to compliance with the ordinances of the City of Mount Vernon.

 Building Official

LB

 Permit Issued By

7-2-12

 Date

CITY OF MOUNT VERNON
APPLICATION FOR SIDE SEWER REPAIR, SEWER CAP or REPLACEMENT
 Community & Economic Development Department (360) 336-6214

Site Address		
Owner <input checked="" type="checkbox"/> Tenant <input type="checkbox"/> Registered Agent <input type="checkbox"/>		
Name <i>Judd + Black</i>		
Address <i>2520 E Ledger Lake Rd</i>		
City <i>MV</i>	Zip <i>98274</i>	Phone
Contractor's Name- <i>CPI</i>		
Address CPI <i>1900 Railroad Ave</i>		
City <i>MV</i>	Zip <i>98273</i>	Phone <i>360 428-5636</i>
Labor & Industries License/Exp. Date		
<u>You must have a licensed contractor to work in the ROW</u>		
Parcel #		
Type of Permit		
<input type="checkbox"/> Residential <input checked="" type="checkbox"/> Non-Residential		
<input checked="" type="checkbox"/> Repair <input type="checkbox"/> Replace		
Occupancy Use		
<input type="checkbox"/> Single Family	<input type="checkbox"/> Multi-Family	<input type="checkbox"/> Office
<input checked="" type="checkbox"/> Retail	<input type="checkbox"/> Church	<input type="checkbox"/> Restaurant
<input type="checkbox"/> School	<input type="checkbox"/> Storage	<input type="checkbox"/> Manufacturing
<input type="checkbox"/> Other		
By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent, and that the application and documents contained with this submittal are complete and accurate to the best of my knowledge and abilities.		
<i>[Signature]</i>		<i>7.2.2012</i>
Signature of Owner/Agent		Date
<i>Ron</i>		<i>360 428-5636</i>
Project Contact		Phone Number
Fax Number		E-mail Address
Conditions/Comments		

Application Checklist		
Applicant	Item	Office
	Application	
	ROW Application	
FEES		
Repair/Cap	\$25.00	
Replace	\$50.00	
Right of Way		
Other/Review		
TOTAL FEES		

NOTE: As Built is required at Final Inspection

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 83

For Record at Request of
Starkenburg-Kroontje
Attorney at Law, P.S.
P.O. Box 231
Lynden, WA 98264



201306120105

Skagit County Auditor \$73.00
6/12/2013 Page 1 of 2 2:21PM

AFTER RECORDING RETURN TO:

Name: Brim Properties, L.L.C.
Address: 223 E. Wisner Lake Road
City/State: Lynden, WA 98264

QUIT CLAIM DEED

THE GRANTOR Daniel G. Brim and Teresa J. Brim, husband and wife
for and in consideration of mere change of identity
conveys and quit claim to Brim Properties, L.L.C., a Washington limited liability company
the following described real estate, together with all after acquired title, situated in the County of Skagit, State of Washington:

Lots 2 and 3 of the Binding Site Plan No. PL03-0071, recorded May 7, 2003 under Auditor's File No. 200305070015, records of Skagit County, Washington, and being a portion of the Southeast quarter of the Southwest quarter of Section 29, Township 34 North, Range 4 East of W.M. Situate in Skagit County, Washington.

Subject to and together with all easements, restrictions and reservations of record.

Assessor's Property Tax Parcel/Account Number(s): P120398 and P120399

SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

20132187
JUN 12 2013

Dated this 17th day of December, 2012.

Amount Paid \$8
Skagit Co. Treasurer
By *man* Deputy

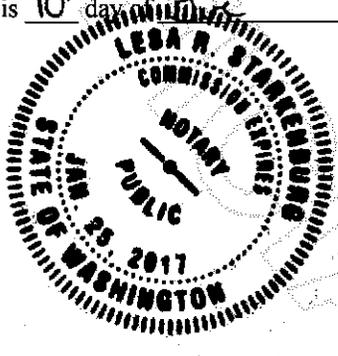
Daniel G. Brim

Teresa J. Brim

STATE OF WASHINGTON)
)) ss.
COUNTY OF WHATCOM)

I certify that I know or have satisfactory evidence that **Daniel G. and Teresa J. Brim**, signed this Quit Claim Deed and acknowledged the same as their free and voluntary act for the uses and purposes mentioned in the instrument.

Dated this 10th day of October, 2013.



Lesla R. Starkenburg
Notary Public in and for the State of
Washington, residing in Lynden
My commission expires: 1/25/17



201306120105



LU # 06 - 015

CITY OF MOUNT VERNON
 RECEIVED
 CITY OF MOUNT VERNON

Development Services Department
 910 Cleveland Avenue
 P.O. Box 809
 Mount Vernon, WA 98273
 Phone: (360) 336-6214 • FAX: (360) 336-6283
 website: www.ci.mount-vernion.wa.us

JAN 31 2006

C.E.D. DEPARTMENT BY _____

Land Use Permit Master Application

PROPERTY OWNER(S)	
NOTE: If there is more than one legal owner, please attach an additional notarized Master Application for each owner.	
NAME: DAN BRIM	
ADDRESS: 223 E. WISER LAKE RD	
CITY/STATE: LYNDEN WA	ZIP: 98264
TELEPHONE NUMBER: 360-815-4667 CELL	
APPLICANT (if other than owner)	
NAME:	
COMPANY: (If applicable)	
ADDRESS:	
CITY/STATE:	ZIP:
TELEPHONE NUMBER:	
CONTRACTOR	
(Attach copy of L&I contractor's license number)	
NAME:	
COMPANY: (If applicable)	
ADDRESS:	
CITY/STATE:	ZIP:
TELEPHONE NUMBER and EMAIL ADDRESS:	

PROJECT INFORMATION
Project or development name:
Property/project address(es)/location: 16768 BUDGETT ROAD MT VERNON, WA
Skagit County Assessor's parcel number: P28081 P28082 P90501
Existing land use(s): RESIDENTIAL
Proposed land uses: COMMERCIAL
Existing comprehensive plan map designation: SF-MED
Proposed comprehensive plan map designation: C-L
Existing Zoning: A-1, 9.6 (4.0)
Proposed Zoning (if applicable): C-L
Site Area (Sq. Ft. or acreage): 3.27 ACRES
Project value:
Is the site located in any type of environmentally sensitive area?

LEGAL DESCRIPTION OF PROPERTY (ATTACH SEPARATE SHEET IF NECESSARY)

TYPE OF APPLICATION & FEES
 Check all application types that apply - City staff will determine fees

Annexation	\$
<input checked="" type="checkbox"/> Comp. Plan Amendment	\$ 1000
Rezone	\$
Special Use Permit	\$
Conditional Use Permit	\$
Site Plan Approval	\$
Fill and Grade Permit	\$
# of cubic yards: _____	
Variance	\$
from section: _____	
Waiver	\$
Wetland Permit	\$
Binding Site Plan	\$
Temporary Use Permit	\$
Shoreline Reviews:	
Substantial Development	\$
Conditional Use	\$
Variance	\$
Exemption	\$
Revision	\$

Subdivision:	
Boundary line adjustment	\$
Short Plat	\$
Preliminary Plat	\$
Final Plat	\$
Master Plan	\$
Planned Unit Development:	
Preliminary	\$
Final	\$
PUD public notification sign	\$
Mobile Home Parks (Special Use)	\$
Environmental Review (SEPA)	\$
Land Use Change Sign	\$ 10-
Postage 2x16x.39	\$ 12.48

AFFIDAVIT OF OWNERSHIP

I, Daniel Brim, declare that I am (please check one) the

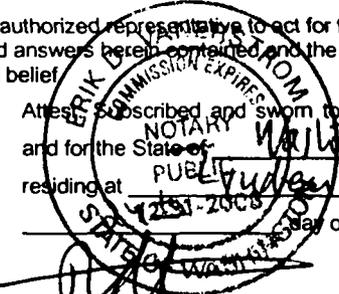
owner of the property involved in this application, _____ the authorized representative to act for the property owner (please attach proof of authorization), and that the foregoing statements and answers herein contained, and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.

Daniel Brim
 (Name of Owner/Representative)

[Signature]
 (Signature of Owner/Representative)

Attest, Subscribed and sworn to before me, a Notary Public, in and for the State of North Carolina residing at [Address], on the _____ day of January 2006.

[Signature]
 (Signature of Notary Public)



(This section to be completed by City Staff.)
 A BLA BSP CPA CUP ER FPUD FP F&G MHP MP PP PPUD R SPA S/P SME SUP TUD V/A V/STON WP
 TOTAL FEES: \$ _____ RECEIPT

1022.48



LU 06-015

CITY OF MOUNT VERNON

Development Services Department
910 Cleveland Avenue
P.O. Box 809

Mount Vernon, WA 98273

Phone: (360) 336-6214 • FAX: (360) 336-6283

website: www.ci.mount-vernon.wa.us

Land Use Permit Master Application

PROPERTY OWNER(S)	
NOTE: If there is more than one legal owner, please attach an additional notarized Master Application for each owner.	
NAME: Anderson ^{WA} LLC Attn: Mike Fohn	
ADDRESS: P.O. Box 650	
CITY/STATE:	ZIP:
Burien WA	98233
TELEPHONE NUMBER: 360-757-2700	
APPLICANT (if other than owner)	
NAME:	
COMPANY: (If applicable)	
ADDRESS:	
CITY/STATE:	ZIP:
TELEPHONE NUMBER:	
CONTRACTOR (Attach copy of L&I contractor's license number)	
NAME:	
COMPANY: (If applicable)	
ADDRESS:	
CITY/STATE:	ZIP:
TELEPHONE NUMBER and EMAIL ADDRESS:	

PROJECT INFORMATION	
Project or development name:	
Property/project address(es)/location:	
Skagit County Assessor's parcel number: D28736	
Existing land use(s):	
Proposed land uses:	
Existing comprehensive plan map designation: SF-MED	
Proposed comprehensive plan map designation: C-L	
Existing Zoning: R-1, 4.0	
Proposed Zoning (if applicable): C-L	
Site Area (Sq. Ft. or acreage):	
Project value:	
Is the site located in any type of environmentally sensitive area?	

LEGAL DESCRIPTION OF PROPERTY (ATTACH SEPARATE SHEET IF NECESSARY)

TYPE OF APPLICATION & FEES
Check all application types that apply - City staff will determine fees.

Annexation	\$
Comp. Plan Amendment	\$
Comp. Sign plan	
Special Use Permit	\$
Conditional Use Permit	\$
Site Plan Approval	\$
Fill and Grade Permit	\$
# of cubic yards: _____	
Variance	\$
Rezone	\$
Waiver	\$
Wetland Permit	\$
Binding Site Plan	\$
Temporary Use Permit	\$
Shoreline Reviews:	
Substantial Development	\$
Conditional Use	\$
Variance	\$
Exemption	\$
Revision	\$

Subdivision:	
Boundary line adjustment	\$
Short Plat	\$
Preliminary Plat	\$
Final Plat	\$
Master Plan	\$
Planned Unit Development:	
Preliminary	\$
Final	\$
PUD public notification sign	\$
Mobile Home Parks (Special Use)	\$
Environmental Review (SEPA)	\$
Land Use Change Sign	\$
Postage	\$

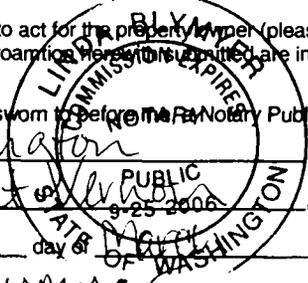
AFFIDAVIT OF OWNERSHIP

I, MICHAEL V. FULTON MAYOR declare that I am (please check one) MAAYOR the owner of the property involved in this application, the authorized representative to act for the property owner (please attach proof of authorization), and that the foregoing statements and answers herein contained and the information hereon submitted are in all respects true and correct to the best of my knowledge and belief.

ANDERSON AUTO LLC
Michael V. Fulton
 (Name of Owner/Representative)

Anderson Auto LLC
Michael V. Fulton
 (Signature of Owner/Representative)

Attest: Subscribed and sworn to before me a Notary Public, in and for the State of Washington residing at Mount Vernon on the 10th day of April 2006.
Linda Blumeyer
 (Signature of Notary Public)



(This section to be completed by City Staff.)
 A BLA BSP CPA CUP ER FPUD FP F&G MHP MP PP PPUD R SPA S/P SME SUP TUP V-A V-H W WP
 TOTAL FEES: \$ _____ RECEIPT #:

Narrative

RECEIVED
CITY OF MOUNT VERNON

JAN 31 2006

To expand adjacent commercial zoning to allow storage of agricultural equipment on part of this three acre parcel sandwiched between ~~C-L zoning~~ and Blodgett Road. There is a house on the north east corner of the property. A barn and shed are situated along the northern property line. The acreage is in pasture grass and has had horses on it. The property to the south and parts of this property have wetland issues.

C.E.D. DEPARTMENT

BY

File No.: 06-015

PERMIT TRACKING FORM

APPLICATION NAME:	BRIM
SUBMITTAL DATE:	1-31-06
NOTICE OF TECHNICALLY COMPLETE:	MAY 3, 2006
NOTICE OF INCOMPLETE (NOI):	N/A
RESPONSE DEADLINE FOR NOI, IF APPLICABLE:	N/A
ROUTED TO CITY STAFF/AGENCIES FOR REVIEW:	APRIL 2006
RESPONSE DEADLINE:	
RESPONSE(S) RECEIVED:	Nothing from City Staff.
NOA/PROPOSED DNS/NOH PUBLISHED/SENT TO SURROUNDING PROPERTY OWNERS/AGENCIES:	MAY 11, 2006
RESPONSE DEADLINE:	MAY 25, 2006
RESPONSE(S) RECEIVED:	POR: see file
DNS PUBLISHED/SENT TO AGENCIES AND PARTIES OF RECORD (POR):	MAY 30, 2006
HEARING EXAMINER (HEX) / PLANNING COMMISSION:	PC on 6/6 & 6/20
HEX/PC DECISION RECEIVED:	YES
HEX/PC DECISION SENT TO AGENCIES AND PARTIES OF RECORD (POR):	YES
CITY COUNCIL:	JUNE 28, 2006 MES. 718

AMERICAN LAND TITLE ASSOCIATION
OWNER'S POLICY
(10-17-92)

RECEIVED
CITY OF MOUNT VERNON

JAN 31 2006

C.E.D. DEPARTMENT
BY _____

CHICAGO TITLE INSURANCE COMPANY

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B AND THE CONDITIONS AND STIPULATIONS, CHICAGO TITLE INSURANCE COMPANY, a Missouri corporation, herein called the Company, insures, as of Date of Policy shown in Schedule A, against loss or damage, not exceeding the Amount of Insurance stated in Schedule A, sustained or incurred by the insured by reason of:

1. Title to the estate or interest described in Schedule A being vested other than as stated therein;
2. Any defect in or lien or encumbrance on the title;
3. Unmarketability of the title;
4. Lack of a right of access to and from the land.

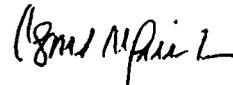
The Company will also pay the costs, attorneys' fees and expenses incurred in defense of the title, as insured, but only to the extent provided in the Conditions and Stipulations.

In Witness Whereof, CHICAGO TITLE INSURANCE COMPANY has caused this policy to be signed and sealed as of Date of Policy shown in Schedule A, the policy to become valid when countersigned by an authorized signatory.

Issued by:
CHICAGO TITLE INSURANCE COMPANY
425 COMMERCIAL STREET
MOUNT VERNON, WA 98273
(360) 424-1700

CHICAGO TITLE INSURANCE COMPANY

By:



President



ATTEST



Secretary

CHICAGO TITLE COMPANY

ALTA Owner's Policy Standard Coverage

Schedule A

Date of Policy: October 1, 2004, at 8:30 A.M.

Policy No.: IC32106-A

Amount of Insurance: \$260,000.00

Amount of Premium: \$915.00

1. Name of Insured:

DANIEL BRIM and TERESA J. BRIM, husband and wife

2. The estate or interest in the land which is covered by this policy:

FEE SIMPLE ESTATE

3. Title to the estate or interest in the land is vested in:

DANIEL BRIM and TERESA J. BRIM, husband and wife

4. The land referred to in this policy is described as follows:

SEE EXHIBIT 'A' WHICH IS HERETO ATTACHED.

**ALTA Owner's Policy
Standard Coverage**

Schedule B

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

GENERAL EXCEPTIONS:

- A. Rights or claims of parties in possession not shown by the public records.
- B. Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey.
- C. Easements, or claims of easements, not shown by the public records.
- D. Any lien, or right to a lien, for contributions to employee benefit funds, or for state workers' compensation, or for services, labor, or material heretofore or hereafter furnished, all as imposed by law, and not shown by the public records.
- E. Taxes or special assessments which are not shown as existing liens by the public records.
- F. Any service, installation, connection, maintenance, or construction charges for sewer, water, electricity, or garbage collection and disposal.
- G. Reservations and exceptions in United States Patents or in Acts authorizing the issuance thereof.
- H. Indian tribal codes or regulations, Indian treaty or aboriginal rights, including easements or equitable servitudes.
- I. Water rights, claims, or title to water

- END OF GENERAL EXCEPTIONS -

continued. . . .

CHICAGO TITLE COMPANY

By 
Authorized Signatory

**ALTA Owner's Policy
Standard Coverage**

Schedule B

SPECIAL EXCEPTIONS:

1. THRU 5. SEE SCHEDULE B-001 WHICH IS ATTACHED HERETO.

6. Deed of Trust, including the terms and conditions thereof, securing an indebtedness of \$208,000.00;
Dated: September 27, 2004
Recorded: September 30, 2004
Auditor's No.: 200409300124, records of Skagit County, Washington
Grantor: Daniel G. Brim and Teresa J. Brim, husband and wife
Trustee: Westward Financial Services
Beneficiary: Horizon Bank
Loan Number: 0550002860

- END OF SCHEDULE B -

mrd

SCHEDULE B-001

1. Agreement, including the terms and conditions thereof; entered into;
By: Willard W. Lyon and Viola M. Lyon
And Between: City of Mount Vernon
Recorded: February 27, 1997
Auditor's No.: 9702270005, records of Skagit County, Washington
Providing: ingress and egress
2. Relinquishment of right of access to state highway and of light, view and air, under deed to State of Washington recorded June 21, 1971, under Auditor's File No. 754333, records of Skagit County, Washington.
3. Possible easement rights for drainage ditch by reason of an existing drainage ditch.
4. Any question which may arise regarding the location of the drain ditch or the center line thereof.
5. Easement, including the terms and conditions thereof, granted by instrument(s);
Recorded: February 27, 1997
Auditor's No(s): 9702270005, records of Skagit County, Washington
In favor of: Willard W. Lyon and Viola M. Lyon
For: ingress and egress

- END OF SCHEDULE B-001 -

EXHIBIT "A"

PARCEL A:

That portion of the East Half of the Southwest Quarter of Section 29, Township 34 North, Range 4 East of the Willamette Meridian, described as follows

Beginning at a point in the North line of the Southeast Quarter of the Southwest Quarter of said Section 29, which is 54 feet West of the intersection of said line with the West line of Blodgett Road;

Thence West 105.7 feet;

Thence South 20 feet;

Thence West 106 feet'

Thence North 20 feet;

Thence West 240.8 feet;

Thence South 105.3 feet;

Thence North 87°28' East 588.5 feet, more or less, to the West line of Blodgett Road;

Thence Northwesterly along Blodgett Road to a point due North of the point of beginning;

Thence South to the point of beginning.

Situated in Skagit County, Washington.

PARCEL B:

That portion of the East Quarter of the Southwest Quarter of Section 29, Township 34 North, Range 4 East of the Willamette Meridian, described as follows:

Beginning at the Northeast corner of said Southeast Quarter of the Southwest Quarter;

Thence North 89°09'18" West, along the North line thereof, for 850.20 feet to the centerline of an existing drainage ditch;

Thence South 42°31'22" East along centerline of said ditch, for 132.69 feet to the true point of beginning;

Thence continue South 44°14'09" East, along said centerline of drainage ditch, for 298.58 feet;

Thence South 6°35'07" East, being along said centerline of drainage ditch, for 14.81 feet to the South line of North Half of the North Half of the Southeast Quarter of the Southwest Quarter;

Thence South 89°21'56" East, along said South line, for 386.92 feet, more or less, to the Westerly right of way line of Blodgett Road;

Thence Northwesterly along said right of way to a point North 88°18'42" East from the true point of beginning. (Being the same line as called South 87°28' West in Deed recorded under Auditor's File No. 612088);

Thence South 88°18'42" West 400.21 feet, more or less, to the true point of beginning;

Continued

EXHIBIT "A"

Page 2

PARCEL B continued:

EXCEPT that portion described as follows;

Beginning at a point on the North line of the Southeast Quarter of the Southwest Quarter of Section 29 at a point which is 54 feet West of the intersection of said line with the West line of Blodgett Road;

Thence West 105.7 feet;

Thence South 20 feet;

Thence West 106 feet;

Thence North 20 feet;

Thence West to the centerline of an existing drainage ditch, which point is 850.20 feet, more or less, West of the Northeast corner of the Southeast Quarter of the Southwest Quarter of said Section 29;

Thence South 42°31'22" East along the centerline of said ditch a distance of 132.69 feet;

Thence continue along said centerline South 44°14'09" East a distance of 298.58 feet;

Thence continue along said centerline South 6°35'07" East, a distance of 14.81 feet to the South line of the North Half of the North Half of the Southeast Quarter of the Southwest Quarter;

Thence South 89°21'56" East along said South line a distance of 216.92 feet, more or less, to a point which lies 170 feet West of the Westerly right of way line of the Blodgett Road; which point is also the true point of beginning;

Thence continue South 89°21'56" East along said South line 170 feet to said Westerly right of way line;

Thence Northwesterly along said Westerly line 135 feet;

Thence Southwesterly 120 feet, more or less, to a point 80 feet North of the true point of beginning;

Thence South 80 feet to the true point of beginning.

Situated in Skagit County, Washington.

- END OF EXHIBIT "A" -

ADDITIONAL PROTECTION ENDORSEMENT

FOR HOME OWNERS

Attached to Policy No. IC32106-A

Issued By

CHICAGO TITLE INSURANCE COMPANY

1. This Endorsement shall be effective only if at Date of Policy there is located on the land described in the policy a one-to-four family residential structure, in which the Insured Owner resides, either at Date of Policy or within one year of Date of Policy, as the insured owner's principal residence. For the purpose of this Endorsement the term "residential structure" is defined as the principal dwelling structure located on the land, together with a garage or carport used for storage or noncommercial vehicles. The term "residential structure" shall not include detached outbuildings (other than a garage or carport as defined herein), driveways, walkways, boat ramps, docks, recreational facilities of any kind, subsurface lines, pipes, tanks, septic systems and/or drainfields, plantings of any nature, perimeter fences or perimeter walls, or any other improvements which are not an integral part of the residential structure.
2. The Company hereby insures the insured owner against loss or damage which the insured owner shall sustain by reason of:
 - a. the existence at Date of Policy of any unrecorded statutory liens for labor or materials attaching to the estate or interest arising out of any work of improvement on the land in progress or completed at the Date of the Policy, except those liens arising out of a work of improvement for which the insured has agreed to be responsible.
 - b. the removal of the residential structure or interference with the use thereof for ordinary residential purposes as the result of a final Court Order or Judgment, based upon the existence at the Date of Policy of:
 - (1) any encroachment of the residential structure or any part thereof onto adjoining lands, or onto any easement shown as a special exception in Schedule B of the Policy, or onto any unrecorded subsurface easement;
 - (2) any violation on the land of enforceable covenants, conditions or restrictions provided that this coverage shall not refer to or include the terms, covenants and conditions contained in any lease, sub-lease or contract of sale referred to in this Policy;
 - (3) any violation of applicable zoning ordinances to the extent that such ordinances regulate (a) area, width or depth of the land as a building site for the residential structure; (b) floor space area of the residential structure; (c) setback of the residential structure from the property lines of the land; or (d) height of the residential structure.
 - c. damage to the residential structure resulting from the exercise of any right to use the surface of the land for the extraction or development of the minerals shown as an exception in Schedule B, or excepted from the description of the land.

For purposes of this endorsement, the words "covenants," "conditions" or "restrictions" shall not be deemed to refer to or include any covenants, conditions or restrictions relating to environmental protection, except to the extent that a notice of violation or alleged violation affecting the land has been recorded in the public records at Date of Policy and is not excepted in Schedule B.

This endorsement is made a part of the policy and is subject to all of the terms and provisions thereof and of any prior endorsements thereto. Except to the extent expressly stated, it neither modifies any of the terms and provisions of the policy and any prior endorsements, if any, nor does it extend the effective date of the policy and any prior endorsements nor does it increase the face amount thereof.

CHICAGO TITLE COMPANY

By 
Authorized Signatory

NOTE: This endorsement shall not be valid or binding until signed by an authorized signatory.

Additional Protection Endorsement
For Home Owners

Return to:
Skagit Surveyors & Engineers
806 Metcalf Street
Sedro-Woolley, WA 98284
Phone: (360) 855-2121



200208130060
Skagit County Auditor

8/13/2002 Page 1 of 6 2:24PM

DOCUMENT TITLE:
PROTECTED CRITICAL AREA AGREEMENT

GRANTOR:
Anderson Road LLC

GRANTEE:
Skagit County

ABBREVIATED LEGAL DESCRIPTION:
Portion of the SE ¼ of the SW ¼ of SEC 29, TWP 34 N, RGE 4 E, W.M.
Full legal description located on Exhibit A of this document.

ASSESSOR'S PROPERTY TAX PARCEL NUMBER:
P28736; 340409-3-023-000

PROTECTED CRITICAL AREA EASEMENT AGREEMENT

AKK
AUGUST
13, 2002

Anderson Road, LLC ("Grantor") owns the property described in Exhibit A ("Property"). In consideration of Skagit County Code (SCC) 14.24.170, requirements for recording of Protected Critical Area easements ("PCA") and mutual benefits herein, Grantor does hereby grant, convey and warrant to Skagit County, a political subdivision of the State of Washington, a non-exclusive perpetual easement establishing a PCA over, along and across that portion of the Property described in Exhibit B, together with the right of ingress and egress to and from this easement for the sole purpose of monitoring and enforcing proper operation and maintenance of the PCA described in Exhibit B.

This easement is granted subject to and conditioned upon the following terms, conditions and covenants:

1. The PCA is established over that portion of the Property described in Exhibit B.
2. Grantor shall be responsible for maintaining and repairing PCA areas as described herein and is hereby required to leave the PCA undisturbed in a natural state, except as otherwise provided herein. No clearing, grading, filling, logging or removal of woody material, building, construction or road construction of any kind or planting of non-native vegetation is allowed within the PCA's except as currently exists, as noted in Paragraph 3 herein, or as specifically permitted by Skagit County on a case-by-case basis consistent with SCC 14.24.
3. Grantor and Skagit County agree to the following special conditions requested by the Grantor or required as part of mitigation pursuant to SCC 14.24.
 - a. Per the Critical Areas Site Assessment prepared by Earth Systems Science, Inc. dated August 24, 2001 and as approved during Tech Team Review by Skagit County and other relevant Reviewing Agencies, a fifty (50) foot grass buffer will be maintained over that portion of the Property described in Exhibit B. The grass buffer will be mowed and maintained as necessary to allow maintenance of the drainages by Dike District 17, or such other designee appointed by Grantor, which appointment is within Grantor's sole discretion. Any maintenance plan developed for the PCA must be approved by Grantor and must be consistent with SCC 14.24
 - b. If in the future the drainages or portions of the drainages on the Property are determined not to be critical areas by the local government with jurisdiction to make such a determination, all easement rights provided herein over the drainages or portions thereof determined not to be critical areas shall revert to the Grantor.
 - c. All easement rights as provided herein over drainages or applicable portions thereof shall revert to the Grantor in the event that the Critical Areas Ordinance of the local government with jurisdiction is repealed, and/or shall revert to the Grantor to the extent that said Critical Areas Ordinance becomes less restrictive and the drainages or applicable portions thereof are no longer considered critical areas.



