

**APPENDIX B  
PLANNING STUDY ON ADULT USES**

# **SITES**

**ALONG CEDARDALE**

**(PR02-16)**

# City of Mount

Post Office Box 809  
Washington 98273 (360) 336-6204

# ernon

# CONSTRUCTION RECORD DRAWING

IN A PORTION OF SECTION 32, TOWNSHIP 34 N., RANGE 4 E., W.M.

# SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENTS PHASE 3 CEDARDALE/ANDERSON ROAD

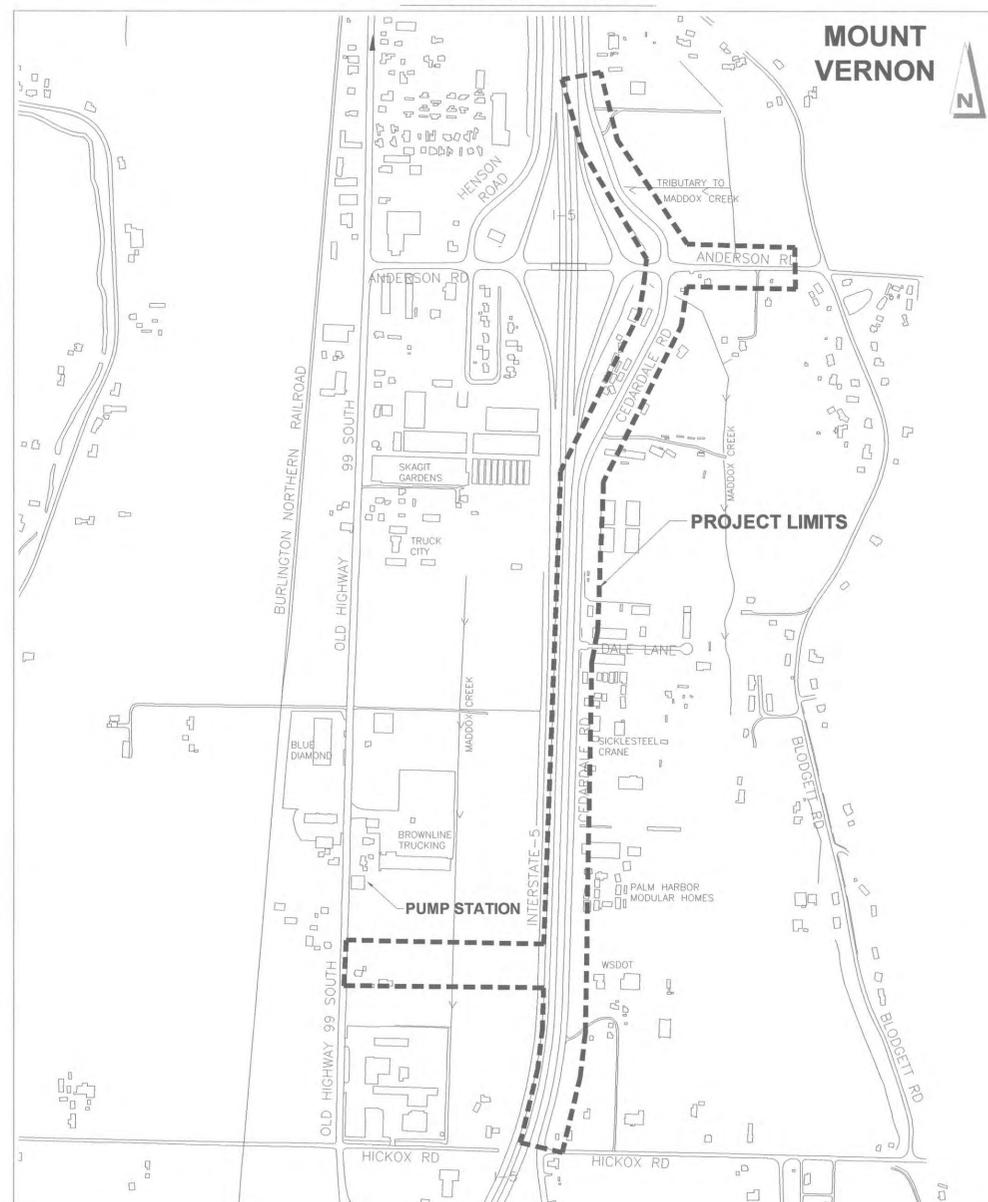
## APRIL 1, 2004

### SCHEDULE OF DRAWINGS

SHEET No.	DESCRIPTION
ASB.1	CEDARDALE SANITARY SEWER PLAN & PROFILE STA 9+00 TO 18+00
ASB.2	CEDARDALE SANITARY SEWER PLAN & PROFILE STA 17+50 TO 26+50
ASB.3	CEDARDALE SANITARY SEWER PLAN & PROFILE STA 26+00 TO 34+50
ASB.4	CEDARDALE SANITARY SEWER PLAN & PROFILE STA 34+00 TO 42+50
ASB.5	CEDARDALE SANITARY SEWER PLAN & PROFILE STA 42+00 TO 50+50
ASB.6	CEDARDALE SANITARY SEWER PLAN & PROFILE STA 50+00 TO 58+50
ASB.7	CEDARDALE SANITARY SEWER PLAN & PROFILE STA 58+00 TO 66+50
ASB.8	CEDARDALE/ANDERSON SANITARY SEWER PLAN & PROFILE STA 10+00 TO 15+00
ASB.9	CEDARDALE/ANDERSON SANITARY SEWER PLAN & PROFILE STA 14+00 TO 23+00
ASB.10	CEDARDALE/ANDERSON SANITARY SEWER PLAN & PROFILE STA 22+50 TO 31+50
ASB.11	SMITH'S PROPERTY/I-5 CROSSING SANITARY SEWER PLAN & PROFILE