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Skagit County Auditor

- d. Except in the case of an emergency, where a critical area or its buffer is threatened with immediate harm, as determined by the local government with jurisdiction, access to exercise the easement rights granted herein shall be only upon seven (7) days prior written notice by certified mail to the Grantor.
- e. The parties specifically acknowledge that grading may occur within the PCA as part of Grantor's approved grading plan as shown in grading permit BP02-0803, subject to SCC 14.24.
- f. Grantor shall be allowed to use the PCA for walking, picnicking, and similar passive recreational uses. Nothing in this subparagraph shall limit Grantor's rights of use reserved under Paragraph 4 or any other provision herein.
- g. Skagit County and its successors and assigns hold Grantor harmless from any damage or injury to any person or property resulting from the negligent acts or omissions of and to the extent caused by Skagit County.

4. Grantor retains the right to the use and possession of the real property over which the easements are granted to the extent permitted by Skagit County. Low impact uses and activities, which are consistent with the purpose and function of the PCA and do not detract from its integrity, may be permitted in the PCA depending on the sensitivity of the habitat involved. Examples of uses and activities which may be permitted in appropriate cases, with prior County written approval separate from this agreement, include pedestrian trails, viewing platforms, stormwater management facilities and utility easements. Provided further that the Grantor agrees not to interfere with, obstruct or endanger Skagit County's use of the easement.

5. Should any human disturbance of the PCA occur through no fault of Skagit County, the Grantor shall have the obligation to reseed and restore the affected area to its previous condition immediately.

6. The parties recognize that this easement is created, granted and accepted for the benefit of the inherent natural functions provided by the PCA but shall not be construed to provide open or common space for owners within the project or members of the public. By acceptance of the easement for the purposes described, Skagit County does not accept or assume any liability of acts or omissions of the fee owners, his or her invitees, licenses or third parties within the easement areas. Grantor holds Skagit County harmless from any damage or injury to any property or person by any person entering the easement areas not expressly authorized to do so by Skagit County.

7. Grantor agrees that these easements shall run with the land and that the rights and obligations of Grantor and Skagit County established in this easement agreement shall inure to the benefit of each and shall be binding upon their respective heirs, successors and assigns.

8. Grantor covenants that they own the property legally described herein and has lawful right to convey the interest in the property to Skagit County for the benefit of the public forever.



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Skagit County Auditor

EXHIBIT A

Legal Description

That portion of the north 495 feet of the south 990 feet of the southeast quarter of the southwest quarter of Section 29, Township 34 North, Range 4 East, W.M., lying westerly of that certain 10' wide strip of land conveyed to Drainage District No. 17 by deed filed in AF#335876.

EXCEPT that portion deeded to the State of Washington for highway purposes by deed recorded under AF#539508 and AF#769638.

AND EXCEPT that portion of said premises, if any, lying within the north half of the north half of the southeast quarter of the southwest quarter of Section 29.



200208130060

Skagit County Auditor

8/13/2002 Page 4 of 6 2:24PM

SKAGIT COUNTY:

Leah Forbes
Associate Planner
Skagit County

ANDERSON ROAD, L.L.C.:

Mike Fohn
Mike Fohn, Managing Partner
Anderson Road LLC

STATE OF WASHINGTON)
) §
COUNTY OF SKAGIT)

I certify that I know or have satisfactory evidence that Mike Fohn is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the Managing Partner of Anderson Road LLC to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.



Dated: 08/13/02
Signature: Tish Campbell
(print name) TISH CAMPBELL
Notary Public in and for the State Of Washington
My appointment expires 08/02/04

STATE OF WASHINGTON)
) §
COUNTY OF SKAGIT)

I certify that I know or have satisfactory evidence that Leah Forbes is the person who appeared before me, and said person acknowledged that she signed this instrument, on oath stated that she was authorized to execute the instrument and acknowledged it as the Associate Planner of Skagit County to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.



Dated: 08/13/02
Signature: Tish Campbell
(print name) TISH CAMPBELL
Notary Public in and for the State Of Washington
My appointment expires 08/02/04



200208130060
Skagit County Auditor

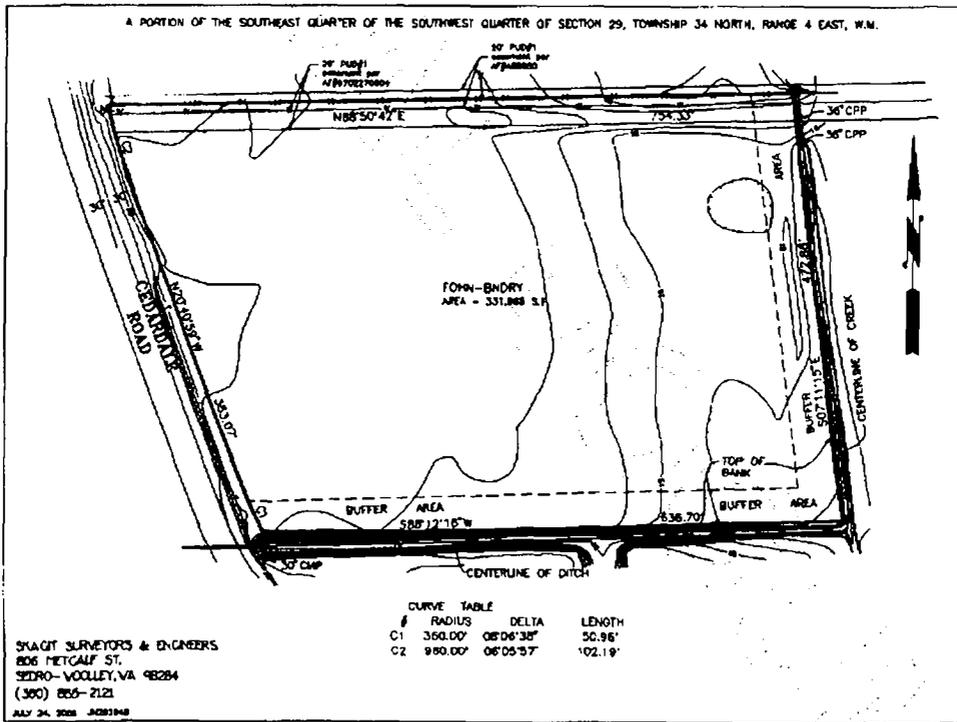
EXHIBIT B

The easement shall be over and across the following described property:

A fifty (50) foot wide buffer measured from the northerly ordinary high water mark ("OHWM"), plus or minus five (5) feet in accordance with SCC 14.24.170, of an existing ditch running along the south boundary of the Property; AND

A fifty (50) foot wide buffer measured from the westerly OHWM, plus or minus five (5) feet in accordance with SCC 14.24.170, of an existing ditch running along the east boundary of the Property.

Said buffer areas are shown below in the Protected Critical Area Site Plan:



200208130060
Skagit County Auditor

THIS IS TO CERTIFY that on this 21st day of February, 1941, before me a notary public in and for the State of California, duly commissioned and sworn, personally came EDITH McLeod, to me known to be the individual described in and who executed the foregoing instrument and acknowledged to me that she signed and sealed the same as her free and voluntary act and deed for the uses and purposes therein mentioned.

WITNESS my hand and official seal the day and year in this certificate first above written.

(SEAL) Notary Public
Alameda Co., Cal.
Eureka

Frances Tuttle
Notary Public in and for the State of
California, residing at Oakland.
My commission expires Oct. 26, 1943

Filed for record at the request of Cecil E. White, Feb. 28, 1941, at 3:25 P.M.

C. P. Kloke, County Auditor
By *Una Phillips* Deputy

Consideration under
\$100.00

#335873

QUIT CLAIM DEED
(Statutory Form)

The Grantors, J. H. Hildebrand and Linda Hildebrand, husband and wife, of Skagit County, Washington, for the consideration of One Dollar, in hand paid, CONVEY AND QUIT CLAIM unto Drainage District No. 17 of Skagit County, Washington, Grantee, all interest in the following described real estate situated in Skagit County, State of Washington, to-wit:

The North 20 feet of the East one rod of that portion of the Northeast quarter of the southeast quarter, Section 31, Township 34 North, Range 4 East of Willamette Meridian, lying west of the Great Northern Railway Company right of way. EXCEPT road ways and existing ditch rights of way.

Dated at Mount Vernon, Washington, this 19th day of February, 1941.

J. H. Hildebrand (SEAL)
Linda Hildebrand (SEAL)

State of Washington, ss.
County of Skagit.

THIS IS TO CERTIFY: That on this 19th day of February, 1941, before me, the undersigned, a Notary Public in and for the state of Washington, duly commissioned and sworn, personally appeared J. H. Hildebrand and Linda Hildebrand, husband and wife, to me known to be the same persons described in and who executed the within and foregoing instrument and that they acknowledged to me that they signed and sealed the same as their free and voluntary act and deed for the uses and purposes therein mentioned.

GIVEN under my hand and official seal the day and year in this certificate first above written.

(SEAL) Carrie L. Griffith, Notary Public
State of Washington
Commission expires Mar. 11, 1944

Carrie L. Griffith
Notary Public in and for the state of
Washington, residing at Mount Vernon.

Filed for record at the request of J. G. Smith, Feb. 28, 1941, at 3:35 P.M.

C. P. Kloke, County Auditor
By *Una Phillips* Deputy

Consideration under \$100.00

#335874

QUIT CLAIM DEED
(Statutory Form)

The Grantors, Andrew Walde and Elsie I. Walde, husband and wife, of Skagit County, Washington, for the consideration of \$1.00 in hand paid, CONVEY AND QUIT CLAIM unto Drainage District No. 17 of Skagit County, Washington, Grantee, all interest in and to the

following described real estate situated in Skagit County, State of Washington, to-wit:

A strip of land 10 feet wide in the north half of the south 60 rods of the southeast quarter of the southwest quarter of Section 29, Township 34 North, Range 4 East of W.M., being more particularly described as follows: from the south quarter section corner of said section 29, run west along section line 125.6 feet; thence north 5°00' west 499.5 feet, more or less to the south line of said north half of south 60 rods of southeast quarter of the southwest quarter, the true point of beginning of this description; thence strip being five feet on each side of the center line, continuing north 5°00' west a distance of 475.5 feet more or less to the north line of aforesaid north half of south 60 rods of southeast quarter of southwest quarter.

Dated this 25th day of February, 1941.

Andrew Walde (SEAL)
Elsie I. Walde (SEAL)

State of Washington,
ss.
County of Skagit.

THIS IS TO CERTIFY: That on this 25th day of February, 1941, before me, the undersigned, a notary public in and for the state of Washington, duly commissioned and sworn, personally appeared Andrew Walde and Elsie I. Walde, husband and wife, to me known to be the same persons described in and who executed the within and foregoing instrument and that they acknowledged to me that they signed and sealed the same as their free and voluntary act and deed for the uses and purposes therein mentioned.

GIVEN under my hand and official seal the day and year in this certificate first above written.

(SEAL) Carrie L. Griffith, Notary Public
State of Washington
Commission expires Mar. 11, 1944

Carrie L. Griffith
Notary Public in and for the state of
Washington, residing at Mount Vernon.

Filed for record at the request of J. G. Smith, Feb. 28, 1941, at 3:53 P.M.

C. P. Kloke

C. P. Kloke, County Auditor
By *Uma Phillips* Deputy

#335875

Consideration under \$100.00

QUIT CLAIM DEED
(Statutory Form)

The Grantors, Ralph J. Hildebrand and Otilia Hildebrand, husband and wife, of Skagit County, Washington, for the consideration of One Dollar, in hand paid, CONVEY AND QUIT CLAIM unto Drainage District No. 17 of Skagit County, Washington, a municipal corporation of Skagit County, Grantee, all interest in the following described real estate situated in Skagit County, State of Washington, to-wit:

Last one rod of that portion of the northeast quarter of the southeast quarter, Section 31, Township 34 North, Range 4 east of the Willamette Meridian, lying west of the Great Northern Railway Company right of way. EXCEPT road ways and existing ditch rights of way.

Dated this 13th day of February, 1941.

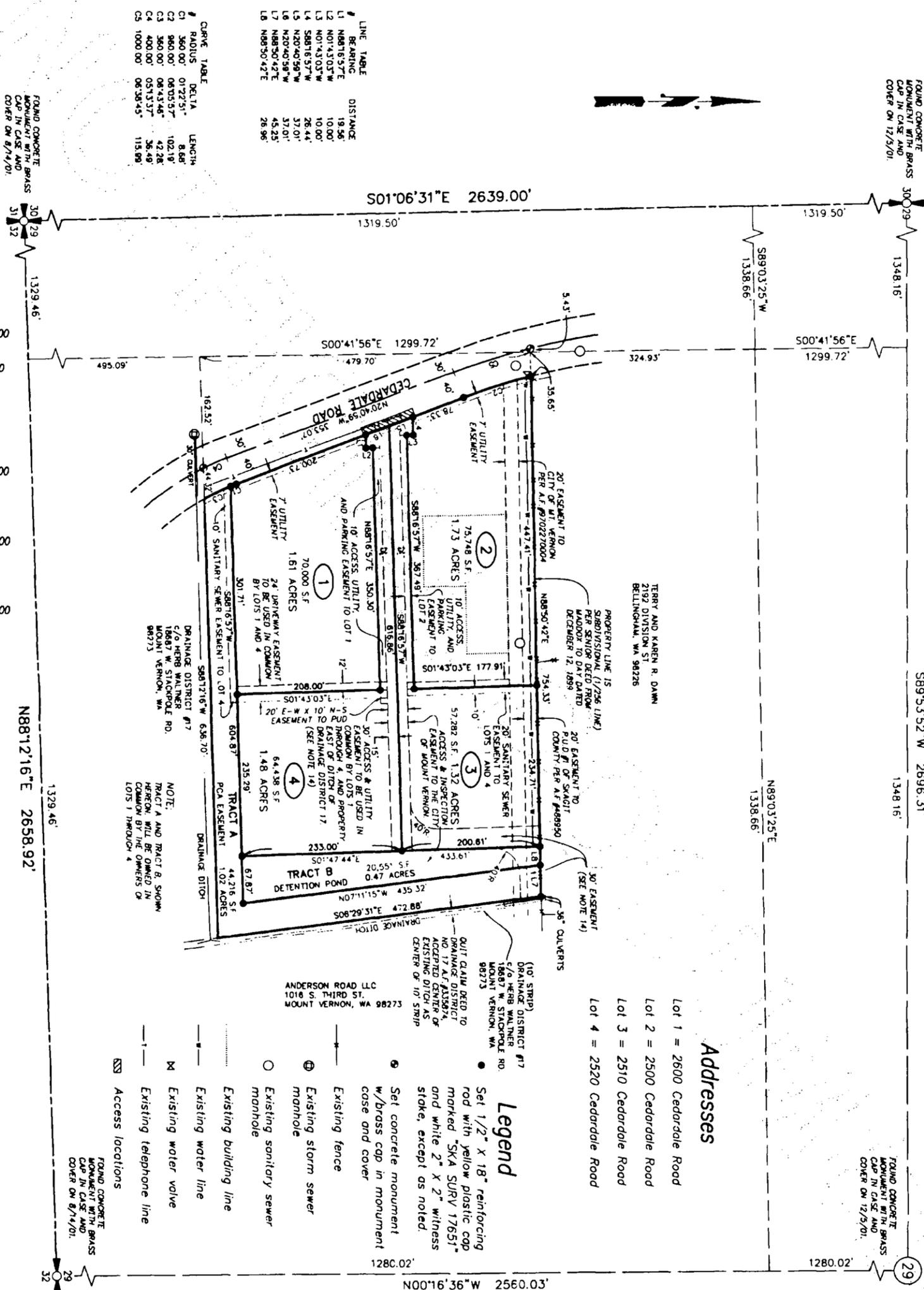
Ralph J. Hildebrand (SEAL)
Otilia Hildebrand (SEAL)

State of Washington,
ss.
County of Skagit.

THIS IS TO CERTIFY, That on this 13th day of February, 1941, before me, the undersigned, a notary public in and for the state of Washington, duly commissioned and sworn, personally

FOUND CONCRETE MONUMENT WITH BRASS CAP IN CASE AND COVER ON 12/5/01.

FOUND CONCRETE MONUMENT WITH BRASS CAP IN CASE AND COVER ON 12/5/01.



4/22/03	ADD 20' x 10' PAD ESMT.	JA
4/16/03	ADD SEWER ESMT. LOT 4. ADD ADDRESS.	JA
1/20/03	REVISED PER CITY/COUNTY STAFF REVISIONS	JA
2/18/03	ADDED 24' COMMON D/W ESMT. (LOTS 1&2)	SPW
2/4/03	REVISED PER CITY/COUNTY STAFF REVISIONS	JA

2020048	2020048	07JAN03	1" = 100'	2 OF 2
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Scale in Feet
 100 50 0 100 200 300

FOUND CONCRETE MONUMENT WITH BRASS CAP IN CASE AND COVER ON 8/14/01.

#	RADIUS	DELTA	LENGTH
C1	360.00'	01°22'51"	8.66'
C2	360.00'	06°03'57"	102.19'
C3	360.00'	08°43'48"	42.28'
C4	400.00'	05°13'37"	36.49'
C5	1000.00'	06°36'45"	115.99'

LINE TABLE	BEARING	DISTANCE
L1	N88°16'57"E	19.56'
L2	N01°43'03"W	10.00'
L3	N01°43'03"W	10.00'
L4	S88°16'57"W	26.44'
L5	N20°40'59"W	37.01'
L6	N88°50'42"E	45.23'
L7	N88°50'42"E	26.96'

ADDRESS LIST:
 Lot 1 = 2600 Cedarvale Road
 Lot 2 = 2500 Cedarvale Road
 Lot 3 = 2510 Cedarvale Road
 Lot 4 = 2520 Cedarvale Road

LEGEND:
 ● Set 1 1/2" x 18" reinforcing rod with yellow plastic cap marked "SKA SURV 17651" and white 2" x 2" witness stake, except as noted.
 ○ Set concrete monument w/brass cap in monument case and cover
 ⊕ Existing fence
 ⊕ Existing storm sewer manhole
 ○ Existing sanitary sewer manhole
 — Existing building line
 — Existing water line
 — Existing water valve
 — Existing telephone line
 □ Access locations

Addresses

Legend

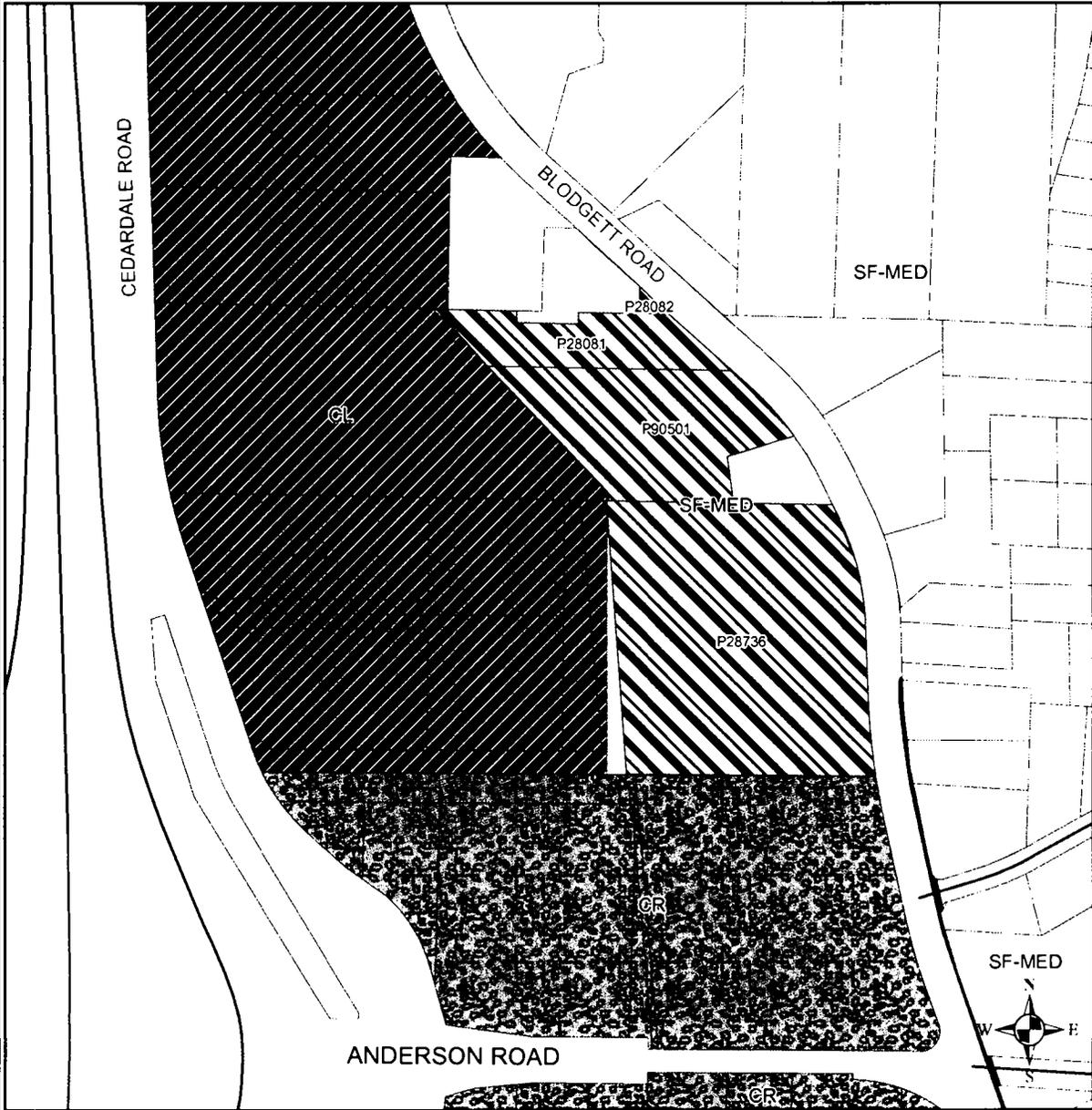


SURVEYOR'S CERTIFICATE
 This map correctly represents a survey made by me or under my direction in conformance with the Survey Recording Act in January 2003 at the request of Anderson Road L.L.C.
 John L. Abenroth CERT#17651
 Date 4/23/03

AUDITOR'S CERTIFICATE
 200305070015
 Skagit County Auditor
 5/7/2003 Page 2 of 2 9:22AM
 County Auditor or Deputy Auditor

Skagit Surveyors & Engineers
 806 Metcalf St., Sedro-Woolley, WA 98284 Phone: (360) 855-2121 FAX: (360) 855-1658

EXHIBIT E



Legend

-  Proposed_Complan_Designation_Change_Parcel
-  MEDIUM DENSITY SF (R-1,3.0 or 4.0)
-  COMMUNITY RETAIL, MIXED USE CENTER (C-3)
-  COMMERCIAL/LIMITED INDUSTRIAL (C-L)

LU06-015 Complan Mapping Amendment

PARCELS: P28081, P28082, P90501 & P28736

FROM: Single-Family Medium Density (SF-MED) and a Zoning Designation of (R-1,4.0)

TO: Commercial/Limited Industrial (C/L) and a Zoning Designation of (C/L).

March 15, 2006

EXHIBIT E



Legend

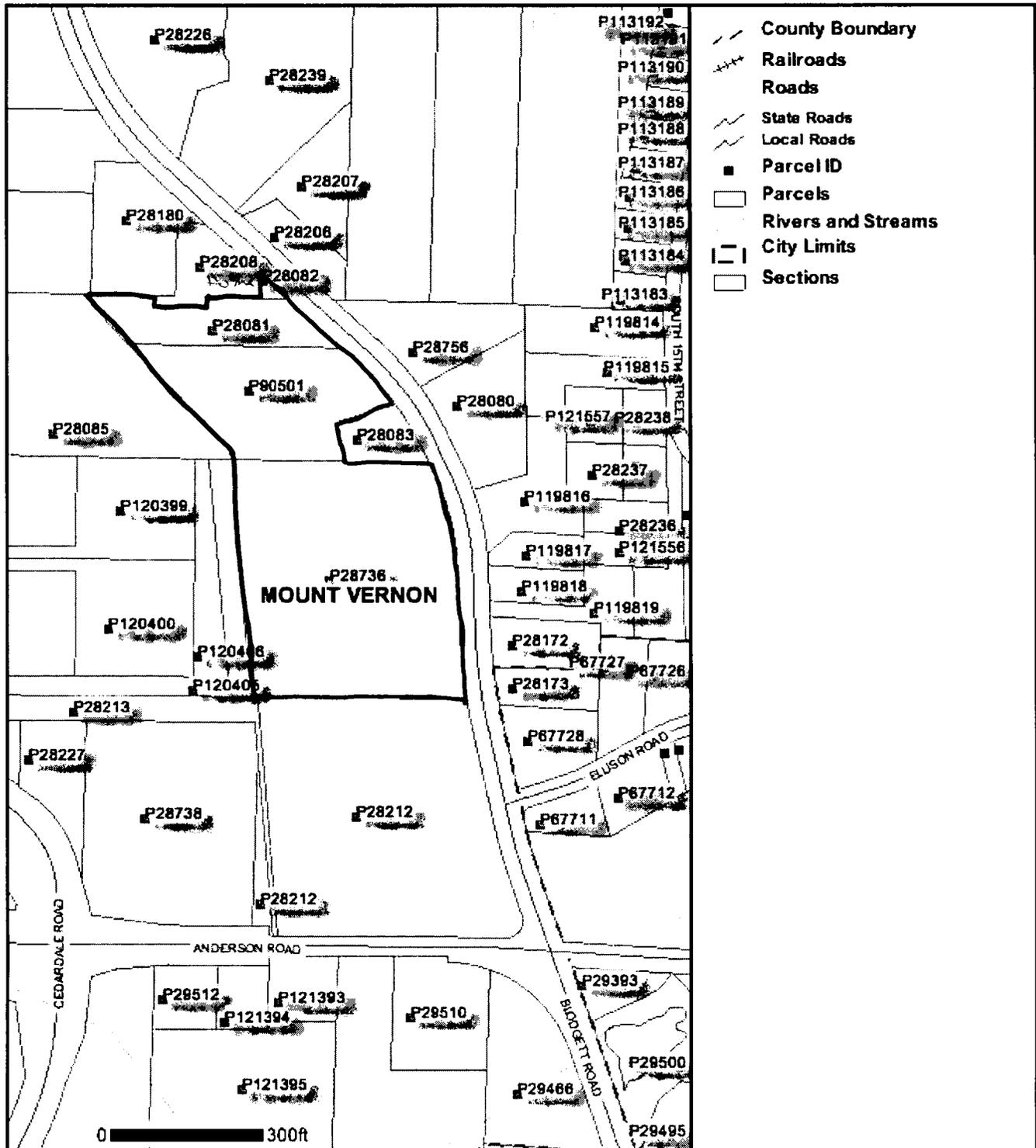
Existing Comprehensive Land Use Designations with Associated Zoning

- Proposed Complan Designation Changes COMMUNITY RETAIL, MIXED USE CENTER (C-3)
- MEDIUM DENSITY SF (R-1,3.0 or 4.0) COMMERCIAL/LIMITED INDUSTRIAL (C-L)

LU06-015 Complan Mapping Amendment
 PARCELS: P28081, P28082, P90501 & P28736
 FROM: Single-Family Medium Density (SF-MED) and a Zoning Designation of (R-1,4.0)
 TO: Commercial/Limited Industrial (C/L) and a Zoning Designation of (C/L).