**VERTICAL DATUM**  
CITY OF MOUNT VERNON

### VICINITY MAP



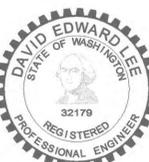
### LEGEND

●-SS-	PROPOSED SANITARY SEWER & SANITARY MANHOLE	---	EXISTING PROPERTY LINE
---	PROPOSED SILT FENCE	⊕	EXISTING POWER POLE & GUY ANCHOR
●-FMC-	FORCEMAIN CLEANOUT	SO-CB	EXISTING STORM DRAIN & CATCH BASIN
CPEP	CORRUGATED POLYETHYLENE PIPE	⊙	EXISTING CATCH BASIN, TYPE II
○-30.0	PROPOSED SPOT ELEVATION	SSMH	EXISTING SANITARY SEWER AND SANITARY MANHOLE
▭-CONCRETE	PROPOSED CONCRETE	SSFM	EXISTING SANITARY SEWER FORCEMAIN
▭-ASPHALT	PROPOSED ASPHALT	FH	EXISTING FIRE HYDRANT & VALVE
FO	PROPOSED FIBER OPTIC CONDUIT	WY	EXISTING WATERLINE
T2-JB	TYPE 2 JUNCTION BOX	G	EXISTING GAS LINE
⊠	TYPE 644 JUNCTION BOX	+13.24	EXISTING SPOT ELEVATION
		▭-CONCRETE	EXISTING CONCRETE
		▭-ASPHALT	EXISTING ASPHALT
		UGT	EXISTING UNDERGROUND TELEPHONE
		UGP	EXISTING UNDERGROUND POWER
		OHP	EXISTING OVERHEAD POWER
		OHT	EXISTING OVERHEAD TELEPHONE
		FO	EXISTING UNDERGROUND FIBEROPTIC CABLE



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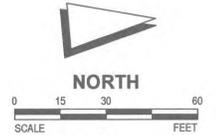
**UTILITY LOCATES**  
CALL 2 DAYS BEFORE YOU DIG  
1-800-424-5555