March 15, 2006

Skagit County GIS Map



Skagit County iMap

SKAGIT COUNTY does not attest to the accuracy to the data contained herein and makes no warranty with respect to the correctness or validity of this map. Data contained in this map is limited by the method and accuracy of its collection.

Map Scale:

1 inch = 300 Feet
 (1 inch = 0.1 Miles)

Skagit County GIS Map



Skagit County iMap

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Map Scale: 1 inch = 300 Feet (1 inch = 0.1 Miles)

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 84



Right of Way Permit

City of Mount Vernon
 910 Cleveland Avenue
 Mount Vernon, WA 98273
 (360) 336-6214

Issue Date: Monday, April 30, 2012	Parcel#: P120397	Permit#: PR20120000232
Site Address: 2600 CEDARDALE ROAD	Sign Size:	Use Zone: Other
Owner's Name: WOODSDALE LLC ATTN SOUND CEDAR, 2600 CEDARDALE RD MOUNT VERNON, WA 98274	Square Footage Building: Porch: Garage: Deck:	Setbacks Front: Side: Side: Rear:
Contractor's Name: Sefnco Communications 1017 Iowa Street Bellingham, WA 98226	Conditions/Comments:	Occupancy Use: Utility & Miscellaneous Construction type: Dwelling Units: No. of Bedrooms: Total Valuation:
		To perform the following work: Install 2" PVC conduit @ 36" cover for approx. 633' from pole at NW corner Anderson/Cedardale, N/NW to Sound Cedar Parcel @ 2600 Cedardale.

Legal Description:

(DR17 DK03) LOT 1 OF BINDING SITE PLAN PL03-0071, AF# 200305070015. ALSO TOGETHER WITH THAT PORTION OF TRACT A OF BINDING SITE PLAN NO. PLO3-0071, RECORDED MAY 7, 2003, UNDER AUDITOR'S FILE NO. 200305070015, RECORDS OF SKAGIT COUNTY, WASHINGTON, AND BEING

Condition	Description	Status	Department	Total Fees	Amount
Right of Way	All work shall be performed to City Engineering Standards. Contact City Inspector 24 hrs prior to beginning construction - John Torgerson 661-2146. Must notify the City 48 hrs prior to any lane closures. Permit authorizes work in public right of way only.	Open	ENG	ROW non-travelled areas and shoulders - 2020	\$10.00
				Total Due	\$10.00

Notice: This permit is issued by the Building Official and, under provisions of the international Building Code, shall expire by limitation and become null and void if the building or work authorized by such permit is not commenced within 180 days from the date of permit issuance, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days. By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not, including calls for inspections. I will do all of my own work or use only registered and licensed contractors to do work performed under the permit resulting from this application. I understand that L & I provides information regarding contractor registration laws. (RCW 18.27.110)

Issued by email

 Signature of Owner/Agent

4/30/12

 Date

When signed and dated below, this is your permit. Permission is hereby given to do the aboved described work, according to the conditions hereon and according to the approved plans and specifications pertaining thereto, subject to compliance with the ordinances of the City of Mount Vernon.

 Building Official

Doug Nathe

 Permit Issued By

4/30/12

 Date



ROW.

Development Services Department
City of Mount Vernon
910 Cleveland Avenue
360-336-6214 -- fax 336-6283

RIGHT-OF-WAY CONSTRUCTION PERMIT APPLICATION & CHECKLIST

We would like to issue permits in a timely and efficient manner. To help us in this effort, all right-of-way permit applications must provide us with the following information:

Applicant Name: Comcast Phone: 360 527 8243
Address: 400 Sequoia St

Location of Proposed Work: 2400 Cedarvale Rd.
Description of Work to be Performed:
Bury 2" PVC for 633' in ROW @
36" cover with about 15' of ROW Trench
for service drops.

Estimated Date(s) and time of Work: 6-1-2012.

***PLEASE NOTE: ALL WORK IN THE RIGHT-OF-WAY MUST BE PERFORMED BY A LICENSED CONTRACTOR.**

Company Name: SEFXCO Communications
Company Address: 1017 Iowa St
Contact Name: Jacob A Friedman Phone: 253 403 2751
License Number: SEENCL *994P9
City Business License Number: _____

A Site Plan (To Scale) Must Be Attached That Includes All of the Following:

- Existing right-of-way, property lines, edge of pavement, sidewalks, curb/gutter and planting strips.
- All existing utilities in the area of the proposed project.
- Dimensions- from the proposed project to the edge of pavement, sidewalks, curb/gutter and planting strips.

FILED AT REQUEST OF:



200712170149

Skagit County Auditor

12/17/2007 Page 1 of 8 12:36PM

Grantor. ANDERSON ROAD, LLC
Grantee. BRIM PROPERTIES, LLC; WOODSDALE, LLC; FORTUNA PROPERTIES, LLC
Abbrev. Leg. Tracts A & B, Binding Site Plan PL03-0071
Tax Parcel #: 8043-000-999-0000/P120405 & 8043-000-999-0100/P120406

QUIT CLAIM DEED

RECITALS:

The parties to this instrument are owners of parcels within Binding Site Plan No. PL03-0071, recorded May 7, 2003, under Auditor's File No. 200305070015, records of Skagit County, Washington, and being a portion of the Southeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 29, Township 34 North, Range 4 East, W.M.

ANDERSON ROAD LLC, a Washington limited liability company is owner of Tracts A and B;
WOODSDALE, LLC, a Washington limited liability company, is owner of Lot 1;
BRIM PROPERTIES, LLC, a Washington limited liability company is owner of Lots 2 and 3; and
FORTUNA PROPERTIES, LLC, a Washington limited liability company, is owner of Lot 4.

The purpose of this instrument is to transfer Tract A (Protected Critical Area) and Tract B (Detention Pond) from the developer (Anderson Road LLC) to the individual lot owners within the development, pursuant to the note on the face of the Binding Site Plan, and to provide for maintenance of the detention pond. The interest in Tract A and/or Tract B conveyed to the grantees below is to be aggregated with and pass with the lots now owned by the owners referenced above.

GRANT:

THEREFORE, THE GRANTOR, ANDERSON ROAD, LLC, a Washington limited liability company, in consideration of mutual covenants among the parties, for the purpose of clearing title by conveying certain tracts to the property owners within the above referenced binding site plan, and for no monetary consideration, conveys and quitclaims to:

AndersonRoadLLC/BrimWoodsdaleFortuna/QCD 1

THE GRANTEES,
WOODSDALE, LLC, a Washington limited liability company, the property legally described on EXHIBIT I, attached, to be aggregated with and pass with Lot 1 of Binding Site Plan PL03-0071;
BRIM PROPERTIES, LLC, a Washington limited liability company, the property legally described on EXHIBIT II, attached, to be aggregated with and pass with Lot 3 of Binding Site Plan PL03-0071;
and FORTUNA PROPERTIES, LLC, a Washington limited liability company, the property legally described on EXHIBIT III, attached, to be aggregated with and pass with Lot 4 of Binding Site Plan PL03-0071;

MAINTENANCE PROVISIONS

The above referenced Tract B is a detention pond for the Binding Site Plan parcels and will require periodic maintenance. The owners shall determine annually, or more frequently as may be necessary, the extent of repairs and maintenance as shall be required and shall determine the extent of said repairs and maintenance to be accomplished. The owners of each lot shall be entitled to one vote per lot. If a lot has more than one owner, the owners of that lot must decide among themselves how their vote is to be cast. The owners of each lot shall be responsible for one-fourth of the costs of maintenance and/or repair of the detention pond (each lot to bear one-fourth the cost). It is understood that the maintenance and repair of said detention pond is for the benefit of all property owners and the property of any such owner failing to pay its proportionate share as provided for herein shall be subject to a lien, an assessment for the its share of such costs; and any other property owner paying the share of a benefited property owner, who fails to pay the same, shall be entitled to a lien again his property which may be foreclosed in the manner provided by law.

DATED: DECEMBER 17th, 2006.

ANDERSON ROAD, LLC:

By: Michael V. Fohn
MICHAEL FOHN, Member

5672
SKAGIT COUNTY WASHINGTON
REAL ESTATE CYCLE TAX
DEC 17 2007
Amount Paid \$ 0
Skagit Co. Treasurer
By [Signature] Deputy

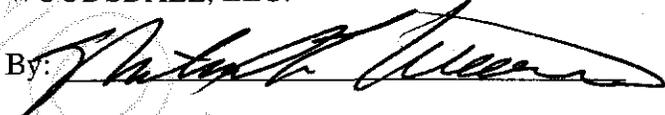
BRIM PROPERTIES, LLC:

By: [Signature]
Print Name: Daniel Brim, Member

AndersonRoadLLC/BrimWoodsdaleFortuna/QCD 2

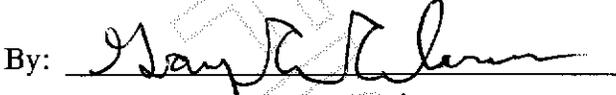

200712170149
Skagit County Auditor
12/17/2007 Page 2 of 8 12:36PM

WOODSDALE, LLC:

By: 

Print Name: MICHAEL L WOODS, Member

FORTUNA PROPERTIES, LLC:

By: 

Print Name: GARY E. ANDERSON, Member



STATE OF WASHINGTON)
 : SS
COUNTY OF SKAGIT)

I certify that I know or have satisfactory evidence that MICHAEL V. FOHN is the person who appeared before me, and said person acknowledged that he signed this instrument and on oath stated that he is authorized to execute the instrument and acknowledged it as a member of ANDERSON ROAD, LLC, a Washington limited liability company, to be the free and voluntary act of such parties for the uses and purposes mentioned in this instrument.

Dated: December 17, ~~2006~~ ²⁰⁰⁷



Darlene M. Birkett

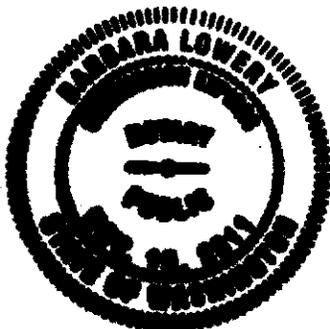
Printed Name: DARLENE M. BIRKETT
NOTARY PUBLIC in and for the State of
Washington, residing at BURLINGTON

My appointment expires: 3-1-08

STATE OF WASHINGTON)
 : SS
COUNTY OF SKAGIT)

I certify that I know or have satisfactory evidence that Daniel Brim is the person who appeared before me, and said person acknowledged that HE/SHE signed this instrument and on oath stated that HE/SHE is authorized to execute the instrument and acknowledged it as a member of BRIM PROPERTIES, LLC, a Washington limited liability company, to be the free and voluntary act of such parties for the uses and purposes mentioned in this instrument.

Dated: 12-3-, ~~2006~~ ²⁰⁰⁷



Barb Lowery

Printed Name: Barb Lowery
NOTARY PUBLIC in and for the State of
Washington, residing at Mount Vernon

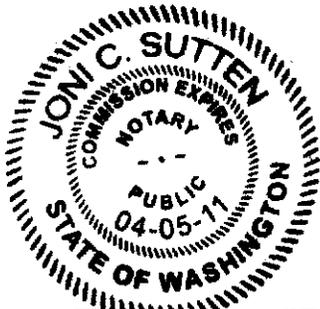
My appointment expires: 11-15-2011



STATE OF WASHINGTON)
 : SS
COUNTY OF SKAGIT)

I certify that I know or have satisfactory evidence that Michael L. Woods
is the person who appeared before me, and said person acknowledged that HE/SHE signed this
instrument and on oath stated that HE/SHE is authorized to execute the instrument and
acknowledged it as a member of WOODSDALE, LLC, a Washington limited liability company,
to be the free and voluntary act of such parties for the uses and purposes mentioned in this
instrument.

Dated: 11/21, 2006.



Joni C. Suttten

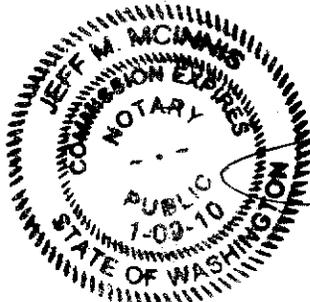
Printed Name: Joni C. Suttten
NOTARY PUBLIC in and for the State of
Washington, residing at Mt. Vernon

My appointment expires: 4/5/11

STATE OF WASHINGTON)
 : SS
COUNTY OF SKAGIT)

I certify that I know or have satisfactory evidence that Gary Anderson
is the person who appeared before me, and said person acknowledged that HE/SHE signed this
instrument and on oath stated that HE/SHE is authorized to execute the instrument and
acknowledged it as a member of FORTUNA PROPERTIES, LLC, a Washington limited liability
company, to be the free and voluntary act of such parties for the uses and purposes mentioned in
this instrument.

Dated: 11-20, 2007.



Jeff M. McInnis

Printed Name: Jeff M. McInnis
NOTARY PUBLIC in and for the State of
Washington, residing at Mt. Vernon

My appointment expires: 1-9-10

AndersonRoadLLC/BrimWoodsdaleFortuna/QCD 5



200712170149
Skagit County Auditor

EXHIBIT I
Anderson Road LLC to Woodsdale, LLC
Legal Description

The following described parcel is to be conveyed to Woodsdale, LLC, and to be combined and pass with Lot 1, now owned by Woodsdale.

That portion of Tract A of Binding Site Plan No. PL03-0071, recorded May 7, 2003, under Auditor's File No. 200305070015, records of Skagit County, Washington, and being a portion of the Southeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 29, Township 34 North, Range 4 East, W.M., lying West of the East line of Lot 1 of said Binding Site Plan, extended South to the South line of said Tract A.

Situate in Skagit County, Washington.



EXHIBIT II
Anderson Road LLC to Brim Properties, LLC
Legal Description

The following described parcel is to be conveyed to Brim Properties, LLC, and to be combined and pass with Lot 3, now owned by Brim Properties.

All of Tract B and also that portion of Tract A of Binding Site Plan No. PL03-0071, recorded May 7, 2003, under Auditor's File No. 200305070015, records of Skagit County, Washington, and being a portion of the Southeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 29, Township 34 North, Range 4 East, W.M., lying East of the East line of Lot 4 of said Binding Site Plan, extended South to the South line of said Tract A.

Situate in Skagit County, Washington.



EXHIBIT III
Anderson Road LLC to Fortuna Properties, LLC
Legal Description

The following described parcel is to be conveyed to Fortuna Properties, LLC, and to be combined and pass with Lot 4, now owned by Fortuna Properties.

That portion of Tract A of Binding Site Plan No. PL03-0071, recorded May 7, 2003, under Auditor's File No. 200305070015, records of Skagit County, Washington, and being a portion of the Southeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 29, Township 34 North, Range 4 East, W.M., lying East of the East line of Lot 1 of said Binding Site Plan and West of the East line of Lot 4 of said Binding Site Plan, extended South to the South line of said Tract A.

Situate in Skagit County, Washington.



**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 85

WESTERN PETERBILT BINDING SITE PLAN - L99-0003 date: 7-1-02

LOCATED IN A PORTION OF
SW 1/4 NW 1/4 SEC. 32, T.34 N., R.4 E., W.M.

200207010180
Skagit County Auditor
7/1/2002 Page 1 of 2 2:11PM

DEDICATION AND CONSENT

KNOW ALL PERSONS BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS IN FEE SIMPLE OR CONTRACT PURCHASER AND MORTGAGE HOLDER OF THE LAND HEREBY PLATTED, DO HEREBY DECLARE THIS PLAT AND DEDICATE TO THE PUBLIC FOREVER, PUBLIC EASEMENTS AND SUZANNE LANE AS SHOWN HEREON WITH THE RIGHT TO MAKE ALL NECESSARY SLOPES FOR CUTS AND FILLS, AND THE RIGHT TO CONTINUE TO DRAIN SAID ROADS AND WAYS OVER AND ACROSS ANY LOT OR LOTS, WHERE WATER MIGHT TAKE A NATURAL COURSE, IN THE ORIGINAL REASONABLE GRADING OF THE ROADS AND WAYS SHOWN HEREON.

FOLLOWING ORIGINAL REASONABLE GRADING OF ROADS AND WAYS HEREON, NO DRAINAGE WATERS ON ANY LOT OR LOTS SHALL BE DIVERTED OR BLOCKED FROM THEIR NATURAL COURSE SO AS TO DISCHARGE UPON ANY PUBLIC ROAD RIGHT-OF-WAY, OR TO HAMPER ROAD DRAINAGE. ANY ENCLOSING OF DRAINAGE WATERS IN CULVERTS OR DRAINS OR REROUTING SHALL BE DONE BY AND AT THE EXPENSE OF SUCH OWNER.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS AND SEALS
THIS 01 DAY OF 04, 2002

James Coles
JAMES COLES
COLCO, L.L.C.

ACKNOWLEDGMENT

STATE OF WASHINGTON)
) SS
COUNTY OF SKAGIT)

ON THIS 1st DAY OF April, 2002, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED James Coles

THAT EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAID INSTRUMENT TO BE THE FREE AND VOLUNTARY ACT AND DEED OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN MENTIONED, AND ON OATH STATED THAT THEY ARE AUTHORIZED TO EXECUTE THE SAID INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL HERETO AFFIXED THE DAY AND YEAR ABOVE WRITTEN.

Walter M. M...
NOTARY PUBLIC
RESIDING AT Reuter, King County, Washington

ACKNOWLEDGMENT FOR MORTGAGEE

STATE OF WASHINGTON)
) SS
COUNTY OF SKAGIT)

I HEREBY CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT _____ IS THE PERSON WHO APPEARED BEFORE ME, AND SAID PERSON ACKNOWLEDGED THAT (S)HE SIGNED THIS INSTRUMENT, ON OATH THAT (S)HE WAS AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE _____ OF _____ TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

DATED _____, 200__

NOTARY PUBLIC
RESIDING AT _____

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS BINDING SITE PLAN IS BASED ON AN ACTUAL SURVEY AND SUBDIVISION OF SECTION 32, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M.; THAT THE COURSES AND DISTANCES ARE SHOWN CORRECTLY THEREON, THAT THE MONUMENTS HAVE BEEN SET AND THE LOT AND BLOCK CORNERS STAKED CORRECTLY ON THE GROUND; AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF THE STATUTES AND PLATTING REGULATIONS.

JEFFREY A. SKODJE P.L.S.

LEONARD, BOUDINOT & SKODJE, INC.
CERTIFICATE NO. 19645
DATE 3/28/02

AUDITOR'S CERTIFICATE

FILED FOR RECORD AT THE REQUEST OF LEONARD, BOUDINOT & SKODJE, INC. THIS 1st DAY OF July, 2002, AND RECORDED UNDER AUDITOR'S FILE NO. 200207010180 RECORDS OF SKAGIT COUNTY, WASHINGTON.

Nana Brummett
SKAGIT COUNTY AUDITOR

LEGAL DESCRIPTION

THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M.; EXCEPT THE NORTH 495 FEET THEREOF; ALSO EXCEPT THE WEST 80 FEET OF THE SOUTH 80 FEET THEREOF, EXCEPT RIGHT OF WAY OF DRAINAGE DISTRICT NO. 17, EXCEPT OLD STATE HIGHWAY 99 ALONG THE WEST LINE THEREOF, AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF WASHINGTON FOR PRIMARY STATE HIGHWAY NO. 1, ALONG THE EAST LINE THEREOF, BY DEED DATED FEBRUARY 11, 1953, RECORDED APRIL 14, 1953 UNDER AUDITORS FILE NO. 487106.

SITUATE IN THE COUNTY OF SKAGIT, STATE OF WASHINGTON.

SOURCE OF LEGAL DESCRIPTION IS LAND TITLE COMPANY SUBDIVISION GUARANTEE, ORDER NO. S-99456, DATED NOVEMBER 14, 2001.

APPROVALS

THE WITHIN AND FOREGOING BINDING SITE PLAN IS APPROVED IN ACCORDANCE WITH THE PROVISIONS OF THE SKAGIT COUNTY CODE SECTION 14.12.030 AND 14.12.090 AND 14.12.100 THIS 1st DAY OF July, 2002

Wick Dufford 4/24/02 HEARING EXAMINER
Steve Kelleher COUNTY ENGINEER
Linda Kullen (for) 4/24/02 PLANNING DIRECTOR
H. Burdick HEALTH OFFICER
Don Munds CHAIRMAN, BOARD OF COUNTY COMMISSIONERS

NOTES

1. THE BINDING SITE PLAN NUMBER AND DATE OF APPROVAL SHALL BE INCLUDED IN ALL DEEDS AND CONTRACTS.
2. NO BUILDING PERMITS SHALL BE ISSUED FOR RESIDENTIAL AND OR COMMERCIAL STRUCTURES THAT ARE NOT, AT THE TIME OF APPLICATION, DETERMINED TO BE WITHIN AN OFFICIAL DESIGNATED BOUNDARY OF SKAGIT COUNTY FIRE DISTRICT.
3. CHANGE IN LOCATION OF ACCESS MAY NECESSITATE A CHANGE OF ADDRESS, CONTACT SKAGIT COUNTY PERMIT CENTER.
4. WATER: SUPPLIED BY SKAGIT COUNTY P.U.D.
5. THIS SITE IS LOCATED WITHIN FLOOD ZONE AO, AS SHOWN ON FIRM MAP PANEL NO. 530151-0425-C DATED JAN. 1, 1985. THE LOWEST FLOOR (INCLUDING BASEMENT) IS TO BE ELEVATED ABOVE THE HIGHEST ADJACENT GRADE OF THE BUILDING SITE, ONE FOOT OR MORE ABOVE THE DEPTH NUMBER SPECIFIED ON THE FIRM MAP.
6. FOR PCA EASEMENT AGREEMENT, SEE A.F. NO. 200207010181
7. BUILDING SETBACK REQUIREMENTS FOR EACH LOT SHALL CONFORM TO THE CITY OF MOUNT VERNON CODE IN EFFECT AT THE TIME OF BUILDING PERMIT APPLICATION.
8. TRACT A IS THE DETENTION POND TRACT AND IS FOR THE BENEFIT OF LOTS 1 THROUGH 9 INCLUSIVE, TOGETHER WITH INGRESS AND EGRESS FOR THE MAINTENANCE THEREOF, AS SHOWN HEREON.
9. THIS PARCEL LIES WITHIN 300 FEET OF LAND DESIGNATED AS RESOURCE LANDS BY SKAGIT COUNTY. A VARIETY OF NATURAL RESOURCE LAND ACTIVITIES OCCUR IN THE AREA THAT MAY BE INCONVENIENT OR CAUSE DISCOMFORT TO AREA RESIDENTS. THIS ARISE FROM THE USE OF CHEMICALS INCLUDING SPRAYING, PRUNING, AND HARVESTING, WHICH OCCASIONALLY GENERATE DUST, SMOKE, NOISE AND ODOR. SKAGIT COUNTY HAS ESTABLISHED RESOURCE USES AS PRIORITY USES ON DESIGNATED NATURAL RESOURCE LANDS, AND RESIDENTS OF ADJACENT PROPERTY SHOULD BE PREPARED TO ACCEPT SUCH INCONVENIENCES OR DISCOMFORT FROM NORMAL, NECESSARY AGRICULTURAL AND FORESTRY OPERATIONS WHEN PERFORMED IN COMPLIANCE WITH BEST MANAGEMENT PRACTICES AND LOCAL, STATE, AND FEDERAL LAWS.
10. LANDSCAPING REQUIREMENTS FOR EACH LOT SHALL CONFORM TO THE CITY OF MOUNT VERNON LANDSCAPING REQUIREMENTS IN EFFECT AT THE TIME OF BUILDING PERMIT APPLICATION.

NOTES (CONT'D)

11. THE DETENTION POND TRACT SHOWN HEREON AS "TRACT A" WILL BE CONVEYED TO THE CITY OF MOUNT VERNON FOLLOWING THE FINALIZATION OF THIS PLAT. THE CITY OF MOUNT VERNON WILL MAINTAIN THE DETENTION AND WATER QUALITY FACILITIES CONTAINED IN SAID TRACT A IN PERPETUITY OR WILL PROVIDE THE LOTS WITHIN THIS PLAT WITH A SIMILAR FACILITY AT ANOTHER LOCATION.
12. LOTS 1 THROUGH 9 ARE HEREBY GRANTED THE RIGHT AND ABILITY TO DRAIN THEIR STORMWATER INTO TRACT A, VIA THE PUBLICLY MAINTAINED STORM SEWER SYSTEM, WHERE IT WILL BE DETAINED AND TREATED, OR TO AN ALTERNATIVE LOCATION TO BE PROVIDED BY THE CITY OF MOUNT VERNON IF TRACT A EVER CEASES TO BE USED FOR SAID PURPOSES.

EASEMENT DEDICATION

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO PUBLIC UTILITY DISTRICT NO. 1, PUGET SOUND POWER & LIGHT CO., TCI CABLEVISION OF WASHINGTON, INC., VERIZON, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS UNDER AND UPON THE 10 FEET ADJOINING LOTS 1 THROUGH 9 INCLUSIVE, AS SHOWN, IN WHICH TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE, MAINTAIN AND REMOVE UTILITY SYSTEMS, DRAINAGE SYSTEMS, LINES, FIXTURES AND APPURTENANCES ATTACHED THERETO, FOR THE PURPOSE OF PROVIDING UTILITY SERVICES TO THE SUBDIVISION AND OTHER PROPERTY, TOGETHER WITH THE RIGHT TO ENTER UPON THE LOTS AND TRACTS AT ALL TIMES FOR THE PURPOSES STATED, WITH THE UNDERSTANDING THAT ANY GRANTEE SHALL BE RESPONSIBLE FOR ALL UNNECESSARY DAMAGE IT CAUSES TO ANY REAL PROPERTY OWNER IN THE SUBDIVISION BY THE EXERCISE OF RIGHTS AND PRIVILEGES HEREIN GRANTED.

CITY APPROVAL

THIS BINDING SITE PLAN HAS BEEN REVIEWED BY THE CITY OF MOUNT VERNON PUBLIC WORKS DEPARTMENT.

John 6-5-02
CITY ENGINEER DATE

COUNTY TREASURER'S CERTIFICATE

THIS IS TO CERTIFY THAT ALL TAXES HERETOFORE LEVIED AND WHICH HAVE BECOME A LIEN UPON THE LANDS HEREIN DESCRIBED, HAVE BEEN FULLY PAID AND DISCHARGED ACCORDING TO THE RECORDS OF MY OFFICE, UP TO AND INCLUDING THE YEAR OF 2002.