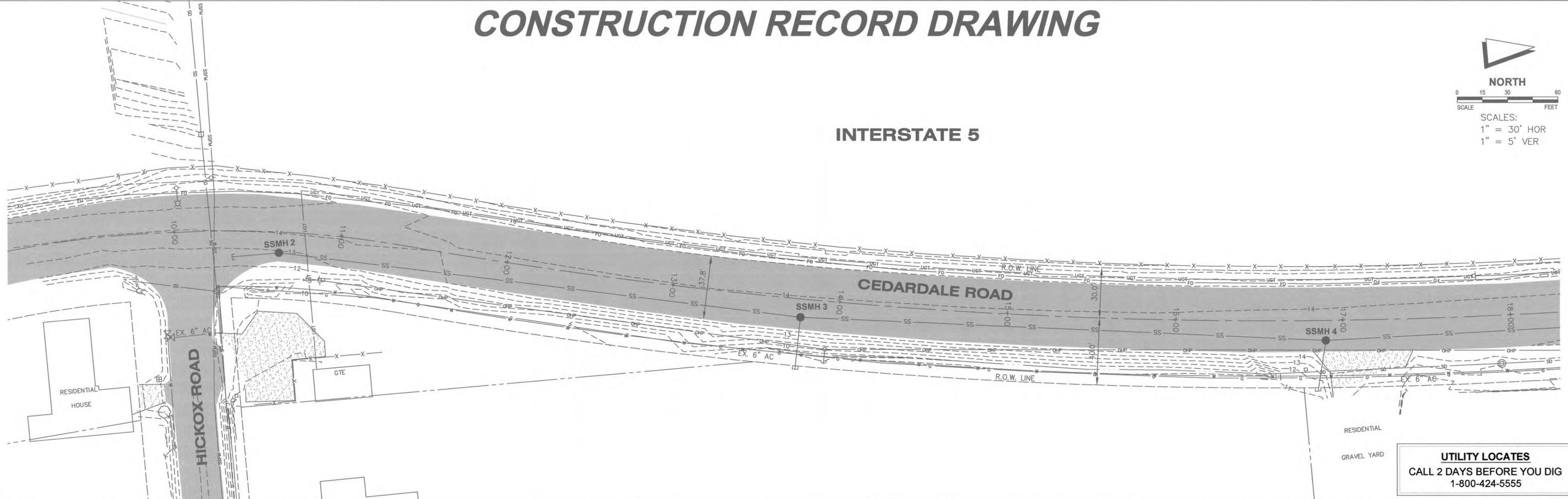
EXPIRES 4/10/  
JOB NO. 99099-E

# CONSTRUCTION RECORD DRAWING

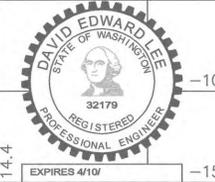
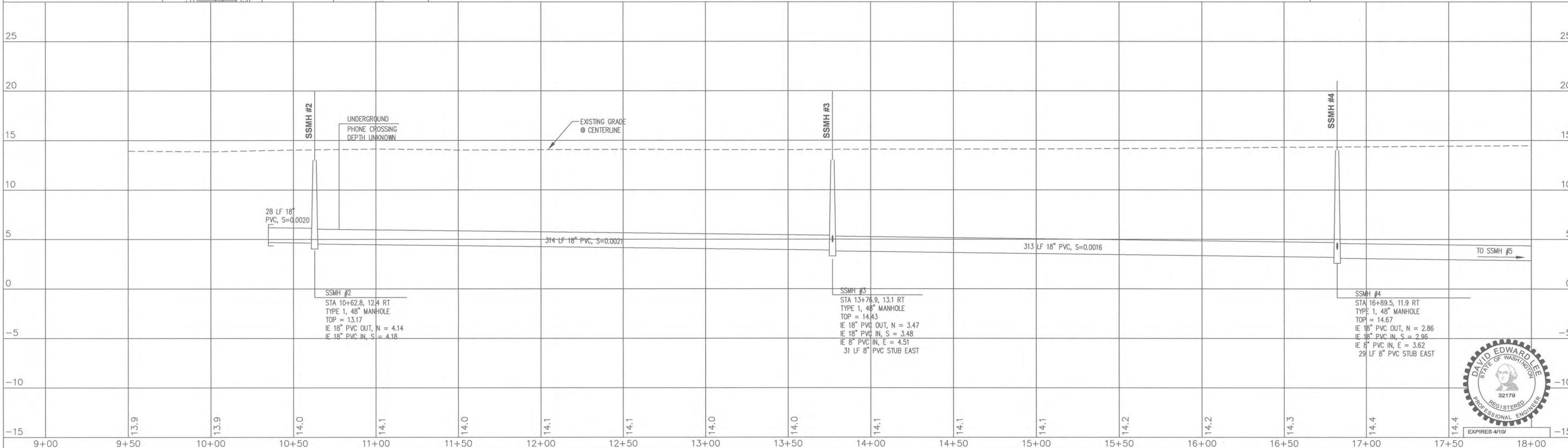
INTERSTATE 5