THIS 24th DAY OF June, 2002
Linda Patterson for Katie
SKAGIT COUNTY TREASURER



CONDITIONS, COVENANTS & RESTRICTIONS

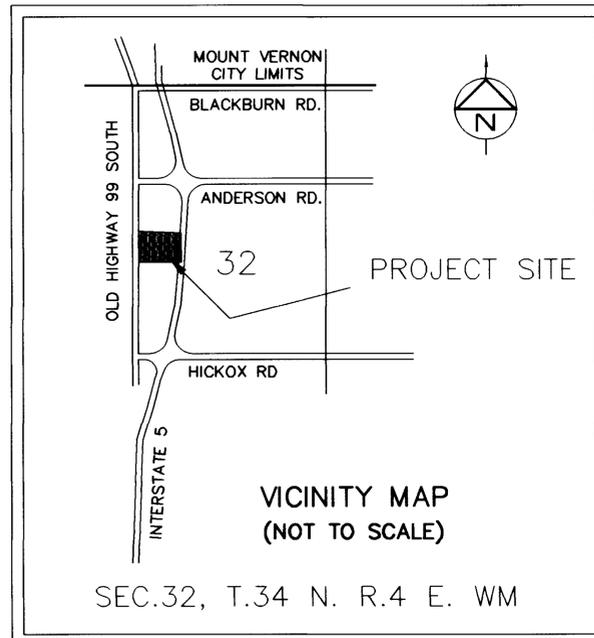
FOR CONDITIONS, COVENANTS AND RESTRICTIONS, SEE AUDITOR'S FILE NO. _____ AS RECORDED IN BOOK _____ AT PAGE _____ RECORDS OF SKAGIT COUNTY, WASHINGTON.

I, Katie Jungquist, Treasurer of Skagit County, WA, HEREBY CERTIFY THAT A DEPOSIT HAS BEEN PAID TO COVER ANTICIPATED TAXES UP TO AND INCLUDING THE YEAR 2003. THIS 24th DAY OF June, 2002.
Katie Jungquist
SKAGIT CO. TREASURER

PUD WATER PIPELINE EASEMENT PROVISION

EASEMENTS ARE GRANTED TO PUBLIC UTILITY DISTRICT NO. 1 OF SKAGIT COUNTY, WASHINGTON, A MUNICIPAL CORPORATION, ITS SUCCESSORS OR ASSIGNS, THE PERPETUAL RIGHT, PRIVILEGE, AND AUTHORITY ENABLING THE PUD TO DO ALL THINGS NECESSARY OR PROPER IN THE CONSTRUCTION AND MAINTENANCE OF A WATER LINE, LINES, OR RELATED FACILITIES, INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, INSPECT, IMPROVE, REMOVE, RESTORE, ALTER, REPLACE, RELOCATE, CONNECT TO AND LOCATE AT ANY TIME A PIPE OR PIPES, LINE OR LINES OR RELATED FACILITIES, ALONG WITH NECESSARY APPURTENANCES FOR THE TRANSPORTATION OF WATER OVER, ACROSS, ALONG, IN AND UNDER THE LANDS AS SHOWN ON THIS PLAT TOGETHER WITH THE RIGHT OF INGRESS TO AND EGRESS FROM SAID LANDS ACROSS ADJACENT LANDS OF THE GRANTOR; ALSO, THE RIGHT TO CUT AND/OR TRIM ALL BRUSH, TIMBER, TREES OR OTHER GROWTH STANDING OR GROWING UPON THE LANDS OF THE GRANTOR WHICH, IN THE OPINION OF THE DISTRICT, CONSTITUTES A MENACE OR DANGER TO SAID LINE OR TO PERSONS OR PROPERTY BY REASON OF PROXIMITY TO THE LINE. THE GRANTOR AGREES THAT TITLE TO ALL TIMBER, BRUSH TREES, OTHER VEGETATION OR DEBRIS TRIMMED, CUT, AND REMOVED FROM THE EASEMENT PURSUANT TO THIS AGREEMENT IS VESTED IN THE DISTRICT.

GRANTOR, ITS HEIRS, SUCCESSORS, OR ASSIGNS HEREBY CONVEYS AND AGREES NOT TO CONSTRUCT OR PERMIT TO BE CONSTRUCTED STRUCTURES OF ANY KIND ON THE EASEMENT AREA WITHOUT WRITTEN APPROVAL OF THE GENERAL MANAGER OF THE DISTRICT. GRANTOR SHALL CONDUCT ITS ACTIVITIES AND ALL OTHER ACTIVITIES ON GRANTOR'S PROPERTY SO AS NOT TO INTERFERE WITH, OBSTRUCT OR ENDANGER THE USEFULNESS OF ANY IMPROVEMENTS OR OTHER FACILITIES, NOW OR HEREAFTER MAINTAINED UPON THE EASEMENT OR IN ANY WAY INTERFERE WITH, OBSTRUCT OR ENDANGER THE DISTRICT'S USE OF THE EASEMENT.



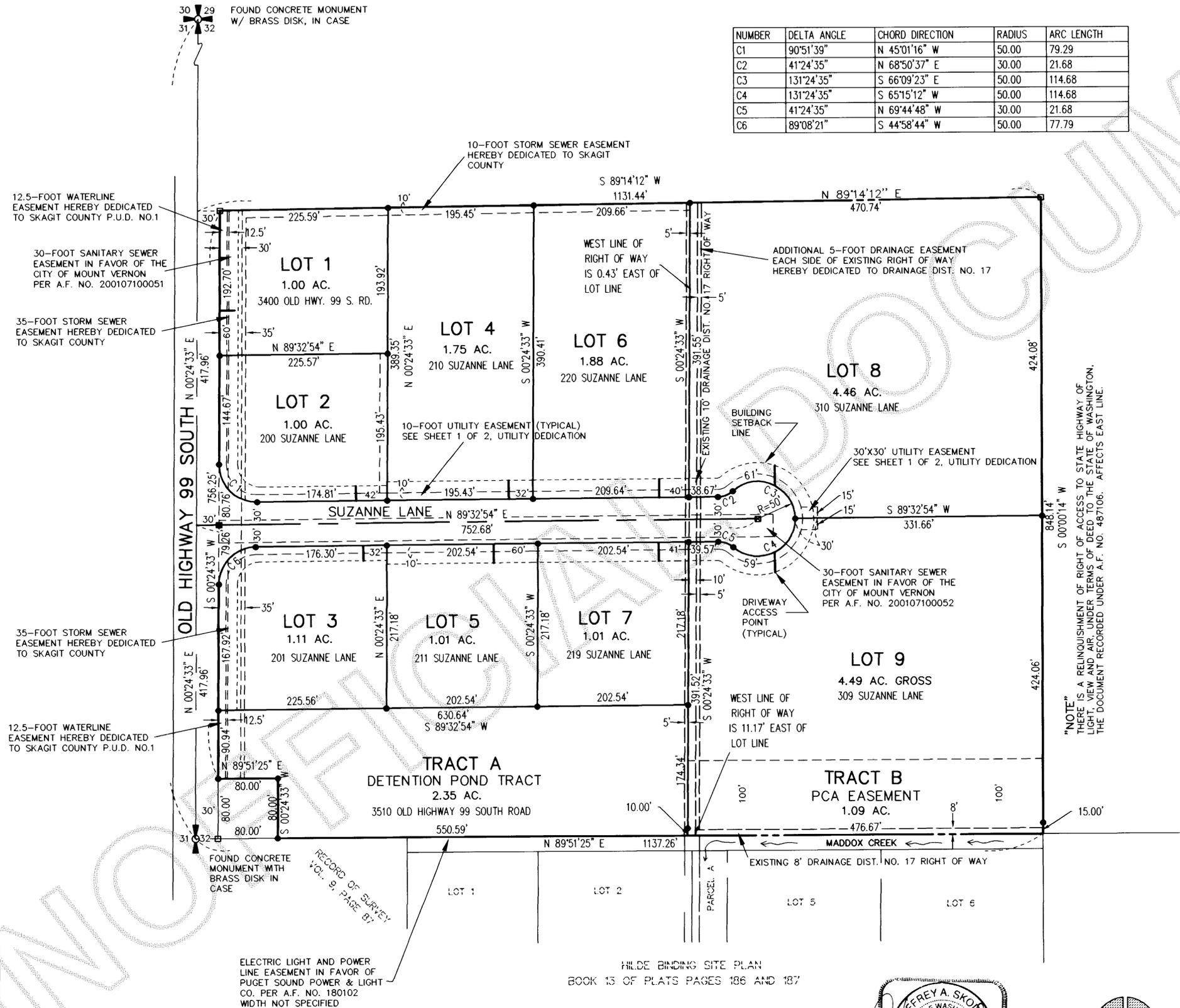
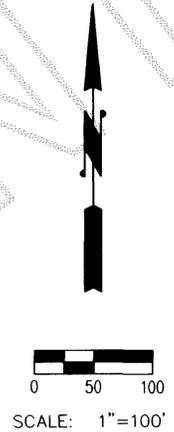
Leonard, Boudinot & Skodje Inc.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
P.O. Box 1228, Mount Vernon, WA 98273
(360) 336-5751

WESTERN PETERBILT BINDING SITE PLAN - L99-0003 dated: 7-2-02

LOCATED IN A PORTION OF
SW 1/4 NW 1/4 SEC. 32, T.34 N., R.4 E., W.M.

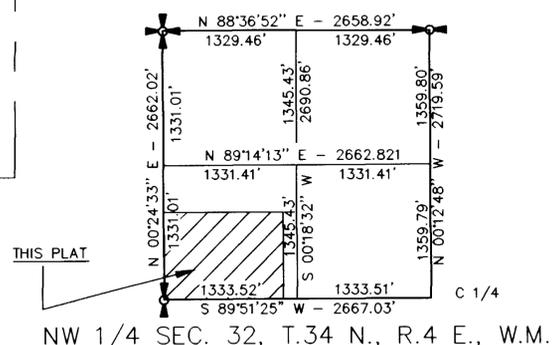
200207010180
Skagit County Auditor
7/1/2002 Page 2 of 2 2:11PM

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH
C1	90°51'39"	N 45°01'16" W	50.00	79.29
C2	41°24'35"	N 68°50'37" E	30.00	21.68
C3	131°24'35"	S 66°09'23" E	50.00	114.68
C4	131°24'35"	S 65°15'12" W	50.00	114.68
C5	41°24'35"	N 69°44'48" W	30.00	21.68
C6	89°08'21"	S 44°58'44" W	50.00	77.79



- LEGEND**
- DENOTES SET CONCRETE MONUMENT WITH 2" BRASS CAP
 - DENOTES SET CONCRETE MONUMENT WITH 2" BRASS CAP IN CASE
 - DENOTES SET 1/2" REBAR WITH YELLOW CAP MARKED "SKODJE 19645"
 - DENOTES SURVEY MARKER FOUND AS NOTED; TIED 04/16/01
 - x-x EXISTING FENCE LINE

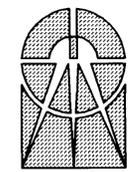
- NOTES**
- THIS SURVEY WAS PERFORMED IN THE FIELD USING A LEICA TCA-1105 ELECTRONIC DISTANCE MEASURING THEODOLITE.
 - BASIS OF BEARING:** NORTH 00°24'33" EAST ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 32, BETWEEN MONUMENTS SHOWN HEREON.
 - BASIS OF SURVEY:** BOUNDARY IS AS PER THAT SHOWN ON RECORD OF SURVEY RECORDED IN VOLUME 19 OF SURVEYS, PAGE 147, UNDER AUDITOR'S FILE NO. 9707220041
 - OWNER/DEVELOPER:** WESTERN PETERBILT INC. P.O. BOX 24065 SEATTLE, WA. 98124
 - ZONING:** COMMERCIAL-LIMITED INDUSTRIAL ZONE (C-L)



SECTION SUBDIVISION AND BOUNDARY IS BASED ON SURVEY RECORDED IN VOL. 19 OF SURVEYS AT PAGE 147 AND SKAGIT COUNTY SHORT PLAT NO. 40-78

ELECTRIC LIGHT AND POWER LINE EASEMENT IN FAVOR OF PUGET SOUND POWER & LIGHT CO. PER A.F. NO. 180102 WIDTH NOT SPECIFIED

HILDE BINDING SITE PLAN
BOOK 13 OF PLATS PAGES 186 AND 187



Leonard, Boudinot & Skodje Inc.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
P.O. Box 1228, Mount Vernon, WA 98273
(360) 336-5751

After Recording Return to:
S & L Property Holdings, LLC
P.O. Box 652
Lynden WA 98264



200308120249
Skagit County Auditor

8/12/2003 Page 1 of 5 4:07PM

Filed for Record at Request of:
**CHICAGO TITLE
INSURANCE COMPANY**
PO Box 1115
1616 Cornwall Avenue, Suite 115
Bellingham, WA 98225

Escrow No.: 171811-HLE

Abbreviated Legal: Lot, a plat
Additional Legal(s) on page:
Assessor's Tax Parcel No.: P119268

CHICAGO TITLE CO.
C27927 ✓

STATUTORY WARRANTY DEED

THE GRANTOR Colco, LLC, a Washington Limited Liability Company for and in consideration of TEN DOLLARS AND OTHER VALUABLE CONSIDERATION in hand paid, conveys and warrants to S & L Property Holdings, LLC, a Washington Limited Liability Company the following described real estate, situated in the County of Whatcom, State of Washington:

Lot 7, Skagit County Short Plat No. L-99-0003, approved July 1, 2002, recorded July 1, 2002, under Auditor's File No. 200207010180, records of Skagit County, Washington; being a portion of the Southwest Quarter of the Northwest Quarter in Section 32, Township 34 North, Range 4 East of the Willamette Meridian.

Situated in Skagit County, Washington

Subject to Real Estate Taxes and Exhibit A attached hereto and made a part hereof

Dated: August 6, 2003

Colco, LLC

James E. Coles

By James E. Coles
Managing Member

4059
SKAGIT COUNTY WASHINGTON
Real Estate Excise Tax

AUG 12 2003 4314.60

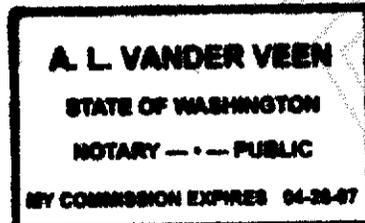
By _____
Amount Paid \$
Skagit County Treasurer
By: _____ Deputy

STATE OF WASHINGTON
COUNTY OF KING

I certify that I know or have satisfactory evidence that James E. Coles the person(s) who appeared before me, and said person(s) acknowledged that he signed this instrument, on oath stated that he is authorized to execute the instrument and acknowledged it as the Managing Member of Colco, LLC to be the free and voluntary act of such party for the uses and purposes mentioned in this instrument.

Dated: 8-8-03
[Signature]

Notary Public in and for the State of Washington
Residing at Edgewood
My appointment expires:



UNOFFICIAL DOCUMENT

CHICAGO TITLE CO.

A. J. VANDER VEEN
STATE OF WASHINGTON
NOTARY PUBLIC
MY COMMISSION EXPIRES 04-28-01

EXHIBIT A

1. Easement, including the terms and conditions thereof, granted by instrument(s);
Auditor's No(s).: 180102, records of Skagit County, Washington
In favor of: Puget Sound Power & Light Company
For: Electric transmission and/or distribution line, together with necessary appurtenances

2. Relinquishment of all existing, future, or potential easements for access, light, view, and air and of all rights of ingress, egress and regress to, from, and between said premises and the highway (or highways) constructed on lands conveyed by Deed
Recorded: April 14, 1953
Auditor's No.: 487106, records of Skagit County, Washington
To: State of Washington

3. Easement, including the terms and conditions thereof, granted by instrument(s);
Recorded: July 10, 2001
Auditor's No(s).: 200107100051, records of Skagit County, Washington
In favor of: City of Mount Vernon
For: Sanitary Sewer System
Affects: West 30 feet of said short plat

4. Easement, including the terms and conditions thereof, granted by instrument(s);
Recorded: July 10, 2001
Auditor's No(s).: 200107100052, records of Skagit County, Washington
In favor of: City of Mount Vernon
For: Utilities

5. Terms, conditions, and restrictions of that instrument entitled Protected Critical Area;
Recorded: July 1, 2002
Auditor's No(s).: 200207010181, records of Skagit County, Washington

6. Easement delineated on the face of said Short Plat No. L99-0003;
For: Drainage District No. 17
Affects: East 5 feet of said Short Plat

7. Easement delineated on the face of said Short Plat L99-0003;
For: Utilities
Affects: Exterior 10 feet adjacent to streets

8. Easement delineated on the face of said Short Plat No. L99-0003;
For: Building setbacks

continued.....



200308120249
Skagit County Auditor

9. Easement provisions contained on the face of said plat, as follows:

Easements are granted to Public Utility District No. 1 of Skagit County, Washington, a municipal corporation, its successors or assigns, the perpetual right, privilege, and authority enabling the PUD to do all things necessary or proper in the construction and maintenance of a water line, lines or related facilities, including the right to construct, operate, maintain, inspect, improve, remove, restore, alter, replace, relocate, connect to and locate at any time a pipe or pipes, line or lines or related facilities, along with necessary appurtenances for the transportation of water over, across, along, in and under the lands as shown on this plat together with the right of ingress to and egress from said lands across adjacent lands of the grantor, also, the right to cut and/or trim all brush, timber, trees or other growth standing or growing upon the lands of the grantor which in the opinion of the district, constitutes a menace or danger to said line or to persons or property by reason of proximity to the line. The grantor agrees that title to all timber, brush trees, other vegetation or debris trimmed, cut and removed from the easement pursuant to this agreement is vested in the district.

Grantor, its heirs, successors or assigns hereby conveys and agrees not to construct or permit to be constructed structures of any kind on the easement area without written approval of the general manager of the district. Grantor shall conduct its activities and all other activities on grantor's property so as not to interfere with, obstruct or endanger the usefulness of any improvements or other facilities, now or hereafter maintained upon the easement or in any way interfere with, obstruct or endanger the districts use of the easement.

10. Easement provisions contained on the face of said plat, as follows:

An easement is hereby reserved for and granted to Public Utility District No. 1, Puget Sound Power and Light Company, TCI Cablevision of Washington Inc., Verizon and their respective successors and assigns, under and upon the 10 feet adjoining Lots 1 through 9, inclusive, as shown, in which to install, lay, construct, renew, operate, maintain and remove utility systems, drainage systems, lines, fixtures and appurtenances attached thereto, for the purpose of providing utility services to the subdivision and other property. Together with the right to enter upon the lots and tracts at all times for the purposes stated, with the understanding that any grantee shall be responsible for all unnecessary damage it causes to any real property owner in the subdivision by the exercise of rights and privileges herein granted.

11. Easement contained in Dedication of said plat;

For: All necessary slopes for cuts and fills and continued drainage of roads

Affects: Any portions of said premises which abut upon streets, avenues, alleys, and roads and where water might take a natural course

continued.....



200308120249
Skagit County Auditor

12. Notes on the face of said short plat;

- A. The binding site plan number and date of approval shall be included in all deeds and contracts.
- B. No building permits shall be issued for residential and or commercial structures that are not at the time of application, determined to be within an official designated boundary of Skagit County Fire District.
- C. Change in location of access may necessitate a change of address. Contact Skagit County Permit center.
- D. Water – Supplied by Skagit County P.U.D.
- E. This site is located within flood zone AD, as shown on firm map Panel No. 530151-0425-C dated January 1, 1985. The lowest floor (including basement) is to be elevated above the highest adjacent grade of the building site. One foot or more above the depth number specified on the firm map.
- F. For PCA easement agreement. See Auditor's File No. 200207010181, records of Skagit County, Washington.
- G. Building setback requirements for each lot shall conform to the City of Mount Vernon code in effect at the time of building permit application.
- H. Tract A is the detention pond tract and is for the benefit of Lots 1 through 9 inclusive. Together with ingress and egress for the maintenance thereof, as shown hereon.
- I. This parcel lies within 300 feet of land designated as resource lands by Skagit County. A variety of natural resource land activities occur in the area that may be inconvenient or cause discomfort to area residents. This arise from the use of chemicals, including spraying, pruning and harvesting, which occasionally generate dust, smoke, noise and odor. Skagit County has established resource uses as priority uses on designated natural resource lands and residents of adjacent property should be prepared to accept such inconveniences or discomfort from normal necessary agricultural and forestry operations when performed in compliance with best management practices and local, state and federal laws.

continued.....



200308120249
Skagit County Auditor

8/12/2003 Page 4 of 5 4:07PM

- J. Landscaping requirements for each lot shall conform to the City of Mount Vernon Landscaping requirements in effect at the time of building permit application.
- K. The detention pond tract shown hereon as "Tract A" will be conveyed to the City of Mount Vernon following the finalization of this plat. The City of Mount Vernon will maintain the detention and water quality facilities contained in said Tract A in perpetuity or will provide the lots within this plat with a similar facility at another location.
- L. Lots 1 through 9 are hereby granted the right and ability to drain their stormwater into Tract A via the Publicity maintained storm sewer system. Where it will be detained and treated, or to an alternative location. To be provided by the City of Mount Vernon of Tract A ever ceases to be used for said purposes.
13. Easement, including the terms and conditions thereof, granted by instrument(s);
Recorded: May 27, 1998
Auditor's No(s): 9805270084, records of Skagit County, Washington
In favor of: Public Utility District No. 1
For: Utilities
14. Terms, conditions, and restrictions of that instrument entitled Protected Critical Area;
Recorded: July 1, 2002
Auditor's No(s): 200207010181, records of Skagit County, Washington

- END OF SCHEDULE B-001 -



200308120249
Skagit County Auditor

8/12/2003 Page 5 of 5 4:07PM

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 87



201609010123

Skagit County Auditor \$75.00
9/1/2016 Page 1 of 3 3:36PM

When recorded return to:
200 Suzanne LANE, LLC
5124 EVERGREEN STE D4-4
EVERETT, WA 98203

Recorded at the request of:
Guardian Northwest Title
File Number: A109583

Statutory Warranty Deed

A109583
GUARDIAN NORTHWEST TITLE CO.

THE GRANTOR **Burton Group LLC**, a Washington Limited Liability Company for and in consideration of **TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION** in hand paid, conveys and warrants to **200 Suzanne LLC**, a Washington limited liability company the following described real estate, situated in the County of **Skagit**, State of **Washington**.

Abbreviated Legal: *LANE
Section 32, Township 34 North, Range 4 East; Ptn. SW NW (aka Lot 3, BSP #L99-0003)

Tax Parcel Number(s): P119264, 8040-000-003-0000

Lot 3, SKAGIT COUNTY BINDING SITE PLAN NO. L99-0003, approved July 1, 2002, recorded July 1, 2002, under Auditor's File No 200207010180, records of Skagit County, Washington; being a portion of the Southwest Quarter of the Northwest Quarter in Section 32, Township 34 North, Range 4 East of the Willamette Meridian.

This conveyance is subject to covenants, conditions, restrictions and easements, if any, affecting title, which may appear in the public record, including those shown on any recorded plat or survey, as per Exhibit "A" attached hereto

Dated 8/08/2016

Burton Group LLC

By: David Burton, Member

SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX
20163910
SEP 01 2016
Amount Paid \$18,428.00
Skagit Co. Treasurer
Deputy

STATE OF Washington }
COUNTY OF Skagit } SS:

I certify that I know or have satisfactory evidence that David Burton is the person who appeared before me, and said person acknowledged that he signed this instrument and acknowledged it as the Member of Burton Group LLC, to be the free and voluntary act of such party(ies) for the uses and purposes mentioned in this instrument.

Dated: 8/31/16

Notary Public in and for the State of Washington
Residing at Sedro Woolley
My appointment expires: 3/1/20



EXHIBIT A

EXCEPTIONS:

A. EASEMENT, INCLUDING TERMS AND PROVISIONS THEREOF:

Grantee: Puget Sount Power & Light Company
 Recorded: January 12, 1925
 Auditor's No. 180101
 Purpose: Right to enter said premises to operate, maintain and repair underground electric transmission and/or distribution system, together with the right to remove brush, trees and landscaping which may constitute a danger to said lines
 Area Affected: Subject property

B. Relinquishment of rights of access to State Highway and of light, view, and air under terms of Deed to the State of Washington:

Recorded: April 14, 1953
 Auditor's No.: 487106

C. EASEMENT, INCLUDING TERMS AND PROVISIONS THEREOF:

Grantee: City of Mount Vernon
 Dated: October 9, 2000
 Recorded: July 10, 2001
 Auditor's No. 200107100051
 Purpose: Right to construct, maintain, replace, etc., sanitary sewage facilities, drainage facilities, and/or telecommunication facilities, etc.
 Area Affected: West 30 feet of subject property

D. EASEMENT, INCLUDING TERMS AND PROVISIONS THEREOF:

Grantee: City of Mount Vernon
 Recorded: July 10, 2001
 Auditor's No. 200107100052
 Purpose: Right to construct, maintain, replace, etc., sanitary sewage facilities, drainage facilities, and/or telecommunication facilities, etc.

E. EASEMENT, INCLUDING TERMS AND PROVISIONS THEREOF:

Grantee: Skagit County
 Recorded: July 1, 2002
 Auditor's No. 200207010181
 Purpose: Protected Critical Area Easement
 Area Affected: Tract B of BSP

F. ANY AND ALL OFFERS OF DEDICATIONS, CONDITIONS, RESTRICTIONS, EASEMENTS, FENCE LINE/BOUNDARY DISCREPANCIES, NOTES, PROVISIONS AND/OR ANY OTHER MATTERS AS DISCLOSED AND/OR DELINEATED ON THE FACE OF THE FOLLOWING PLAT/SHORT PLAT/SURVEY:

Name: Binding Site Plan #L99-0003
 Recorded: July 1, 2002
 Auditor's No.: 200207010180

C. EASEMENT, INCLUDING TERMS AND PROVISIONS THEREOF:

Grantee: Public Utility District No. 1
Recorded: May 27, 1998
Auditor's No.: 9805270084
Purpose: Waterlines or related facilities
Area Affected: West 7 feet of the subject property

H. REGULATORY NOTICE/AGREEMENT THAT MAY INCLUDE COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING THE SUBJECT PROPERTY:

Recorded: March 22, 2004
Auditor's No.: 200403220177
Regarding: Special Flood Hazard Area

Reference is hereby made to the record for the full particulars of said notice/agreement. However, said notice/agreement may have changed or may in the future change without recorded notice.

Said notice/agreement may pertain to governmental regulations for building or land use. Said matters are not a matter of title insurance. If such non-title insurance matters are shown, they are shown as a courtesy only, without the expectation that all such matters have been shown.

I. TITLE NOTIFICATION THAT THE SUBJECT PROPERTY IS ADJACENT TO PROPERTY DESIGNATED NATURAL RESOURCE LANDS BY Skagit COUNTY.

Executed By: James O. Spane
Recorded: March 22, 2004
Auditor's No.: 200403220176

Reference is hereby made to the record for the full particulars of said notification. However, said notification may have changed or may in the future change without recorded notice.