SCALE:  
1" = 30' HOR  
1" = 5' VER



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NO.	DATE	BY	APVD

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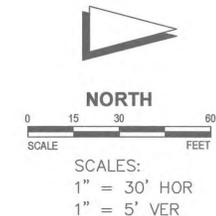
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**CEDARDALE ROAD**  
**SANITARY SEWER PLAN AND PROFILE**  
**STA 9+00 TO STA 18+00**

SCALE: H: 1"=30' V: 1"=5'  
DRAWN BY: PRL  
DESIGNED BY: DEL  
CHECKED BY: DEL  
FIELD BOOK/PAGE:  
DATE: 04.01.04

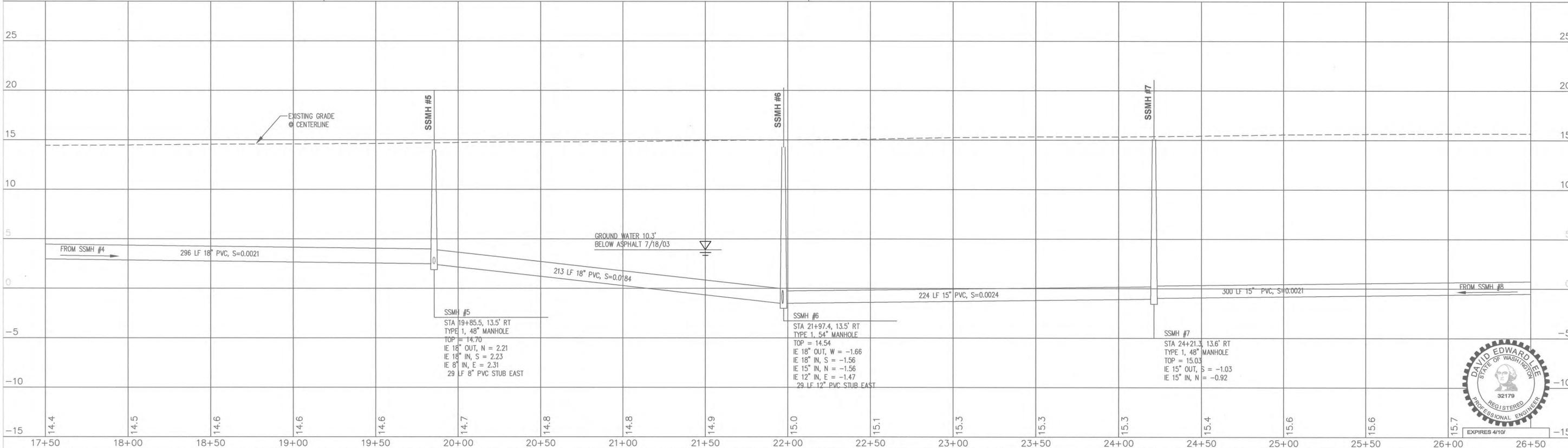
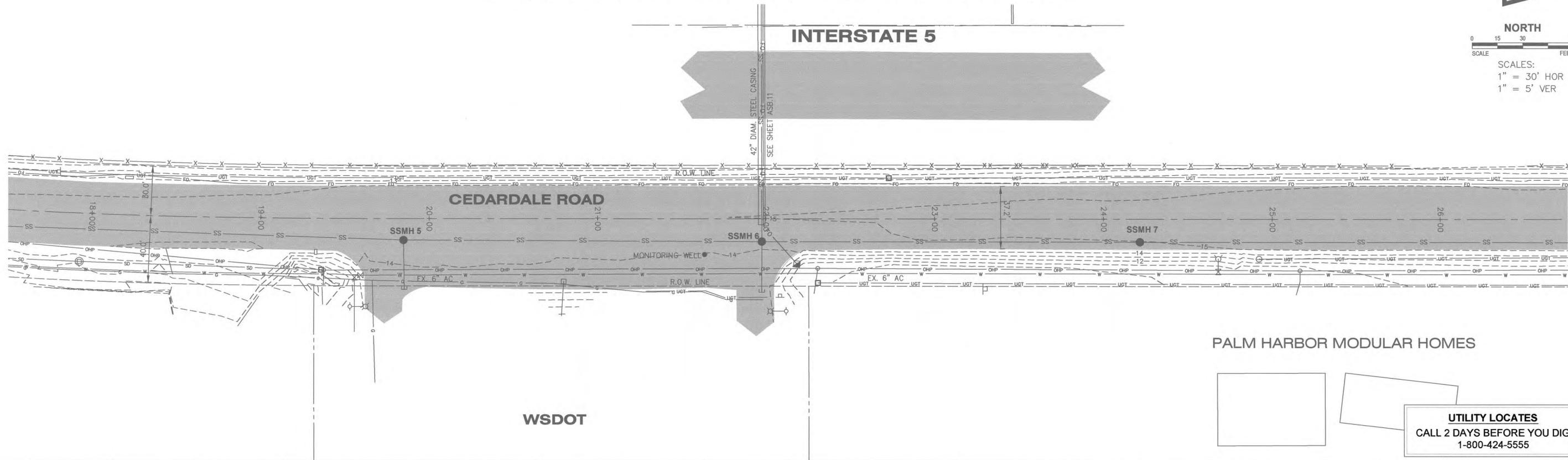
PROJECT  
**SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENTS**  
**PHASE 3 CEDARDALE/ANDERSON ROADS**  
FOR  
**CITY OF MOUNT VERNON**  
SECTION 32, TOWNSHIP 34 N., RANGE 4 E., W.M.  
MOUNT VERNON, WASHINGTON