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 88



200601050122
Skagit County Auditor

1/5/2006 Page 1 of 3 3:30PM

Return Address

Perkins Coie
1201 Third Avenue, 40th Floor
Seattle, Washington 98101-3099
Attention: Carol A. Kirby

LAND TITLE OF SKAGIT COUNTY 115097-T

<p>Document Title(s) (or transactions contained therein):</p> <ol style="list-style-type: none"> Quitclaim Deed
<p>Reference Number(s) of Documents assigned or released: N/A (on page ___ of documents(s))</p>
<p>Grantor(s) (Last name first, then first name and initials):</p> <ol style="list-style-type: none"> Gordon, Larry Gordon, Virginia <input type="checkbox"/> Additional names on page ___ of document.
<p>Grantee(s) (Last name first, then first name and initials):</p> <ol style="list-style-type: none"> L and V Properties II LLC <input type="checkbox"/> Additional names on page ___ of document.
<p>Legal description (abbreviated: i.e. lot, block, plat or section, township, range) Lot 9, Hilde Commercial Facility BSP #97-0361</p> <p><input checked="" type="checkbox"/> Full legal is on page 1 of document.</p>
<p>Assessor's Property Tax Parcel/Account Number 8020-000-009-0000</p>

ANY WRITING, TEXT, INITIALS, REVISIONS OR NOTARY SEAL APPEARING OUTSIDE THESE MARGINS MAY DISQUALIFY THIS DOCUMENT FOR RECORDING

QUITCLAIM DEED

GRANTORS, LARRY GORDON and VIRGINIA GORDON, husband and wife, for and in consideration only of benefits to be derived by transfer of the property to a limited liability company, convey and quitclaim to L AND V PROPERTIES II LLC, a Washington limited liability company, the following described real property situated in Skagit County, Washington, together with all after-acquired title of Grantors therein:

Lot 9, Hilde Commercial Facility Binding Site Plan No. 97-0361, approved November 25, 1998, recorded November 25, 1998, in Volume 13 of Short Plats, pages 186 and 187, under Auditor's File No. 9811250022 and being a portion of the Northwest quarter of the Southwest quarter of Section 32, Township 34 North, Range 4, E.W.M.

Together with all of Grantors' right, title and interest in and to that certain Lease dated January 26, 1999, as disclosed by Memorandum recorded under Skagit County Recording No. 9901270044, between Grantors, as Landlord, and Valley Freightliner, Inc., a Washington corporation, as Tenant. Grantee hereby assumes and agrees to perform all of the covenants and conditions of the Lease by said Landlord therein to be made and performed.

DATED this 13th day of Dec, 2005.

Larry Gordon
Larry Gordon

Virginia Gordon
Virginia Gordon

60
SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

JAN 05 2006

Amount Paid to
Skagit Co. Treasurer:
By *[Signature]* Per *[Signature]*

L AND V PROPERTIES II LLC, a Washington limited liability company

By *Virginia Gordon*
Name: VIRGINIA GORDON
Title: Manager

QUITCLAIM DEED
[03777-0004/SB051170.038]

PAGE 1
12/7/05



200601050122
Skagit County Auditor

ANY WRITING, TEXT, INITIALS, REVISIONS OR NOTARY SEAL APPEARING OUTSIDE THESE MARGINS MAY DISQUALIFY THIS DOCUMENT FOR RECORDING

STATE OF WASHINGTON)
)
COUNTY OF PIERCE) ss.

On this 13 day of DEC, 2005, before me, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared LARRY GORDON and VIRGINIA GORDON, to me known to be the individuals who executed the within and foregoing instrument, and acknowledged that they signed the same as their free and voluntary act and deed, for the uses and purposes therein mentioned.

GIVEN UNDER my hand and official seal hereto affixed the day and year in this certificate first above written.

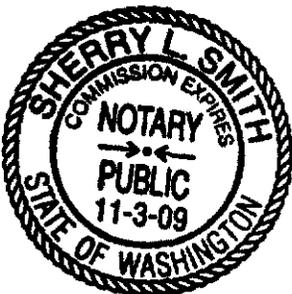


Sherry L. Smith
(Signature of Notary)
SHERRY L. SMITH
(Print or stamp name of Notary)
NOTARY PUBLIC in and for the State
of Washington, residing at PACIFIC
My appointment expires: 11-3-2009

STATE OF WASHINGTON)
)
COUNTY OF PIERCE) ss.

On this 13 day of DEC, 2005, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared Larry Gordon and Virginia Gordon, to me known to be the persons who signed as Managers of L AND V PROPERTIES II LLC, the limited liability company that executed the within and foregoing instrument, and acknowledged said instrument to be the free and voluntary act and deed of said limited liability company for the uses and purposes therein mentioned, and on oath stated that they were duly elected, qualified and acting as said officers of the limited liability company and that they were authorized to execute said instrument.

IN WITNESS WHEREOF I have hereunto set my hand and official seal the day and year first above written.



Sherry L. Smith
(Signature of Notary)
SHERRY L. SMITH
(Print or stamp name of Notary)
NOTARY PUBLIC in and for the State
of Washington, residing at PACIFIC
My appointment expires: 11-3-2009

QUITCLAIM DEED
[03777-0004/SB051170.038]

PAGE 2
12/7/05



200601050122
Skagit County Auditor

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 89



Building Permit City of Mount Vernon

Permit 20519

Site Address 517 Jacks Lane

Legal Desc HILDE COMMERCIAL FACILITY BINDING SITE PLAN, LOT 8

Lot [] **Block** [] **P#** P113740 **Plat** []

Owner's Name Poulsbo RV

Address []

City MOUNT VERNON **Zip** 98273 **Phone** () - []

Architect's Name []

Address []

City [] **Phone** () - []

Lending Agency []

Address []

City [] **Phone** () - []

Contractor's Name Alan N Perkes Construction, In

Address 17713 B DUNBAR RD.

City MOUNT VERNON, WA 98273 **Phone** (360) 428-0255

City License 6107 **State License** ALANNPC998JB (04/02/2008)

Plumbing Information

Amount	Type of Fixture or Item	Fee
<input type="checkbox"/>	Water Closet	[]
<input type="checkbox"/>	Bathtub	[]
<input type="checkbox"/>	Lavatory	[]
<input type="checkbox"/>	Shower	[]
<input type="checkbox"/>	Kitchen Sink	[]
<input type="checkbox"/>	Dishwasher	[]
<input type="checkbox"/>	Laundry Tray	[]
<input type="checkbox"/>	Clothes Washer	[]
<input type="checkbox"/>	Water Heater	[]
<input type="checkbox"/>	Urinal/Bidet	[]
<input type="checkbox"/>	Drinking Fountain	[]
<input type="checkbox"/>	Floor Sink or Drain	[]
<input type="checkbox"/>	Slop Sink	[]
<input type="checkbox"/>	Grease Trap/Interceptor	[]
<input type="checkbox"/>	Water Piping	[]

Type of Permit Work Type 3

- | | | |
|--|---|--|
| <input type="checkbox"/> Residential Application | <input checked="" type="checkbox"/> Fill Permit | <input type="checkbox"/> Sign Permit |
| <input type="checkbox"/> Building Permit | <input type="checkbox"/> Plumbing Permit | <input type="checkbox"/> Mechanical Perr |
| <input type="checkbox"/> Reroof/Dem | <input type="checkbox"/> Fence | <input type="checkbox"/> Other |

Occupancy Use []

Description of Work

Fill and grade up to 700cy / Site plan review for parking and Landscape

NOTICE: This permit is issued by the Building Official and, under the provisions of the Uniform Building Code, shall expire by limitation and become null and void if the building or work authorized by such permit is not commenced within 180 days from the date of permit issuance, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days. By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not, including calls for inspections.

Alan N Perkes Agent 10/18/06
Signature of Owner/Agent **Date**

FOLLOWING FOR DEPARTMENT USE ONLY

Street Setback	Side One	Side Two	Rear Yard Setback
[]	[]	[]	[]

Use Zone	Occ. Group	Type of Const
[]	[]	[]

NREC Required? Vacant Site? Dwelling Units Stories

FAD ESU's Bedrooms

Square Footage

Bldg Porch Garage Deck

When signed and dated below, this is your permit. Permission is hereby given to do the above described work, according to the conditions hereon and according to the approved plans and specifications pertaining thereto, subject to compliance with the ordinances of the City of Mount Vernon.

EX Building Official 10-18-06
Permit Issued By Rick Prosser **Date**

Conditions/Comments
 Please provide one additional copy for Engineering Staff.

	Approved for Issuance			Land Use Approval	
	Date	By		Date	By
Engineering Department	[]	[]	DNS	[]	[]
CED Department	[]	[]	CUP	[]	[]
Fire Department	[]	[]	VAR	[]	[]
			SUP	[]	[]
			MISC	[]	[]
			REZ	[]	[]

Permit []
Total Fees []

Mechanical Information

Gas? Electrical? Oil? Other?

Amount	Type of Fixture of Iter.	Fee
<input type="checkbox"/>	Air Conditioning Unit	[]
<input type="checkbox"/>	Refrigeration Unit	[]
<input type="checkbox"/>	Boiler	[]
<input type="checkbox"/>	Forced Air System	[]
<input type="checkbox"/>	Floor Furnace	[]
<input type="checkbox"/>	Wall Heater	[]
<input type="checkbox"/>	Unit Heater	[]
<input type="checkbox"/>	Clothes Dryer	[]
<input type="checkbox"/>	Ventilation Fan	[]
<input type="checkbox"/>	Range Hood	[]
<input type="checkbox"/>	Air Handling Unit	[]
<input type="checkbox"/>	Pre Manufactured Stove	[]
<input type="checkbox"/>	Hot Water Tank	[]
<input type="checkbox"/>	Gas Piping	[]

Permit []
Total Fees []

Fee Totals

Building Permit Fees	[]
Plan Review Fees	\$0.00
Plumbing Permit Fees	[]
Mechanical Permit Fees	[]
Sign Permit Fees	\$0.00
Impact Fees	[]
State Surcharge	\$0.00
Engineering Fees	\$165.72
Re-Inspection Fee	[]
Other F & G	\$500.00
Total Fees	\$665.72

Valuation Method

- Fees Based on \$ Value
- Calculated Using Square Footage
- Contractor's Bid
- Architect Estimate
- Owner Provided

20519

D 06-345

CITY OF MOUNT VERNON
COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT
FILL & GRADE APPLICATION AND REQUIREMENTS

RECEIVED
CITY OF MOUNT VERNON
SEP 05 2006
C.E.D. DEPARTMENT

Project Address		<input type="checkbox"/> Residential <input checked="" type="checkbox"/> Non-Residential	
517 Jack's Lane Mt. Vernon, WA			
Owner's Name Joan/Jack Hilde Family LLC			
Address PO Box 1708			
City	State	Zip	Phone
Mt Vernon	WA	98273	
Contractor's Name Alan Perkes			
Address 17713-B Dunbar Rd			
City	State	Zip	Phone
Mt Vernon	WA	98273	(360) 391-2800 (360) 428-0255
Labor & Industries License/Exp. Date		City License	
ALANNPC 998JB 4/2/08		#6107	
Legal Description Hilde commercial facility bindings site plan, Lot 8			
Property Tax Account Number P#		Zoning Designation	Flood Zone:
6020-000-008-0000 P113740		C-L	AO (2ft)
Address/Location of Origin of Fill: Meridian Pit M.V.			
Destination Address/Location of Excavated Material: NA			
Amount of Fill in:	Out:	Grading (in cubic yards):	Fee:
0	0	700cy	1065.72

Grading Material Previously Imported

By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent, and that the application and documents contained with this submittal are complete and accurate to the best of my knowledge and abilities.

Alan N. Perkes 8/21/06
Signature of Owner or Authorized Agent Date

Alan N. Perkes 360-428-0255
Project contact (please print) Phone Number

Preapp 2006-014

4/2/08



Ledger

City of Mount Vernon

City of Mount Vernon
Post Office Box 809,
Mount Vernon WA
98273
Telephone
360-336-6202

Property Location	Building	Business Licensing
Street # <input type="text" value="517"/>	Application No.	Business Name
Address <input type="text" value="Jacks Lane"/>	Permit No.	License No Year Fee
Unit <input type="text"/>	T2004-31 T2006-014 D06-345	RV Rentals Northwest, LLC Poulsbo RV, Incorporated
	T2004-31 T2006-14 20519	7073 2006 \$120 7074

Ledger Transactions

<p>Date: <input type="text" value="10/18/2006"/></p> <p>Receipt No.: <input type="text" value="CED000001"/></p> <p style="margin-left: 20px;">FIN011910 FIN011909 CED000001</p> <p>Entered By: <input type="text" value="Erink"/></p> <p>Received: <input type="text"/></p> <p>Total: <input type="text" value="\$ 665.72"/></p> <p>Amount: <input type="text"/></p> <p>Payment Type: <input type="text"/></p> <p>Check/Card #: <input type="text"/></p>	<table style="width: 100%; border-collapse: collapse;"> <tr><td>Building (2020):</td><td><input type="text"/></td></tr> <tr><td>Mech (2020):</td><td><input type="text"/></td></tr> <tr><td>Plumbing (2020):</td><td><input type="text"/></td></tr> <tr><td>Plan Chk (2020):</td><td><input type="text"/></td></tr> <tr><td>Other (2020):</td><td><input type="text" value="\$ 500.00"/></td></tr> <tr><td>Building Total:</td><td><input type="text" value="\$ 500.00"/></td></tr> <tr><td>Misc (6060):</td><td><input type="text"/></td></tr> <tr><td>Commercial (4100):</td><td><input type="text"/></td></tr> <tr><td>Plat (4100) Fee:</td><td><input type="text"/></td></tr> <tr><td>ROW (2020):</td><td><input type="text"/></td></tr> <tr><td>Sewer (2030):</td><td><input type="text"/></td></tr> <tr><td>Capacity (6660):</td><td><input type="text" value="\$ 0.00"/></td></tr> <tr><td>Expansion (6680):</td><td><input type="text" value="\$ 0.00"/></td></tr> <tr><td>Engineer (4080):</td><td><input type="text" value="\$ 165.72"/></td></tr> </table>	Building (2020):	<input type="text"/>	Mech (2020):	<input type="text"/>	Plumbing (2020):	<input type="text"/>	Plan Chk (2020):	<input type="text"/>	Other (2020):	<input type="text" value="\$ 500.00"/>	Building Total:	<input type="text" value="\$ 500.00"/>	Misc (6060):	<input type="text"/>	Commercial (4100):	<input type="text"/>	Plat (4100) Fee:	<input type="text"/>	ROW (2020):	<input type="text"/>	Sewer (2030):	<input type="text"/>	Capacity (6660):	<input type="text" value="\$ 0.00"/>	Expansion (6680):	<input type="text" value="\$ 0.00"/>	Engineer (4080):	<input type="text" value="\$ 165.72"/>	<table style="width: 100%; border-collapse: collapse;"> <tr><td>Sign (2020):</td><td><input type="text"/></td></tr> <tr><td>St Surch (8240):</td><td><input type="text" value="\$ 0.00"/></td></tr> <tr><td>Schools-IF (8280):</td><td><input type="text"/></td></tr> <tr><td>Park-IF (4225):</td><td><input type="text"/></td></tr> <tr><td>Fire-IF (4226):</td><td><input type="text"/></td></tr> <tr><td>Traffic-IF (4227):</td><td><input type="text"/></td></tr> <tr><td>Admin-IF (4000):</td><td><input type="text"/></td></tr> <tr><td>Impact Fee Total:</td><td><input type="text" value="\$ 0.00"/></td></tr> <tr><td>Land (4110):</td><td><input type="text"/></td></tr> <tr><td>Enviro (4110):</td><td><input type="text"/></td></tr> <tr><td>HOP (4110):</td><td><input type="text"/></td></tr> <tr><td>Busn. Licn (2000):</td><td><input type="text"/></td></tr> <tr><td>Trans. Yr.</td><td><input type="text"/></td></tr> <tr><td>BL xref</td><td><input type="text" value="20519"/></td></tr> </table>	Sign (2020):	<input type="text"/>	St Surch (8240):	<input type="text" value="\$ 0.00"/>	Schools-IF (8280):	<input type="text"/>	Park-IF (4225):	<input type="text"/>	Fire-IF (4226):	<input type="text"/>	Traffic-IF (4227):	<input type="text"/>	Admin-IF (4000):	<input type="text"/>	Impact Fee Total:	<input type="text" value="\$ 0.00"/>	Land (4110):	<input type="text"/>	Enviro (4110):	<input type="text"/>	HOP (4110):	<input type="text"/>	Busn. Licn (2000):	<input type="text"/>	Trans. Yr.	<input type="text"/>	BL xref	<input type="text" value="20519"/>
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<p>Misc Type: <input type="text"/></p> <p>Prints/Copies (4010)</p> <p>Comp Plan (4011)</p> <p>Portable Sign (4110)</p> <p>Zoning Code (4110)</p>	<p>Commercial Type: <input type="text"/></p> <p>Plat Type: <input type="text"/></p> <p>ROW Type: <input type="text"/></p>	<p>Transaction Memo: <input style="width: 100%; height: 50px;" type="text"/></p>																																																								

City of Mount Vernon
360-336-6202

103 City Hall
0629001-1 10/18/2006 BR103 T2
Wed Oct18,2006 11:42AM Trans#29-29
Name: ALAN PERKES
29 \$665.72 2000 - DEV SERVICES
* Desc.: 517 JACKS LANE
GL: R 001.322.10.00
Item Amt: \$500.00
GL: R 001.343.20.00
Item Amt: \$165.72
1 ITEM(S): TOTAL: \$665.72
Check PAID \$665.72

Have a great day!

Filed for Record at the Request of:
EGGER BETTS AUSTIN JOHNSON, P.L.L.C.
1616 Cornwall Avenue, Suite 209
Post Office Box 2788
Bellingham, WA 98227-2788



200005020036
Kathy Hill, Skagit County Auditor
5/2/2000 Page 1 of 2 9:43:43AM

Document Title(s): Statutory Warranty Deed
Reference No. of Documents Released/Assigned: N/A
Grantor: BROWNLIN PARTNERSHIP, a Washington Partnership consisting of JACK L. HILDE and JOAN L. HILDE
Grantee: JACK & JOAN HILDE FAMILY, L.L.C., a Washington Limited Liability Company
Abbreviated Legal: LOTS 1, 2, 3, 5, 6, 7, & 8, HILDE COMM FAC BINDING SITE PLAN NO., NW¼ SW¼ SCT 32, TWNS 34 N, RNG 4 E.W.M.
Legal Description Located on Pages 1 and 2 of This Statutory Warranty Deed.
Assessor's Tax Parcel ID #: 1) P29567/8020-000-001-0000, 2) P29568/8020-000-002-0000, 3) P113735/8020-000-003-0000, 5) P113737/8020-000-005-0000, 6) P113738/8020-000-006-0000, 7) P113739/8020-000-007-0000, 8) P113740/8020-000-008-0000

STATUTORY WARRANTY DEED

The GRANTOR, BROWNLIN PARTNERSHIP, a Washington Partnership, consisting of JACK L. HILDE and JOAN L. HILDE, for and in consideration of transfer to a limited liability company, convey and warrant to the JACK & JOAN HILDE FAMILY, L.L.C., a Washington Limited Liability Company, all of their interest in the following described real estate, situated in the County of Skagit, State of Washington, including any after acquired title:

Lots 1, 2, 3, 5, 6, 7 and 8, Hilde Commercial Facility Binding Site Plan No. 97-0361, approved November 25, 1998, recorded November 25, 1998, in Volume 13 of Short Plats, Pages 186 and 187, under Auditor's File No. 9811250022 and being a portion of the Northwest Quarter of the Southwest Quarter, Section 32, Township 34 North, Range 4 East, W.M.

Situate in the County of Skagit, State of Washington.

SUBJECT TO: Relinquishment of rights of access to State Highway and of light, view, and air under terms of Deed to the State of Washington recorded April 14, 1953 and June 19, 1953, under Auditor's File Nos. 48701 and 489685, respectively; Agreement recorded February 23, 1987, under Auditor's File No. 8702230023; Development

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 90

9811250022

33
26
59-

HILDE COMMERCIAL FACILITY BINDING SITE PLAN
SKAGIT COUNTY APPLICATION NO. 97-0361
N.W. 1/4 OF THE S.W. 1/4, SECTION 32,
TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M.
SKAGIT COUNTY, WASHINGTON

LANDSCAPE REQUIREMENTS

INDIVIDUAL LANDSCAPING FOR EACH LOT SHALL CONFORM TO SKAGIT COUNTY AND CITY OF MOUNT VERNON LANDSCAPING REQUIREMENTS THAT EXIST AT THE TIME OF BUILDING PERMIT APPLICATION.

EASEMENT PROVISIONS

1. AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF MOUNT VERNON, SKAGIT COUNTY, PUBLIC UTILITY DISTRICT NO. 1, PUGET SOUND ENERGY, G.T.E., CASCADE NATURAL GAS CORP., AND TCI CABLEVISION OF WASHINGTON INC. AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS UPON AND UPON THE EXTERIOR TEN (10) FEET OF ALL LOTS AND TRACTS AND OTHER UTILITY EASEMENTS SHOWN ON THE FACE OF THE BINDING SITE PLAN, IN WHICH TO INSTALL, LAY, CONSTRUCT, REPAIR, OPERATE, MAINTAIN, AND REMOVE UTILITY SYSTEMS, LINES, FIXTURES, AND APPURTENANCES ATTACHED THERETO, FOR THE PURPOSE OF PROVIDING UTILITY SERVICES TO THE SUBDIVISION AND OTHER PROPERTY, TOGETHER WITH THE RIGHT TO ENTER UPON THE LOTS AND TRACTS AT ALL TIMES FOR THE PURPOSES STATED, WITH THE UNDERSTANDING THAT ANY GRANTEE SHALL BE RESPONSIBLE FOR ALL UNNECESSARY DAMAGE IT CAUSES TO ANY REAL PROPERTY OWNER IN THE SUBDIVISION BY THE EXERCISE OF RIGHTS AND PRIVILEGES HEREIN GRANTED.

2. DRAINAGE DISTRICT #17 HAS THE RIGHT TO ACCESS LOTS 2, 4, 5, AND 10 TOGETHER WITH PARCELS A, B, AND C, FOR MAINTENANCE OF THE OPEN DITCH AND CULVERT. THE MAINTENANCE ASSOCIATION HAS THE RIGHT TO ACCESS LOTS 3, 4, 5, 6, 7, 9, AND 10 TOGETHER WITH PARCELS A, B, C, AND D, FOR MAINTENANCE OF THE DETENTION SYSTEM.

3. PRIVATE DRAINAGE EASEMENTS AS SHOWN HEREON ARE HEREBY GRANTED TO LOTS 1 THRU 10 FOR STORM WATER DRAINAGE PURPOSES. ALL MAINTENANCE OBLIGATIONS FOR SAID EASEMENTS ARE AS SET FORTH IN AUDITOR'S FILE NUMBER 9811250023.

NOTES

1. BUYER SHOULD BE AWARE THAT THIS BINDING SITE PLAN IS LOCATED IN AN AO ZONE FLOOD PLAIN AND THE LOWEST FLOOR (INCLUDING BASEMENT) IS TO BE ELEVATED ABOVE THE HIGHEST ADJACENT GRADE OF THE BUILDING SITE, ONE FOOT OR MORE ABOVE THE DEPTH NUMBER SPECIFIED ON THE FIRM MAP.

2. THE BINDING SITE PLAN NUMBER AND DATE OF APPROVAL SHALL BE INCLUDED IN ALL DEEDS AND CONTRACTS.

3. NO BUILDING PERMITS SHALL BE ISSUED FOR RESIDENTIAL AND/OR COMMERCIAL STRUCTURES THAT ARE NOT, AT THE TIME OF APPLICATION, DETERMINED TO BE WITHIN AN OFFICIAL DESIGNATED BOUNDARY OF SKAGIT COUNTY FIRE DISTRICT.

4. CHANGE IN LOCATION OF ACCESS, MAY NECESSITATE A CHANGE OF ADDRESS, CONTACT SKAGIT COUNTY PERMIT CENTER.

5. PARKING REQUIREMENTS WILL BE DETERMINED WITH BUILDING PERMIT APPLICATION

6. THIS BINDING SITE PLAN IS SUBJECT TO THE CONDITIONS OF THE DEVELOPMENT AGREEMENT BETWEEN THE CITY OF MOUNT VERNON/SKAGIT COUNTY/JACK HILDE FOR THE HILDE COMMERCIAL FACILITY, AS DOCUMENTED UNDER SKAGIT COUNTY CONTRACT NUMBER 003768, AS RECORDED UNDER AUDITOR'S FILE NUMBER 980130051.

7. CRITICAL AREAS MITIGATION SHALL BE ACCOMPLISHED FOR THE EXISTING ARTIFICIAL WATERCOURSE BISECTING THE PROPERTY, THROUGH COMPLIANCE WITH THE DEPARTMENT OF ECOLOGY'S STORM WATER MANAGEMENT MANUAL FOR THE PUGET SOUND BASIN.

8. SUBJECT TO THE RELINQUISHMENT OF RIGHTS OF ACCESS TO STATE HIGHWAY AND OF LIGHT, VIEW, AND AIR UNDER TERMS OF DEED TO THE STATE OF WASHINGTON AFFECTING PARCEL B, RECORDED APRIL 14, 1958 UNDER AUDITOR'S NUMBER 48701.

9. SUBJECT TO THE RELINQUISHMENT OF RIGHTS OF ACCESS TO STATE HIGHWAY AND OF LIGHT, VIEW, AND AIR UNDER TERMS OF DEED TO THE STATE OF WASHINGTON AFFECTING PARCEL C, RECORDED JUNE 19, 1953 UNDER AUDITOR'S NUMBER 489685.

10. SUBJECT TO AN EASEMENT AND PROVISIONS GRANTED TO PUGET SOUND, POWER & LIGHT COMPANY FOR THE "RIGHT TO ENTER SAID PREMISES TO OPERATE, MAINTAIN AND REPAIR UNDERGROUND ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM, TOGETHER WITH THE RIGHT TO REMOVE BRUSH, TREES AND LANDSCAPING WHICH MAY CONSTITUTE A DANGER TO SAID LINES." RECORDED FEBRUARY 20, 1987 UNDER AUDITOR'S NUMBER 8702200057.

11. SUBJECT TO THE TERMS AND CONDITIONS OF AN AGREEMENT BETWEEN PUBLIC UTILITY DISTRICT NO. 1 OF SKAGIT COUNTY AND BROWNLIN AND JACK HILDE REGARDING PARTIAL REFUND OF DISTRIBUTION-MAIN EXTENSION INSTALLATION CONTRIBUTION, RECORDED FEBRUARY 23, 1987 UNDER AUDITOR'S NUMBER 8702230023.

12. SUBJECT TO A DRAINAGE DITCH RIGHT-OF-WAY, AS DECREED BY DRAINAGE DISTRICT NO. 17, SUPERIOR COURT OF THE STATE OF WASHINGTON, DECREE CASE NO. 17539.

13. THE OBLIGATION OF THE HILDE COMMERCIAL FACILITY MAINTENANCE ASSOCIATION TO MANAGE THE DRAINAGE EASEMENT AND DRAINAGE FACILITIES SHALL BE AS SET FORTH IN THE ARTICLES OF INCORPORATION OF HILDE COMMERCIAL FACILITY MAINTENANCE ASSOCIATION AS RECORDED UNDER AUDITOR'S FILE NUMBER 9811250023, RECORDS OF SKAGIT COUNTY.

14. THIS BINDING SITE PLAN IS SUBJECT TO FIRST AMERICAN TITLE INSURANCE CO. SUBDIVISION GUARANTEE POLICY, ORDER NO. 52748, GUARANTEE NO. H-302950, DATED SEPT. 19TH, 1991, AND UPDATED SEPT. 22ND, 1998.

15. THE BUILDING SETBACK REQUIREMENTS FOR EACH LOT SHALL CONFORM TO THE CITY OF MOUNT VERNON/SKAGIT COUNTY SETBACK SETBACK REQUIREMENTS IN EFFECT AT THE TIME OF BUILDING PERMIT APPLICATION. (C-11) ZONING DISTRICT.

16. NO BUILDING PERMITS WILL BE ISSUED ON ANY LOTS UNTIL IMPROVEMENTS TO WATER LINES HAVE BEEN DONE WHICH WILL PROVIDE ADEQUATE FLOW FOR THE PROPOSED BUILDING BASED ON UFC TABLE IIIA. PLACEMENT OF ADDITIONAL HYDRANTS MAY ALSO BE REQUIRED AT TIME OF BUILDING PERMITS BASED ON SIZE, LOCATION, AND TYPE OF CONSTRUCTION AND OCCUPANCY GROUP OF PROPOSED BUILDINGS.

TREASURER'S CERTIFICATE

THIS IS TO CERTIFY THAT ALL TAXES HERETOFORE LEVIED AND WHICH HAVE BECOME A LIEN UPON THE LANDS HEREIN DESCRIBED HAVE BEEN FULLY PAID AND DISCHARGED ACCORDING TO THE RECORDS OF MY OFFICE UP TO AND INCLUDING THE YEAR OF 1998. THIS 25th DAY OF NOVEMBER, 1998.

Judith M. Wrench
SKAGIT COUNTY TREASURER

A DEPOSIT HAS BEEN MADE TO COVER ANTICIPATED TAXES FOR THE YEAR 1999

DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT BROWNLIN PARTNERSHIP, A WASHINGTON PARTNERSHIP, CONSISTING OF JACK L. HILDE AND JOAN L. HILDE, THE OWNER THEREOF, DO HEREBY DECLARE THIS PLAT AND DEDICATE TO THE PUBLIC FOREVER ALL ROADS AND WAYS, EXCEPT PRIVATE AND CORPORATE ROADS, SHOWN HEREON WITH THE RIGHT TO MAKE ALL NECESSARY SLOPES FOR CUTS AND FILLS, AND THE RIGHT TO CONTINUE TO DRAIN SAID ROADS AND WAYS OVER AND ACROSS ANY LOT OR LOTS, WHERE WATER MIGHT TAKE A NATURAL COURSE, IN THE ORIGINAL REASONABLE GRADING OF THE ROADS AND WAYS SHOWN HEREON. FOLLOWING ORIGINAL REASONABLE GRADING OF ROADS AND WAYS HEREON, NO DRAINAGE WATERS ON ANY LOT OR LOTS SHALL BE DIVERTED OR BLOCKED FROM THEIR NATURAL COURSE SO AS TO DISCHARGE UPON ANY PUBLIC ROAD. ANY ENCLOSING OF DRAINAGE WATERS IN CULVERTS OR DRAINS REROUTING SHALL BE DONE BY AND AT THE EXPENSE OF SUCH OWNER.

PARCELS A, B, C AND D ARE HEREBY GRANTED AND CONVEYED TO THE HILDE COMMERCIAL FACILITY MAINTENANCE ASSOCIATION. ARTICLES OF INCORPORATION OF HILDE COMMERCIAL FACILITY MAINTENANCE ASSOCIATION AS RECORDED UNDER AUDITOR'S FILE NUMBER 9811250023, RECORDS OF SKAGIT COUNTY.

CONSENT

KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED HAVE MADE AS OUR FREE AND VOLUNTARY ACT AND DEED IN ACCORDANCE WITH THE OWNERS, THIS SUBDIVISION KNOWN AS "HILDE COMMERCIAL FACILITY BINDING SITE PLAN".

98 NOV 25 10:36

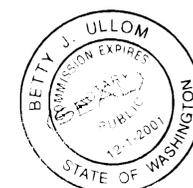
BROWNLIN PARTNERSHIP, A WASHINGTON PARTNERSHIP

Joan L. Hilde
JOAN L. HILDE

Jack L. Hilde
JACK L. HILDE

ACKNOWLEDGMENTS

STATE OF WASHINGTON
COUNTY OF SKAGIT
ON THIS 14th DAY OF OCTOBER, 1998 BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED JOAN L. HILDE AND JACK L. HILDE, HUSBAND AND WIFE, OF BROWNLIN PARTNERSHIP, A WASHINGTON PARTNERSHIP, TO ME KNOWN TO BE THE INDIVIDUALS DESCRIBED IN AND WHO EXECUTED THE WITHIN INSTRUMENT, AND ACKNOWLEDGED THAT THEY SIGNED AND SEALED FOR THE SAME AS THEIR FREE AND VOLUNTARY ACT AND DEED, FOR THE PURPOSES THEREIN MENTIONED. WITNESS MY HAND AND OFFICIAL SEAL HERETO AFFIXED THE DAY AND YEAR ABOVE WRITTEN.



Betty J. Ullom
NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON
Betty J. Ullom
(NOTARY NAME TO BE PRINTED)
RESIDING AT 1169 OLGA HWY 99 So. Mount VERNON
MY APPOINTMENT EXPIRES 12-01-2001

APPROVALS

THE WITHIN AND FOREGOING BINDING SITE PLAN IS APPROVED IN ACCORDANCE WITH THE PROVISIONS OF THE SKAGIT COUNTY CODE SECTION 14.12.030, 14.12.050, 14.12.090 AND 14.12.100 THIS 25th DAY OF NOVEMBER, 1998.

Robert L. Schofield
HEARING EXAMINER

Jon K...
PLANNING DIRECTOR

Cliff...
COUNTY ENGINEER
11-23-98

AUDITOR'S CERTIFICATE

FILED FOR RECORD THIS 25th DAY OF NOV, 1998, AT 10:36 A.M. IN BOOK 13 OF PLATS AT PAGE(S) 186-187 AT THE REQUEST OF JACK L. HILDE

Kathryn...
SKAGIT COUNTY AUDITOR

BY: *Cliff...*
DEPUTY

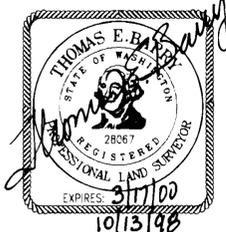
A.F.N. 9811250022

REV 06 JSM 10/13/98

SURVEYOR'S CERTIFICATE

I, THOMAS E. BARRY, REGISTERED LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS "HILDE COMMERCIAL FACILITY BINDING SITE PLAN" IS BASED ON AN ACTUAL SURVEY, WHICH IS RETRACEABLE AND BASED ON A TRUE SUBDIVISION OF THE SECTION, AND THAT THE DISTANCES, COURSES, AND ANGLES ARE SHOWN THERE ON CORRECTLY, AND THAT THE BOUNDARIES OF THE LAND HAVE BEEN SURVEYED AND MONUMENTED AS SHOWN ON THE PLAN.

THOMAS E. BARRY, P.L.S. *Thomas E. Barry* DATE 10/13/98
CERTIFICATE NO. 28067



METRON

and ASSOCIATES INC.
LAND SURVEYS, MAPS, AND LAND USE PLANNING

307 N. OLYMPIC, SUITE 205
ARLINGTON, WASHINGTON 98223
(360) 435-3777 FAX (360) 435-4822

DATE: AUGUST 1998 BY: J.S.M. SCALE: --
PROJECT NO. 97012 F.B. 4-34

SKAGIT COUNTY APPLICATION NO. 97-0361

HILDE COMMERCIAL FACILITY
BINDING SITE PLAN

N.W. 1/4 OF THE S.W. 1/4, SECTION 32,
TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M.
SKAGIT COUNTY, WASHINGTON SHEET 1 OF 2

Permit Application

Routing

City of Mount Vernon
 Development Services Department
 360-336-6214

RECEIVED
 CITY OF MOUNT VERNON
 JAN 25 2007
 C.E.D. DEPARTMENT

D 07-034

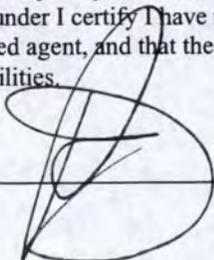
Site Address: 506 Jack's Lane Mount Vernon, WA 98273		
Parcel number: P113739	Lot No.: 7	Plat Name: Hilde Commercial Facility
Owner Name: Poultsbo RV / Jack & Joan Hilde Family Trust		
Address: PO Box 1708 Mount Vernon, WA 98273		
Phone:	Cell phone:	E-mail:
Contractor Business Name: ANP Construction		
Labor & Industries License number and expiration date: on file		
City Business License: on file		
Contact Name: Alan Perkes	Address: 17713-B Dunbar Rd Mount Vernon, WA 98273	
Phone: 360-428-0255	Cell Phone:	E-mail: alanp@anpconstruction.com
Valuation of Project:	Flood Zone?: NO YES	
Detailed Project Description: New Pre-engineered building (metal) 9,100 sq. footprint, w/ 3,100 sq. storage mezzanine		
Total:	15,911.54	Notified: 3/9/07 left voice msg
Comments:		

BUILDING DEPARTMENT APPLICATION POLICIES

1. Whenever plans have been submitted for review in connection with an application for a building permit, the applicant shall be responsible for payment of plan review or "plan check" fees. Such fees shall be payable whether or not a building permit is issued.
2. Plan check fees shall be calculated by the method set forth in the Uniform Building Code, 1997 Edition.
3. The applicant shall be notified by the Building Department upon completion of the plan check. Applicant must pay for and pick up a building permit or in the alternative, pay plan check fees only, within 60 days of such notification. Failure to do so will result in the matter being referred to the City Attorney for collection of plan check fees.
4. Where a plan check has been conducted, but no building permit is issued, a plan check for which fees have been paid in a timely manner shall be valid for a period of 30 days from the date of payment. Such plan check may be used to support a subsequent application for a building permit for the same project within that 30 day period without additional plan check fees; PROVIDED, HOWEVER, in the event of a change in building code requirements during such 30 day period, the validity of such plan check will terminate, and a new plan check, with appropriate payment of fees, must accompany any subsequent application.
5. No plan check will be valid following the expiration of the 30 day period noted above. An application for a building permit made after such 30 day period, including applications for identical projects on the same parcel of property, will require a new plan check and the applicant will be responsible for the new plan check fees.
6. Where a plan check has been conducted, but no building permit is issued, it shall be the applicant's responsibility to pick up all submitted plans and documents within 6 weeks following payment of the plan check fees. Following such 6 week period, the plans and documents may be discarded or destroyed by the Building Department.

By signature hereunder I certify I have read and understand the policies set forth above. I certify that I am the owner, or am acting as the Owner's authorized agent, and that the application and documents contained with this submittal are complete and accurate to the best of my knowledge and abilities.

Signature: _____



Date: _____

1/24/07

CITY OF MOUNT VERNON
Impact Fee Assessment Form (effective July 1, 2006)

Site Address: 506 Jacks Lane
 Lot # & Plat Name: Lot 7 Hilde Commercial BSP
 Parcel #- Project Type:
 Owner: Koulsbo RV Date: 1-25-07

School Impact Fees (Applies to Residential Development Only)		Impact Fees	Admin. Fees
	Single Family Units @ \$5,000.00 and \$35.00 Admin./unit		
	Multi-Family Units @ \$2,900 and \$35 Admin./unit		
	Credits for Adjustments	()	()
	Total School Impact Fees		
Park Impact Fees (Applies to Residential Development Only)		Impact Fees	Admin. Fees
	Single Family Units @ \$855.00 + \$35.00 Admin./Unit		
	Multi-Family Units @ \$789.00 + \$70.00 Admin./Permit		
	Credits for Adjustments	()	()
	Total Park Impact Fees		
Fire Impact Fees		Impact Fees	Admin. Fees
	Single Family Units @ \$152.00 + \$35.00 Admin./Unit		
	Multi-Family Units @ \$152.00 + \$70.00 Admin./Permit		
	Commercial: \$0.22 x s.f. (Admin.: 1% of Fees; \$35.00 minimum) <i>13,200sf x .22</i>	<i>2904-</i>	<i>35-</i>
	Credits for Adjustments	()	()
	Total Fire Impact Fees	<i>2904-</i>	<i>35-</i>
Traffic Impact Fees		Impact Fees	Admin. Fees
ITE Land Use Code			
	Single Family @ \$3253.00/unit + 35.00 Admin.		
	Multi-Family @ \$2180.00/unit + \$70.00 Admin./Permit		
<i>office</i>	Commercial sq.ft. ÷ 1,000 x <u>1.49</u> x \$ <u>170</u> /trip Administration is 1% of Fees; \$35.00 minimum.	<i>91180</i>	<i>=</i>
<i>Storage</i>	<i>9600sf ÷ 1,000 x .61 x 170.00/trip</i>	<i>966.24</i>	<i>(35-)</i>
<i>warehouse</i>	<i>credit?</i>	<i>1878.04</i>	<i>35-</i>
Total Impact Fees			
Total Administrative Fees (Including transfer fees of \$ _____)			
Total Owning			

Applicant: *Alan Perkins* Date: *3/9/07*
 CED Department Approval: *[Signature]* Date: *3-9-07*
 Signature: _____ Date: _____

City of



Vernon

Washington

CERTIFICATE OF OCCUPANCY

This certificate has been issued pursuant to requirements contained in the Uniform Building Code and does certify that at the time of issuance this structure was in compliance with the codes and ordinances of the City regulating building construction and use.

Building Address 506 Jackslane Owner Poulsbo RV

Building Permit 20827 Group B/S1 Type IB Use C-L

Building Official Rick Prosser By [Signature]

Date 10-6-08

POST IN A CONSPICUOUS PLACE

910 Cleveland Avenue
Mount Vernon, WA
98273

City Of Mount Vernon Building Inspection Record

For Inspection call: (360)
336-6243 24 Hour notice
required

Owner Name Poulso RV

Site Address 506 Jacks Lane

Lot

Parcel Number P113739

Contractor Alan N Perkes Construction, Ir (360) 428-0255

Permit Number: 20827

F.I.R.M Designation:

Date Issued 03/09/2007

Street Setback Front:

Street Setback Rear:

Size of Building: 13200

Size of Deck

Street Setback Left:

Street Setback Right

Size of Garage:

Size of Porch

Work Description: Construct new pre-engineered building Office 3600,
Storage 9600

Type of Permit: Building Plumbing

Type of Const IIB

Mechanical Sign No

1. FOUNDATION

Property lines must be staked

Inspection: Date By:

Temp Erosion Control _____

Setbacks _____

Footing Reinforcement _____

Wall & Reinforcement _____

Slab w/ insulation 4-17-07 SA

Ground Work Plumbing 3-27-07 SA

Hold Downs _____

2. UNDERFLOOR FRAMING

Before Floor Sheathing is Placed

Underfloor _____
Perimeter Drainage _____

3. SHEARWALL/BRACING PANELS

Shear Wall Nailing INT. 6-28-07 SA

Bracing Panels _____

4. PLUMBING/HEAT/VENTILATION

Prior to Framing

Rough Plumbing 6-21-07 SA

Rough Heat & Vent Duct 6-21-07 SA

Fireplace Chase 6-21-07 SA

Exhaust Fan _____

Water Heater (electric) _____

5. FRAMING

All Prior Corrections to Be Made
WA St Electrical Approval Required

Framing 6-21-07 SA

6. INSULATION

All Framing Corrections Must Be Done

Attic - Ceiling _____

Floor _____

Wall Insulation 6-28-07 SA

OTHER INFORMATION

Special site considerations
Variance information
Inspector Notes

Conditions

Landscaping, As-Built (mylar & CD), Landscape Maint.
Bond and Fire approval required for Building final sign off.

7. DRYWALL

Inspection: Date By:

Interior Shear Walls _____

Wall Board Nailing 6-28-07 SA

Rated Separation Walls _____

8. FIRE INSPECTIONS

Fire Suppression System _____

Fire Alarm Acceptance Test _____

Hood/Duct Acceptance Tes _____

9. MECHANICAL

Gas Fireplace _____

Gas Furnace _____

Gas Hot Water Heater _____

Gas Piping 6-21-07 SA

10. IMPROVEMENTS

Water Line _____

Sewer Line _____

Driveway _____

Irrigation System (back flow) _____

Siding Final _____

Parking Striping / Signage _____

Sidewalk / Curb Cut _____

11. FINAL

All Corrections Must Have been Made

Insulation Certification _____

Final Mechanical - NREC _____

Engineering Dept. Final _____

Fire Dept. Final _____

Architect/Engineer sign off _____

Flood Certification Recd - in file kj

Landscaping (street trees) _____

Roofing Final _____

Final For Occupancy 9-16-08 RO

Plans: None Pulled Attached Unable to locate E

DISCOUNT NEED STORAGE ONLY SIGN @ MEDIAN LEVEL, NEED EXIT SIGN @ HALL & SHOWR, NEED UNISEX SIGN POSTED ON WALL W/RESTA SIDE, NEED "DOOR TO REMAIN UNLOCKED"... SIGN ABOVE DOORS, NEED COMBUSTION AIR FOR HWHT @ FRONT RIS & MEZZ. LANDSCAPE FINISH @ FIRE FINISH.

3-14-07 EAST 1/2 FOOTINGS/REBAR O.K. R.O.

3-19-07 EAST 1/2 WALL REINFORCEMENT OK SA.

3-29-07 FTR @ WEST SIDE C.D/1-10 OK

4-2-07 WALL @ WEST SIDE C.D/1-10 OK

4-5-07 SLAB 1-4 NORTH END OK. SA.

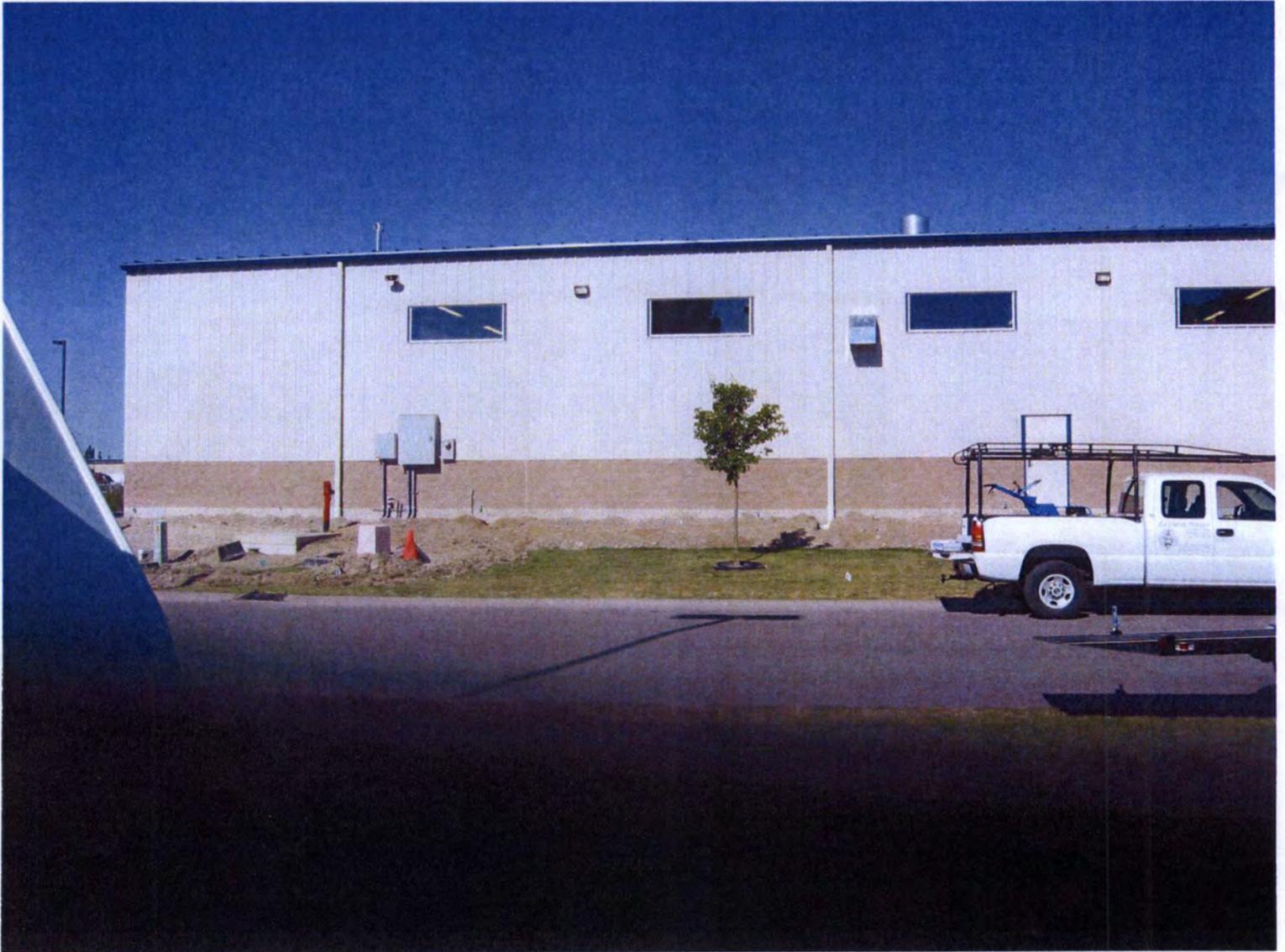
4-17-07 BALANCE OF SLAB.

7-18-07 SUSPENDED CEILING OK. SA

Building Photographs

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 506 JACK'S LANE	For Insurance Company Use: Policy Number
City MT VERNON State WA ZIP Code 98273	Company NAIC Number
If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."	



Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 506 JACK'S LANE	For Insurance Company Use:
City MT VERNON State WA ZIP Code 98273	Policy Number
	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page, following.



May 8, 2008

Poulsbo RV
506 Jacks Lane
Mount Vernon, WA 98273
Re: 506 Jacks Lane/ Poulsbo RV New construction

Attention Manager of Poulsbo RV:

This letter is to inform you that that the building permit #20827, to construct a new pre-engineered building for office and storage, has not received a certificate of occupancy. Per the International Building Code Section 110.1; No building or structure shall be used or occupied until the building official has issued a certificate of occupancy.

The following items are outstanding:

Landscape Final A site inspection has been done. The plant material and design does not match the submitted plan. The City has requested a revised "as-built" planting plan and key to show the new plan and plant types.

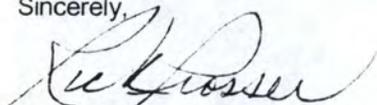
Landscape Maintenance bond The City has requested a revised plant list with the cost from the installer that indicates it matches the amount provided for the bond.

Fire Inspection Final

Building Inspection Final

The items listed must be completed within 10 working days. If the items have not been completed by May 23rd, the City will start proceedings per IBC Section 113.3;the building official is authorized to request the legal counsel of the jurisdiction to institute the appropriate proceeding at law or in equity to restrain, correct or abate such violation, or to require the removal or termination of the unlawful occupancy of the building or structure in violation of the provisions of this code or of the order or direction made pursuant thereto.

Sincerely,

A handwritten signature in black ink, appearing to read "Rick Prosser", written in a cursive style.

Rick Prosser
Building Official

cc: Alan Perkes
Jack & Joan Hilde

Jewett, Krista

To: alanp@anpconstruction.com
Cc: Higgins, Elizabeth; Klinger, Erin; Hanson, Jana
Subject: Poulsbo RV

Hi Alan,

Our new Planner, Elizabeth, went out for a landscape inspection at Poulsbo RV. The installed landscape did not match the landscape plan. It looks ok but, we will require an "as-built" revised plan and planting list. Your landscaper should be able to do this for you. Thank you!

Krista Jewett - Permit Tech
360-336-6214
Community & Economic Development
Building, Planning & Engineering

Thought for the week:

"Don't just survive.....thrive!"

Inspections

City of Mount Vernon

City of Mount Vernon
Post Office Box 809,
Mount Vernon WA
98273
Telephone
360 222 2222

Property Information

Parcel # P113739

Applicant Information

Site Address Information

Street # 506 Address Jacks Lane Unit
Lot Block Occ. Group
Plat Use Zone
Legal Desc. HILDE COMMERCIAL FACILITY BINDING SITE PLAN, LOT 7, ACRES

Code TEN
Name Poulsbo RV
Address
City MOUNT VERNON State WA Zip 98273
Phone () - Residential Application?

Permit Info.

Application # D07-034 D07-020 Permit # 20827 20775 CO # CO # Issued
Received 01/25/2007 D07-034 issued 03/09/2007 20827 Final Expire

Inspection Information

Entry Date:	Performed:	Inspector:	Pass?	Type:	Reinspection
07/30/2007	07/30/2007	Sean Angeley	<input type="checkbox"/>	Final	Re-Inspect? <input type="checkbox"/>
06/28/2007	06/28/2007	Sean Angeley	Yes	Wallboard	Fee <input type="text"/>
07/18/2007	07/18/2007	Sean Angeley	Yes	Suspend Ceiling	Re-Inspection Permit? <input type="checkbox"/>
07/30/2007	07/30/2007	Sean Angeley	No	Final	

Comments:

need landscape & fire finals // see permit for corrections

3/20 called
left voice msg
3/20 called but I was
gone
3/28 - left voice msg. he will
3/28 spoke w/ Alan - he will
get taken care of
3/28 & call in for
inspections
4/7 left
voice msg. KX

Filed for Record at the Request of:
EGGER BETTS AUSTIN JOHNSON, P.L.L.C.
1616 Cornwall Avenue, Suite 209
Post Office Box 2788
Bellingham, WA 98227-2788



200005020036
Kathy Hill, Skagit County Auditor
5/2/2000 Page 1 of 2 9:43:43AM

Document Title(s): Statutory Warranty Deed
Reference No. of Documents Released/Assigned: N/A
Grantor: BROWNLIN PARTNERSHIP, a Washington Partnership consisting of JACK L. HILDE and JOAN L. HILDE
Grantee: JACK & JOAN HILDE FAMILY, L.L.C., a Washington Limited Liability Company
Abbreviated Legal: LOTS 1, 2, 3, 5, 6, 7, & 8, HILDE COMM FAC BINDING SITE PLAN NO., NW¼ SW¼ SCT 32, TWNS 34 N, RNG 4 E.W.M.
Legal Description Located on Pages 1 and 2 of This Statutory Warranty Deed.
Assessor's Tax Parcel ID #: 1) P29567/8020-000-001-0000, 2) P29568/8020-000-002-0000, 3) P113735/8020-000-003-0000, 5) P113737/8020-000-005-0000, 6) P113738/8020-000-006-0000, 7) P113739/8020-000-007-0000, 8) P113740/8020-000-008-0000

STATUTORY WARRANTY DEED

The GRANTOR, BROWNLIN PARTNERSHIP, a Washington Partnership, consisting of JACK L. HILDE and JOAN L. HILDE, for and in consideration of transfer to a limited liability company, convey and warrant to the JACK & JOAN HILDE FAMILY, L.L.C., a Washington Limited Liability Company, all of their interest in the following described real estate, situated in the County of Skagit, State of Washington, including any after acquired title:

Lots 1, 2, 3, 5, 6, 7 and 8, Hilde Commercial Facility Binding Site Plan No. 97-0361, approved November 25, 1998, recorded November 25, 1998, in Volume 13 of Short Plats, Pages 186 and 187, under Auditor's File No. 9811250022 and being a portion of the Northwest Quarter of the Southwest Quarter, Section 32, Township 34 North, Range 4 East, W.M.

Situate in the County of Skagit, State of Washington.

SUBJECT TO: Relinquishment of rights of access to State Highway and of light, view, and air under terms of Deed to the State of Washington recorded April 14, 1953 and June 19, 1953, under Auditor's File Nos. 48701 and 489685, respectively; Agreement recorded February 23, 1987, under Auditor's File No. 8702230023; Development

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 91

BP04-0354

SKAGIT COUNTY PLANNING & PERMIT CENTER

200 WEST WASHINGTON STREET • MOUNT VERNON, WA 98273
INSPECTIONS (360) 336-9306 • OFFICE (360) 336-9410 • FAX (360) 336-9416

SKAGIT COUNTY PERMIT CNTR

APR 26 2004

RECEIVED

Building Permit Application

Owner: POULSBORO R.V.

Mailing Address: 517 JACKS LN

City: MT VERNON State WA Zip 98274

Phone: (360) 424-7056 Fax: (360) 424-7369

Applicant/Contact: THOMAS CHELONE

Mailing Address: 12218 Hwy 99 S.

City: Everett State WA Zip 98024

Phone: (425) 359-9100 Fax: (425) 348-7623

email: THOMAS.CHELONE@PoulsboroRV.com

Contractor: ALLEN PERKES

Registration #: Expires:

Site Address: 517 JACKS LN

City: MT VERNON Zip 98274

Property ID #: P113740 SEC TWP RNG

Assessor's Account #:

Legal Description:

Plat Name / Short Plat #:

Lot/Block #: 6-8 Lot size:

Are there any other structures on this property? Yes No

Do you own adjoining pieces of land? Yes No

Is property within 200 feet of a shoreline? Yes No

* If yes, see shoreline handout for building permits.

I certify that all of the property subject to this application is either in exclusive ownership of the applicant or that the applicant has submitted the application with the consent of the owners of the property. I grant permission to the field inspector to enter the building site to verify the presence or absence of critical areas.

Owner/Agent: [Signature]

Date: 4/26/04

Project Description: COMMERCIAL COACH FOR SALES OFFICE.

Residential (site built):

Living area sq. ft. Garage sq. ft.

Unfinished sq. ft. Shed sq. ft.

Addition sq. ft. Carport sq. ft.

Remodel sq. ft. Post Frame sq. ft.

Repair sq. ft. Deck/Porch sq. ft.

Other - describe: sq. ft.

Type of heat: Electrical Gas Wood Other:

Number of bedrooms and (before construction) (after construction)

Manufactured Home:

Year Make Model

Vehicle Identification # (VIN):

Manufactured Home/Mobile sq. ft.

Modular Home (UBC) sq. ft.

- lineal feet of foundation ft. (modular homes only)

Installer: Cert. # WAINS

Commercial: 384

sq. ft. Project Value \$ 5000.00

Occupancy 7 Type of Construction RV/WOOD

Height 11' 6" Number of stories 1

Grading:

Fill cubic yds. / Excavation cubic yds.



Planning & Permit Center

200 West Washington Street • Mount Vernon, WA 98273

Phone: (360) 336-9410 • Fax: (360) 336-9416 • Inspection Request Line: (360) 336-9306

April 27, 2004

Attn: Permit Techs

Re: Building permit #: BP04-0554

Project Description: COMMERCIAL COACH FOR SALES OFFICE

POULSBO RV
517 JACKS LANE
MOUNT VERNON WA

98274
Site address: 511 517 JACKS LANE MV

Parcel numbers: P113740

We have received the referenced permit application. Please review, comment and verify fees and return within 14 days. We will presume compliance if we don't receive a response.

Return to: Robin

contact:
Thomas Chelone -
Poulsbo RV,
425-359-
9100

Impact fees for:	<u>Single family</u>	<u>Multi-family</u>	<u>Commercial</u>
Burlington			
School	2,390.	1,986./unit	-
School admin	35.	35.	-
Mount Vernon			
Schools	2,912.	2,397./unit	-
School admin	35.	35.	-
Mount Vernon UGA			
Parks - SFR & Duplex/unit	855.	789.	-
Parks Admin.	35.	70.	-
Traffic - SFR & Duplex/unit	2,795.	1,872.	142./trip
Admin.	35.	70.	-
Sedro-Woolley			
Schools	2,010.	1,595./unit	-
School admin	35.	35.	-
Swinomish Community			
School (LaConner)	278.	217./unit	-
School admin	35.	35.	-

*11/2/05 phone contact with Thomas
pre app. e-mailed
12/16 - left voice msg + sett e-mail asking status*

This file contains _____ pages including this one.

FAX NUMBERS:

Anacortes: 293-1938
Swinomish Tribe: 466-1615

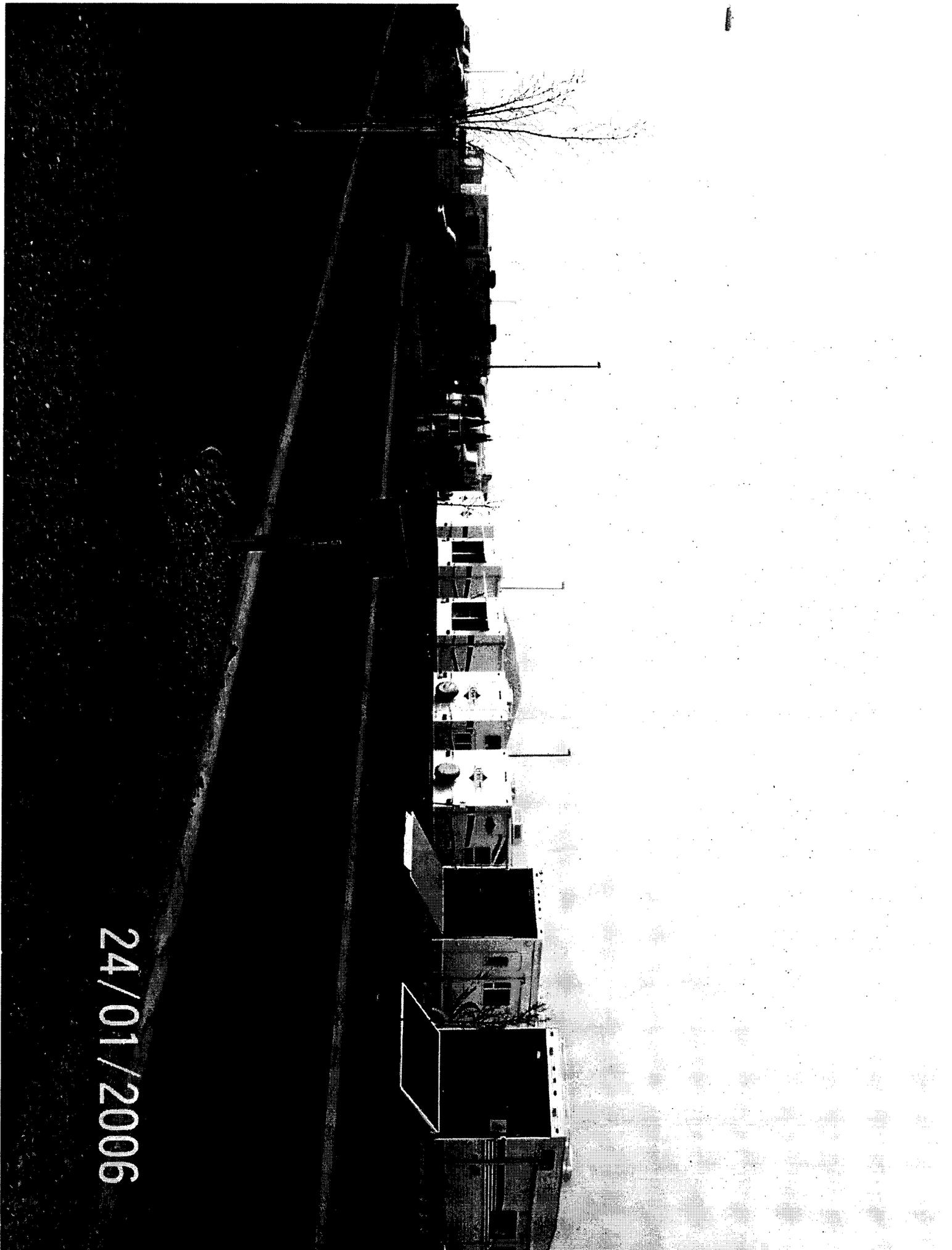
Burlington: 755-9309
Sedro-Woolley: 855-0733

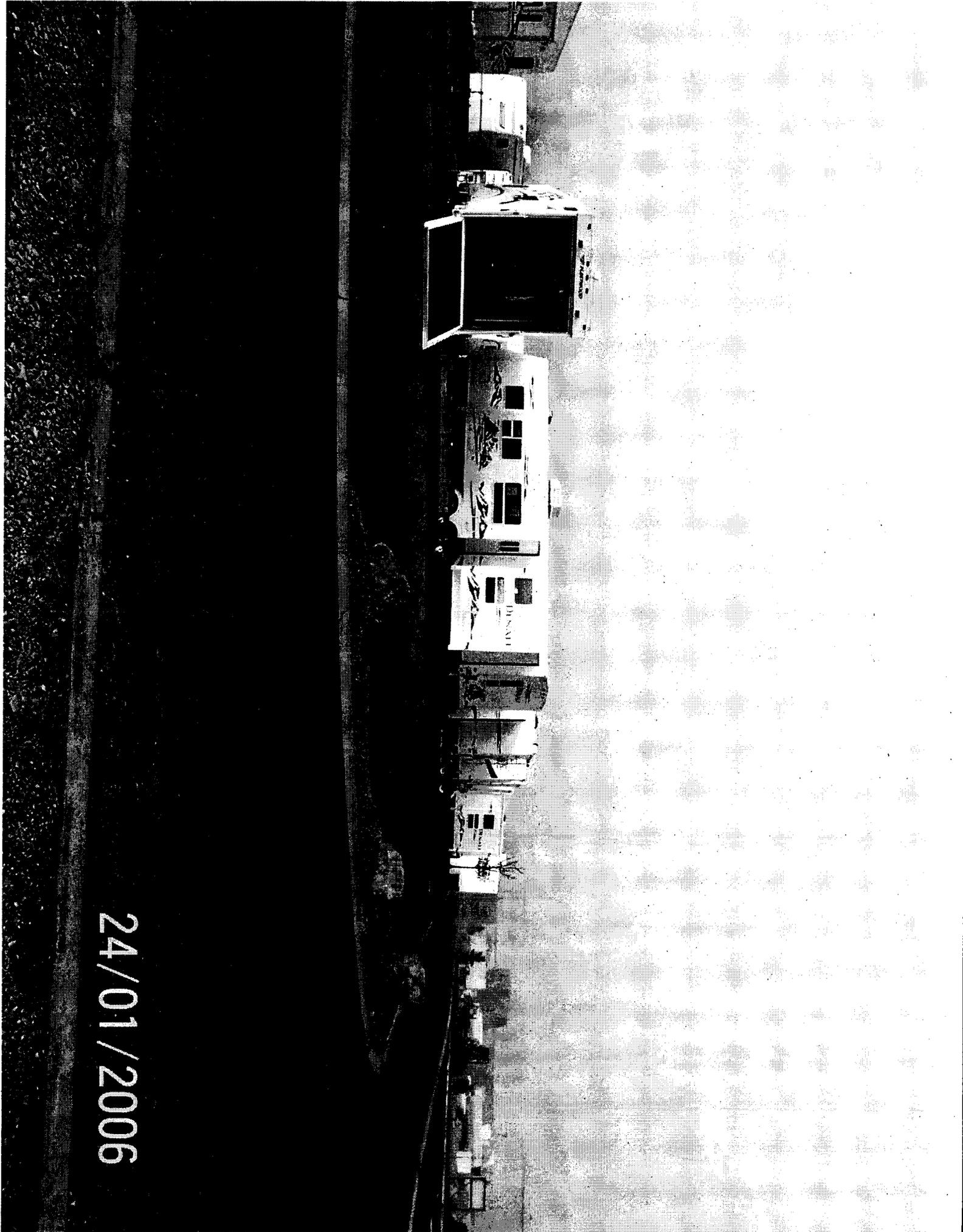
Mount Vernon: 336-6283
Concrete: 853-8002



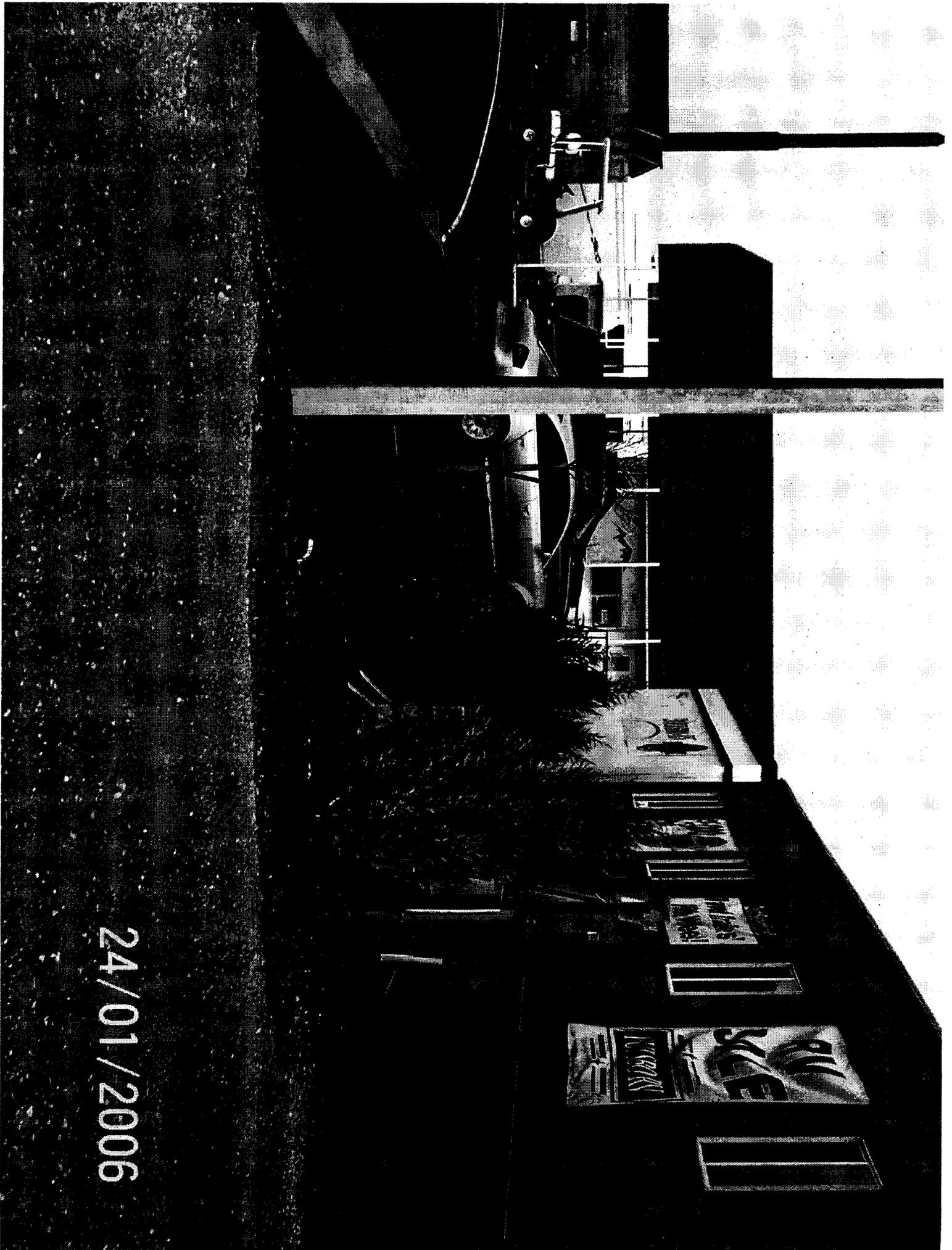
24/01/2006

24/01/2006





24/01/2006



24/01/2006



PLANNING AND PERMIT CENTER

LOUIS J. HAFF, PE, INTERIM DIRECTOR

GARY R. CHRISTENSEN, AICP
Administrative Official &
Assistant Director of Planning

KENDRA SMITH, ASLA, AICP
Assistant Director
Community Development

BILL DOWE, CBO
Building Official
Permit Center

Fax Transmittal

To: Permit Techs **From:** Robin *RA*

Fax: 360.336.6283 **Pages:** 5

Phone: **Date:** April 27, 2004

Re: BP04-0554 - Poulsbo RV **CC:**

Urgent For Review Please Comment Please Reply Please Recycle

This came in yesterday. The notes indicate that the applicant spoke with Krista before applying and that nothing was needed to submit. Right now we're reviewing permits that came in on the 29th of March so will be a while before we get to it.

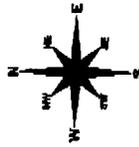
Thanks!

SKAGIT COUNTY

6	5	4	3	2	1
7	8	9	10	11	12
13	14	15	16	17	18
19	20	21	22	23	24
25	26	27	28	29	30
31	32	33	34	35	36

T 34 N R 04 E

*** ATTENTION**
 THIS MAP CONTAINS A PUBLIC LICENSE
 WHICH IS SUBJECT TO THE TERMS AND
 CONDITIONS OF THE LICENSE. FOR
 MORE INFORMATION, CONTACT THE
 COUNTY ENGINEER.

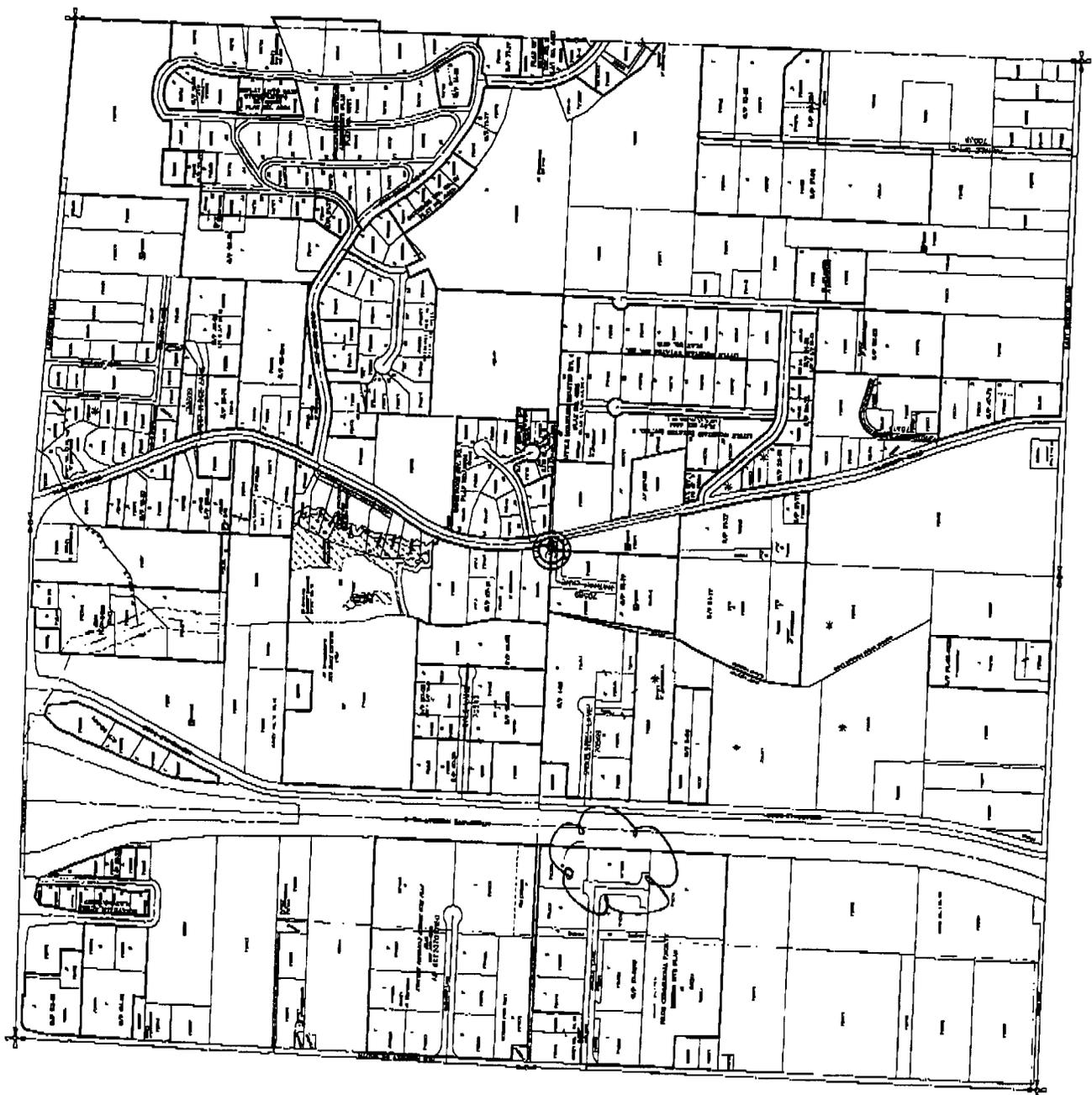


1" = 100'
 Scale in Feet

NOTES:
 1. THIS MAP IS A PRELIMINARY PLAN AND IS NOT TO BE USED FOR CONSTRUCTION.
 2. THE PROPERTY LINES AND AREAS SHOWN ON THIS MAP ARE BASED ON THE RECORD SURVEY AND FIELD MEASUREMENTS.
 3. THE DISTANCES AND BEARINGS SHOWN ON THIS MAP ARE BASED ON THE RECORD SURVEY AND FIELD MEASUREMENTS.
 4. THE AREA SHOWN ON THIS MAP IS SUBJECT TO THE TERMS AND CONDITIONS OF THE LICENSE.
 5. THE COUNTY ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS MAP.

DATE	INIT.
DRAWN BY	AR
REVISED	AR
PLOTTED	AR
CHECKED	AR
APPROVED	AR

Section 32
 T 34 N R 04 E



Memorandum

To: Joanne Ostlund - Skagit County Planning & Permit Center

From: Krista Jewett – Permit Tech, Development Services Department
City of Mount Vernon

Date: 05/25/2004

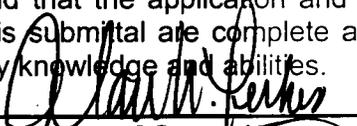
Re: BP04-0554, Poulsbo RV, 517 Jacks Lane

This memo is to document that the Development Services Department will not be issuing an approval at this time. We have requested a meeting with the contractor and the owner of this project. The meeting is tentatively scheduled for June 8th. We will keep you notified of any comments, terms or conditions.

504-014

CITY OF MOUNT VERNON
APPLICATION FOR SEWER CONNECTION IN
UNINCORPORATED URBAN GROWTH AREA

Mount Vernon Development Services Department (360) 336-6214

Site Address <u>511 JACKS LANE</u>		
Owner <input checked="" type="checkbox"/> Tenant <input type="checkbox"/> Registered Agent <input type="checkbox"/>		
Name <u>JACK & JOAN HILDE FAMILY TRUST LLC</u>		
Address <u>3814 OLD HWY 99 SOUTH</u>		
City <u>Mount Vernon</u> Zip <u>98274</u> Phone <u>424-1720</u>		
Contractor's Name <u>ALAN N. PERKES CONST INC</u>		
Address <u>17713 B DUNBAR RD.</u>		
City <u>Mount Vernon</u> Zip <u>98273</u> Phone <u>428-0255</u>		
Labor & Industries License/Exp. Date <u>ALAN NPC 998 JB 4/06</u>		
Property Tax Account Number (Required) ("P" #) <u>P- 113738</u>		
Type of Permit		
<input type="checkbox"/> Residential <input checked="" type="checkbox"/> Non-Residential		
Occupancy Use		
<input type="checkbox"/> Single Family	<input type="checkbox"/> Multi-Family	<input checked="" type="checkbox"/> Office
<input type="checkbox"/> Retail	<input type="checkbox"/> Church	<input type="checkbox"/> Restaurant
<input type="checkbox"/> School	<input type="checkbox"/> Storage	<input type="checkbox"/> Manufacturing
Square Footage of Structures Hooking Up to Sewer:		
Building 1: <u>384 sf. Temp. Office</u>		
Building 2:		
Building 3:		
By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent, and that the application and documents contained with this submittal are complete and accurate to the best of my knowledge and abilities.		
		<u>4/13/04</u>
Signature of Owner/Agent		Date
<u>ALAN N. PERKES</u>		<u>360 391-2800</u>
Project Contact		Phone Number
<u>360 428-0259</u>		
Fax Number		E-mail Address
Conditions/Comments		

PLUMBING		
No.	Type of Fixture	Fixture Unit
1	Water Closet (4)	4
	Bathtub	1
1	Lavatory	
	Shower	
	Kitchen Sink	
	Dishwasher	
	Laundry Tray	
	Clothes Washer	
	Urinal/Bidet	
	Drinking Fountain	
	Floor Sink or Drain	
	Slop Sink	
	Grease Trap/Interceptor	
		5
Application Checklist		
Applicant	Item	Office
	Application	
N/A	Certified Legal Description	on file
N/A	Certified Documentation of Ownership	on file
N/A	Signed & Notarized Agreement to Annex (If not already on file)	on file
✓	Site Plan to scale - 3 sets	✓
FEES		
Engineering Fees	50	-
Capacity Charge	262	50
Expansion Charge	525	00
Other/Review		
TOTAL FEES	837.	50

ENGINEERING DEPARTMENT FEES

Site Address: 511 Jacks lane. Owner/Project: Jack Hilde

Tax Parcel: P113738 Lot: _____ Subdivision: _____

Project Type: Connect to sewer

SEWER FEES

Permit Fee: \$ 50

Capacity Charge:
____ (Dwelling Units) x \$ _____ = \$ _____
5 (Fixture Units) x \$ 52.50 = \$ _____

Credits: _____ f.u.
\$ _____
\$ _____
\$ _____
\$ _____
\$ _____

\$ 262.50

Expansion Charge:
____ (Dwelling Units) x \$ _____ = \$ _____
5 (Fixture Units) x \$105.00 = \$ _____

\$ 525.00

Total Sewer Permit Fees \$ 837.50

OTHER FEES AND PERMITS:

Right of Way Permit(s): \$ _____
Staff Plan Review & Inspection \$ _____
Tech III _____ hrs x \$ 27.18
Staff Engr _____ hrs x \$ 34.29
Mgr _____ hrs x \$ 42.09
Other _____ hrs x \$ _____

Total Other Fees & Permits \$ _____

TOTAL FEES DUE \$ 837.50

Approvals

LID Commitment _____
Construction Bond _____
Construction Drawings _____
Bidg Permit Signed & Returned _____
Drainage ESU's Calculated _____

Issued By: _____
Receipt No: _____
Date: _____

Project Engineer _____
Jack Hilde
Permit Coordinator

Alan Hilde agent.
Developer/Owner

910 Cleveland Avenue
 Mount Vernon, WA
 98273

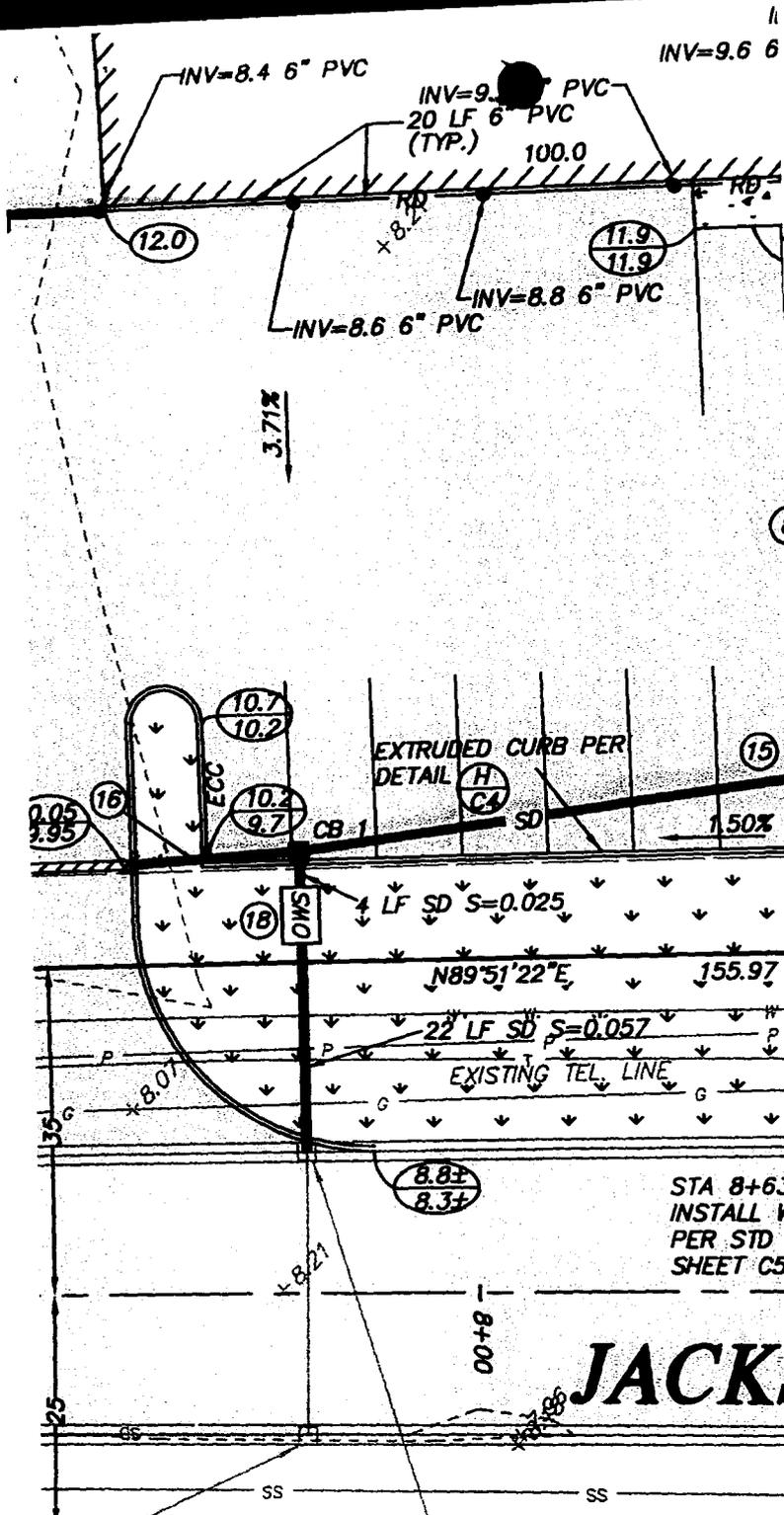
City Of Mount Vernon
Building Inspection Record

For Inspection call: (360)
 336-6243 24 Hour notice
 required

Owner Name HILDE JACK/JOAN FAMILY LLC Site Address 511 Jacks Lane
 Contractor Alan N Perkes Construction, In Permit Number: S04-014 Date Issued: 04/19/2004
 F.I.R.M Designation: Floor Elevation NREC No
 Street Setback Front: Street Setback Rear: Size of Building: Size of Deck
 Street Setback Left: Street Setback Right: Size of Garage: Size of Porch
 Work Description: Connect to Sewer/South MV UGA
 Type of Permit: Building No Plumbing No
 Mechanical No Sign No

1. FOUNDATION Property lines must be staked	OTHER INFORMATION Special site considerations Variance information Inspector Notes	7. DRYWALL	
Inspection: Date By		Inspection: Date By	
Temp Erosion Control _____	Conditions: _____	Interior Shear Walls _____	
Setbacks _____		Wall Board Nailing _____	
Footing Reinforcement _____		Rated Separation Walls _____	
Wall & Reinforcement _____		8. FIRE INSPECTIONS	
Slab w/ insulation _____		Fire Suppression System _____	
Ground Work Plumbing _____		Fire Alarm Acceptance Test _____	
Hold Downs _____		Hood/Duct Acceptance Test _____	
2. UNDERFLOOR FRAMING Before Floor Sheathing is Placed			9. MECHANICAL
Underfloor _____			Gas Fireplace _____
Perimeter Drainage _____			Gas Furnace _____
3. SHEARWALL/BRACING PANELS		Gas Hot Water Heater _____	
Shear Wall Nailing _____		Gas Piping _____	
Bracing Panels _____		10. IMPROVEMENTS	
4. PLUMBING/HEAT/VENTILATION Prior to Framing		Water Line _____	
Rough Plumbing _____		Sewer Line <u>4-20-04</u> <i>JF</i>	
Rough Heat & Vent Duct _____		Driveway _____	
Fireplace Chase _____		Irrigation System (back flow) _____	
Exhaust Fan _____		Siding Final _____	
Water Heater (electric) _____		Parking Striping / Signage _____	
5. FRAMING All Prior Corrections to Be Made WA St Electrical Approval Required		Sidewalk / Curb Cut _____	
Framing _____		11. FINAL All Corrections Must Have been Made	
6. INSULATION All Framing Corrections Must Be Done		Insulation Certification _____	
Attic - Ceiling _____		Final Mechanical - NREC _____	
Floor _____		Engineering Dept. Final _____	
Wall Insulation _____		Fire Dept. Final _____	
		Architect/Engineer sign off _____	
		Flood Certification _____	
		Landscaping (street trees) _____	
		Roofing Final _____	
		Final For Occupancy _____	

Plans: None Pulled Attached Unable to locate B:



STA 9+72 48' LT
 INSTALL
 10" DCDBA PER DETAIL SHEET C5
 STA 9+84 48' LT
 10" CROSS MJ X MJ X MJ X MJ
 3-8" X 10" REDUCER MJ
 2" B/O ASS PER DETAIL SHEET C5
 2-8" FLANGES MJ
 2-8" GATE VALVE MJ X MJ

CONC. RAMP W/
BRUSHED FINISH

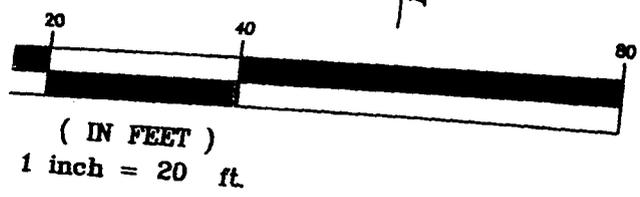
STATE APPROVED
ACCESSIBLE
PARKING SIGN

INTERNATIONAL SYMBOL OF
ACCESS PER WAC CODE

B
C2 SIN

ROLLED GRATE
 12 12" IN
 74 12" OUT
 EXIST. CB
 TYPE I W/ ROLLED GRATE
 RIM = 7.79
 INV (S) = 4.83 12" OUT
 INV (N) = 5.87 6" SD IN

GRAPHIC SCALE



Filed for Record at the Request of:
EGGER BETTS AUSTIN JOHNSON, P.L.L.C.
1616 Cornwall Avenue, Suite 209
Post Office Box 2788
Bellingham, WA 98227-2788



200005020036
Kathy Hill, Skagit County Auditor
5/2/2000 Page 1 of 2 9:43:43AM

Document Title(s): Statutory Warranty Deed
Reference No. of Documents Released/Assigned: N/A
Grantor: BROWNLIN PARTNERSHIP, a Washington Partnership consisting of JACK L. HILDE and JOAN L. HILDE
Grantee: JACK & JOAN HILDE FAMILY, L.L.C., a Washington Limited Liability Company
Abbreviated Legal: LOTS 1, 2, 3, 5, 6, 7, & 8, HILDE COMM FAC BINDING SITE PLAN NO., NW¼ SW¼ SCT 32, TWNS 34 N, RNG 4 E.W.M.
Legal Description Located on Pages 1 and 2 of This Statutory Warranty Deed.
Assessor's Tax Parcel ID #: 1) P29567/8020-000-001-0000, 2) P29568/8020-000-002-0000, 3) P113735/8020-000-003-0000, 5) P113737/8020-000-005-0000, 6) P113738/8020-000-006-0000, 7) P113739/8020-000-007-0000, 8) P113740/8020-000-008-0000

STATUTORY WARRANTY DEED

The GRANTOR, BROWNLIN PARTNERSHIP, a Washington Partnership, consisting of JACK L. HILDE and JOAN L. HILDE, for and in consideration of transfer to a limited liability company, convey and warrant to the JACK & JOAN HILDE FAMILY, L.L.C., a Washington Limited Liability Company, all of their interest in the following described real estate, situated in the County of Skagit, State of Washington, including any after acquired title:

Lots 1, 2, 3, 5, 6, 7 and 8, Hilde Commercial Facility Binding Site Plan No. 97-0361, approved November 25, 1998, recorded November 25, 1998, in Volume 13 of Short Plats, Pages 186 and 187, under Auditor's File No. 9811250022 and being a portion of the Northwest Quarter of the Southwest Quarter, Section 32, Township 34 North, Range 4 East, W.M.

Situate in the County of Skagit, State of Washington.

SUBJECT TO: Relinquishment of rights of access to State Highway and of light, view, and air under terms of Deed to the State of Washington recorded April 14, 1953 and June 19, 1953, under Auditor's File Nos. 48701 and 489685, respectively; Agreement recorded February 23, 1987, under Auditor's File No. 8702230023; Development

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 92

When Recorded Please Return To:
LAWRENCE A. PIRKLE
1720 Memorial Hwy., Suite A
Mount Vernon, WA 98273
(360) 336-6587



Skagit County Auditor **\$73.00**
1/5/2015 Page 1 of 2 12:37PM

This space for Recorder's use only

QUIT CLAIM DEED

THE GRANTOR, CHARLES H. MONTGOMERY, II and LINDA F. MONTGOMERY, husband and wife and CHARLES H. MONTGOMERY, III, a married person as his separate property, for and in consideration of transfer to wholly owned Limited Liability Company, mere change in form of ownership, (WAC 458-61A-211(2a)), conveys and quit claims to GRANTEE, MONTGOMERY HOLDINGS, LLC, a Washington Limited Liability Company, the following described real estate, situated in the County of Skagit, State of Washington, together with all after acquired title of the grantor therein.

Assessor's Parcel No: 8020-000-005-0000 P113737

Lot 5, Hilde Commercial Facility Building Site Plan No. 97-0361, approved November 25, 1998, recorded November 25, 1998 in Volume 13 of Short Plats, pages 186 and 187, under Auditor's File No. 9811250022 and being a portion of the NW 1/4 of the SW 1/4, Section 32, Township 34 North, Range 4 East, W.M.

TOGETHER WITH a non-exclusive easement for ingress, egress and utilities as granted and filed February 25, 2004, under Auditor's File Nos. 200402250152 and 200402250154, records of Skagit County, Washington.

ALSO TOGETHER WITH a non-exclusive easement for the construction, placement, reconstruction, repair and maintenance of a retaining wall as granted and filed February 25, 2004, under Auditor's File No. 200402250153, records of Skagit County, Washington.

Situate in the County of Skagit, State of Washington.

Dated 2nd day of January, 2015.

CHARLES H. MONTGOMERY, II

CHARLES H. MONTGOMERY, III

LINDA F. MONTGOMERY

SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

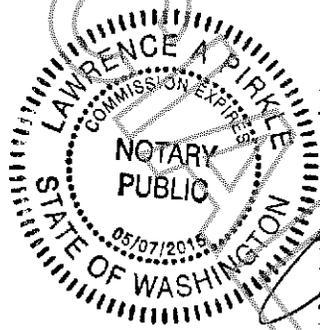
2015 25
JAN 05 2015

STATE OF WASHINGTON)
)
) SS.
COUNTY OF SKAGIT)

Amount Paid \$ 0
Skagit Co. Treasurer
By *MF* Deputy

I certify that I know or have satisfactory evidence that CHARLES H. MONTGOMERY, II and LINDA F. MONTGOMERY are the persons who appeared before me and said persons acknowledged that they signed this instrument and acknowledged it to be their free and voluntary act for the uses and purposes mentioned in the instrument.

GIVEN under my hand and official seal this 2nd day of January, 2015.



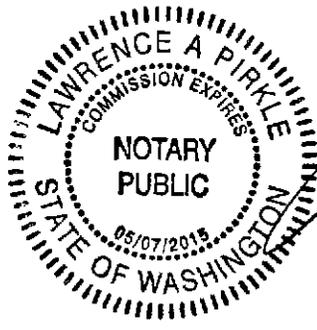
LAWRENCE A. PIRKLE

[Signature]
Notary Public in and for the
State of Washington
Residing at Mount Vernon
My Commission Expires: 5/7/15

STATE OF WASHINGTON)
)
) SS.
COUNTY OF SKAGIT)

I certify that I know or have satisfactory evidence that CHARLES H. MONTGOMERY, III is the person who appeared before me and said person acknowledged that he signed this instrument and acknowledged it to be his free and voluntary act for the uses and purposes mentioned in the instrument.

GIVEN under my hand and official seal this 2nd day of January, 2015.



LAWRENCE A. PIRKLE

[Signature]
Notary Public in and for the
State of Washington
Residing at Mount Vernon
My Commission Expires: 5/7/15



**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 93

Filed for Record at the Request of:
EGGER BETTS AUSTIN JOHNSON, P.L.L.C.
1616 Cornwall Avenue, Suite 209
Post Office Box 2788
Bellingham, WA 98227-2788



200005020036
Kathy Hill, Skagit County Auditor
5/2/2000 Page 1 of 2 9:43:43AM

Document Title(s): Statutory Warranty Deed
Reference No. of Documents Released/Assigned: N/A
Grantor: BROWNLIN PARTNERSHIP, a Washington Partnership consisting of JACK L. HILDE and JOAN L. HILDE
Grantee: JACK & JOAN HILDE FAMILY, L.L.C., a Washington Limited Liability Company
Abbreviated Legal: LOTS 1, 2, 3, 5, 6, 7, & 8, HILDE COMM FAC BINDING SITE PLAN NO., NW¼ SW¼ SCT 32, TWNS 34 N, RNG 4 E.W.M.
Legal Description Located on Pages 1 and 2 of This Statutory Warranty Deed.
Assessor's Tax Parcel ID #: 1) P29567/8020-000-001-0000, 2) P29568/8020-000-002-0000, 3) P113735/8020-000-003-0000, 5) P113737/8020-000-005-0000, 6) P113738/8020-000-006-0000, 7) P113739/8020-000-007-0000, 8) P113740/8020-000-008-0000

STATUTORY WARRANTY DEED

The GRANTOR, BROWNLIN PARTNERSHIP, a Washington Partnership, consisting of JACK L. HILDE and JOAN L. HILDE, for and in consideration of transfer to a limited liability company, convey and warrant to the JACK & JOAN HILDE FAMILY, L.L.C., a Washington Limited Liability Company, all of their interest in the following described real estate, situated in the County of Skagit, State of Washington, including any after acquired title:

Lots 1, 2, 3, 5, 6, 7 and 8, Hilde Commercial Facility Binding Site Plan No. 97-0361, approved November 25, 1998, recorded November 25, 1998, in Volume 13 of Short Plats, Pages 186 and 187, under Auditor's File No. 9811250022 and being a portion of the Northwest Quarter of the Southwest Quarter, Section 32, Township 34 North, Range 4 East, W.M.

Situate in the County of Skagit, State of Washington.

SUBJECT TO: Relinquishment of rights of access to State Highway and of light, view, and air under terms of Deed to the State of Washington recorded April 14, 1953 and June 19, 1953, under Auditor's File Nos. 48701 and 489685, respectively; Agreement recorded February 23, 1987, under Auditor's File No. 8702230023; Development

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 94

AFTER RECORDING MAIL TO:
Terry W. and Thea Minor
1200 Riverside Drive
Mount Vernon, WA 98273



201005270068
Skagit County Auditor

5/27/2010 Page 1 of 1 1:22PM

Filed for Record at Request of
First American Exchange of Skagit County
Exchange Number 09-10927

134702-PC

LAND TITLE OF SKAGIT COUNTY **QUIT CLAIM DEED**

Grantor(s): SEAS Holding, LLC, a Washington limited liability company
Grantee(s): Terry W. Minor and Thea D. Minor, husband and wife
Assessor's Tax Parcel Number(s): P109065, P109066, P109067

THE GRANTOR SEAS Holding, LLC, a Washington limited liability company, for and in consideration of WAC 458-61A-213, completion of an IRS Section 1031 tax deferred exchange, conveys and quit claims to Terry W. Minor and Thea D. Minor, husband and wife, the following described real estate, situated in the County of Skagit, State of Washington, together with all after acquired title of the grantor(s) therein:

Lots 2, 3 and 4, Short Plat No. 96-001, approved May 10, 1996, recorded May 17, 1996, in Volume 12 of Short Plats, pages 100 and 101, under Auditor's File No. 9605170034, records of Skagit County, Washington, and being a portion of the Northeast 1/4 of the Northwest 1/4, Section 32, Township 34 North, Range 4 East, W.M.

Title is subject to the Deed of Trust in favor of Whidbey Island Bank, recorded under Auditor's File No: 200911300319, which grantee agrees to assume and pay all balances owing thereunder. The original principal amount was \$815,000.00 plus interest thereon from November 25, 2009. Grantee agrees to indemnify and hold Grantor harmless from any liability therefore.

Dated: May 24, 2010

SEAS Holding, LLC
BY: SEAS, Inc., a Washington corporation
its sole member

Diana Berge

BY: Diana Berge, Vice President

1524
SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

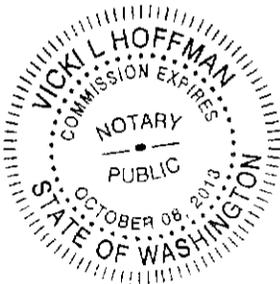
MAY 27 2010

Amount Paid to
Skagit Co., Treasurer
By *fb*

STATE OF WASHINGTON }
COUNTY OF SKAGIT }

I certify that I know or have satisfactory evidence that Diana Berge is the person who appeared before me and said person acknowledged that she signed this instrument, on oath stated that she was authorized to execute the instrument and acknowledged it as the Vice President of SEAS, Inc., the sole member of SEAS Holding, LLC, to be free and voluntary act of such party for the uses and purposes mentioned in the instrument.

GIVEN under my hand and official seal on May 24, 2010.



Vicki L. Hoffman
Notary Public in and for the State of Washington
Residing at ANACORTES
My appointment expires: 10-8-13

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 95



200808150193
Skagit County Auditor

8/15/2008 Page 1 of 8 12:04PM

WHEN RECORDED RETURN TO:

CHAE LAW FIRM, P.S.
23 Lake Bellevue Dr. NE, Suite 100
Bellevue, Washington 98005

CHICAGO TITLE CO.

IC46373

STATUTORY WARRANTY DEED

B & T ENTERPRISES, LLC, a Washington limited liability company, GRANTOR, for and in consideration of the sum of Ten Thousand Dollars (\$10,000) and other good and valuable consideration, to it/her/him/them in hand paid, conveys and warrants to NITA, INC., a Washington corporation, GRANTEE, the following described real estate, situated in the County of Skagit, State of Washington:

Abbreviated Legal Description: Lot 1, SP#96-001
Full Legal Description on page 3 as Exhibit "A"

Tax Parcel No. 340432-2-050-0100.

TOGETHER with all tenements, hereditaments and appurtenances, including easements and water rights, if any, thereto belonging or appertaining, and any reversions, remainders, rents, issues or profits thereof, SUBJECT only to the covenants, conditions, and restrictions of record and Special Exceptions 1-8, and 10-13 contained in Schedule B of the Commitment for Title Insurance issued by Chicago Title Company, Order No. IC46373, and dated effective August 1, 2008. A copy of Schedule B is attached hereto as Exhibit "B."

DATED this 14th day of August, 2008.

2663
SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

AUG 15 2008

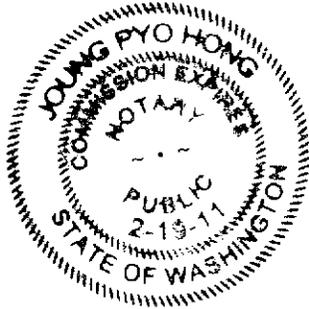
Amount Paid \$ 12,999.00
Skagit Co. Treasurer
By *[Signature]* Deputy

B & T ENTERPRISES, LLC
[Signature]
Tim Hanson
Member

State of Washington)
County of Skagit) ss.

I certify that I know or have satisfactory evidence that **Tim Hanson** is the person who appeared before me, and said person acknowledged that he/she signed this instrument, on oath and stated that he/she was authorized to execute the instrument and acknowledged it as a Member of B & T Enterprises, LLC to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

Witness my hand and official seal affixed hereto on the 14th day of August, 2008.



[Signature]
Notary Public in and for the
State of Washington
Residing at: Bethel
My Commission Expires: 02-19-11



EXHIBIT "A"

Lot 1 of SHORT PLAT NO. 96-001, approved May 10, 1996, recorded May 17, 1996, in Volume 12 of Short Plats, pages 100 and 101, as Auditor's File No. 9605170034, records of Skagit County, Washington; and being a portion of the Northeast Quarter of the Northwest Quarter, Section 32, Township 34 North, Range 4 East of the Willamette Meridian.

Situated in Skagit County, Washington

- END OF EXHIBIT "A" -



200808150193
Skagit County Auditor

EXHIBIT "B"

Order No.: IC46373

SCHEDULE B

SPECIAL EXCEPTIONS:

1. THRU 7. SEE SCHEDULE B-001 WHICH IS HERETO ATTACHED.

8. A Lease, or memorandum thereof, including the terms and conditions thereof;
Dated: March 3, 1996
Recorded: May 21, 1996
Auditor's No.: 9605210083, records of Skagit County, Washington
Lessor: John Walton and Violet E. Walton
Lessee: Skagit Partners III, Inc.

The Tenant interest was assigned by Instrument;
Recorded: December 24, 2001
Auditor's No.: 200112240012, records of Skagit County, Washington
Assignee: Chan S. Park and Mee Young Lee, husband and wife

9. Deed of Trust, including the terms and conditions thereof, securing an indebtedness of \$2,365,485.28;
Dated: May 23, 2005
Recorded: May 25, 2005
Auditor's No.: 200505250073, records of Skagit County, Washington
Grantor: B & T Enterprises, L.L.C., a Washington limited liability company
Trustee: Reconveyance Professionals, Inc.
Beneficiary: City Bank
Affects: Land Only

10. Deed of Trust, including the terms and conditions thereof, securing an indebtedness of \$1,050,000.00;
Dated: July 28, 2006
Recorded: March 2, 2007
Auditor's No.: 200703020015, records of Skagit County, Washington
Grantor: Nita, Inc., a Washington corporation
Trustee: Old Republic Title Company
Beneficiary: Hanmi Bank

11. Landlord release and consent recorded March 2, 2007, under Auditor's File No. 200703020018, records of Skagit County, Washington, executed by Nita, Inc. and B & T Enterprises.

12. Landlord Estoppel Certificate signed by Nita, Inc., B & T Enterprises and Hanmi Bank recorded March 2, 2007, under Auditor's File No. 200703020017, records of Skagit County, Washington.

continued.....



200506150193
Skagit County Auditor

SCHEDULE B

SPECIAL EXCEPTIONS continued:

13. Agreement, including the terms and conditions thereof; entered into;
By: Nita, Inc.
And Between: Hanmi Bank
Recorded: March 2, 2007
Auditor's No. 200703020016, records of Skagit County, Washington
Providing: Hazardous Substances Agreement

14. Liability to future assessments, if any, levied by City of Mount Vernon.

15. Real estate excise tax (at the current rate of 1.78%) upon any sale of said premises, if unpaid.

NOTE: When presenting excise tax for payment, The Skagit County Treasurer **REQUIRES** the use of a 4-part carbon Real Estate Excise Tax Affidavit, and **WILL NOT** accept any facsimiles thereof.

NOTE: Beginning July 1, 2005, an additional \$5.00 Real Estate Excise Tax Electronic Technology Fee must be included in all excise tax payments.

16. General taxes for the second half of 2008, which become delinquent November 1st, if unpaid.

Amount Due: \$5,704.42
Total Amount: \$11,408.85, billed for 2008
Account No.: 340432-2-050-0100
Property No.: P106797
Located in: the City of Mount Vernon

17. Personal Property taxes for 2008 have been paid.

Amount: \$607.94
Account No.: 75831
Property No.: P113148
Located in: the City of Mount Vernon

- END OF SPECIAL EXCEPTIONS -



200808150193
Skagit County Auditor

SCHEDULE B-001

1. Relinquishment of all existing, future, or potential easements for access, light, view, and air and of all rights of ingress, egress and regress to, from, and between said premises and the highway (or highways) condemned by proceedings:
Under: Skagit County Superior Court Case No. 23635
To: State of Washington
2. Relinquishment of all existing, future, or potential easements for access, light, view, and air and of all rights of ingress, egress and regress to, from, and between said premises and the highway (or highways) condemned by proceedings:
Under: Skagit County Superior Court Case No. 32903
To: State of Washington
3. Easement, including the terms and conditions thereof, granted by instrument(s);
Recorded: October 5, 1967
Auditor's No(s):: 705280, records of Skagit County, Washington
In favor of: Cascade Natural Gas Corporation
For: Pipelines, together with rights of ingress and egress

Note: Exact location and extent of easement is undisclosed of record.

continued.....



200808150193
Skagit County Auditor

SCHEDULE B-001

Page 2

4. Notes on the face of said short plat as follows:

- A. All maintenance and construction of private roads are the responsibility of the lot owners and the responsibility of maintenance shall be in direct relationship to usage of road.
- B. Short Plat number and date of approval shall be included in all deeds and contracts.
- C. Sewage Disposal – Individual septic systems. (Conventional and alternate systems). Alternative on-site sewage disposal systems may have special design, construction and maintenance requirements. See Skagit County Health Department for details.
- D. Water – P.U.D. No. 1 of Skagit County.
- E. No building permit shall be issued for any residential and/or commercial structures which are not, at the time of application, determined to be within an officially designated boundary of a Skagit County Fire District.
- F. Change in location of access, may necessitate a change of address, contract Skagit County Public Works.
- G. Buyer should be aware that a portion of this short subdivision is located in a flood plain and significant elevation may be required for the first floor of residential construction.
- H. At such time as Lot 2, 3 or 4 is developed the storm drainage plan must be constructed pursuant to the drainage report submitted to Skagit County Planning as a part of this Short Plat. A copy of said report is available at the Skagit County Planning Office.

5. Prohibited access area as delineated on the face of said Short Plat.

Affects: North and West 10 feet

6. Terms, conditions, and restrictions of that instrument entitled Title Notification - Special Flood Hazard Area;

Recorded: September 11, 2003

Auditor's No(s): 200309110156, records of Skagit County, Washington

continued.....



200808150193

Skagit County Auditor

Order No.: IC46373

SCHEDULE B-001

Page 3

7. Terms, conditions, and restrictions of that instrument entitled Hazardous Substances Certificate and Indemnity Agreement;
Recorded: March 2, 2007
Auditor's No(s): 200703020016, records of Skagit County, Washington

- END OF SCHEDULE B-001 -



200808150193
Skagit County Auditor