DRAWING NO.  
RCP01004  
JOB NO.  
99099-E  
SHEET  
ASB.1 of 11

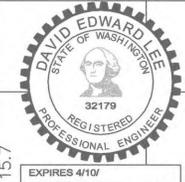
# CONSTRUCTION RECORD DRAWING



INTERSTATE 5



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**SHEET DESCRIPTION**  
CEDARDALE ROAD  
SANITARY SEWER PLAN AND PROFILE  
STA 17+50 TO STA 26+50

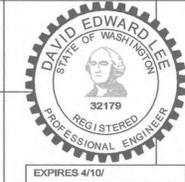
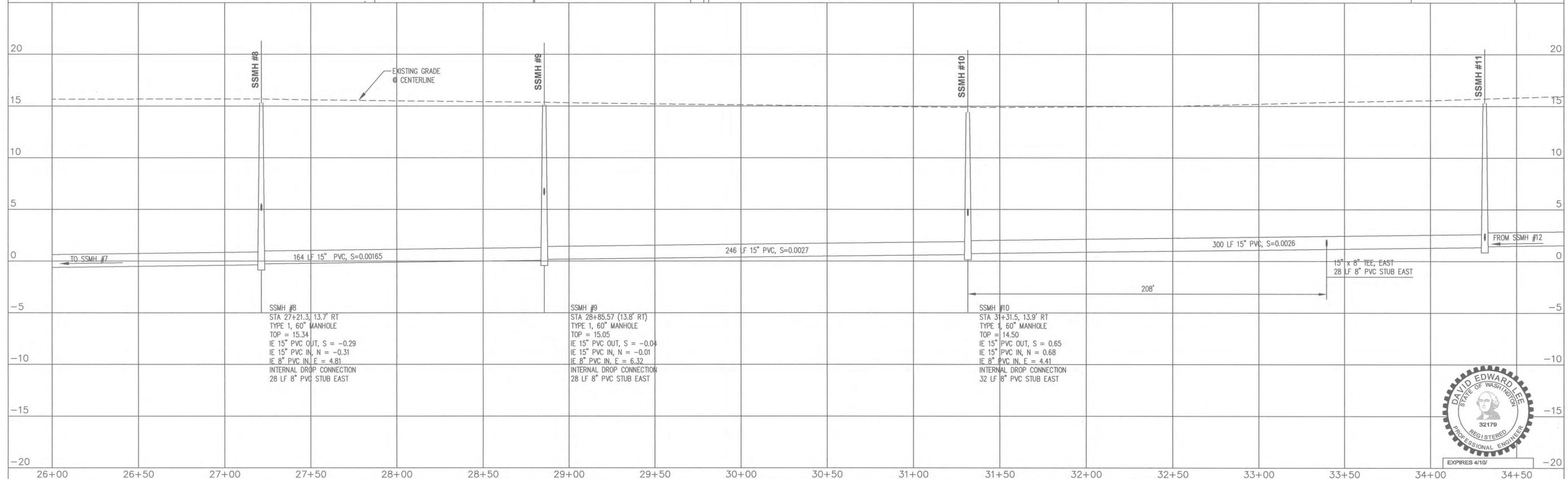
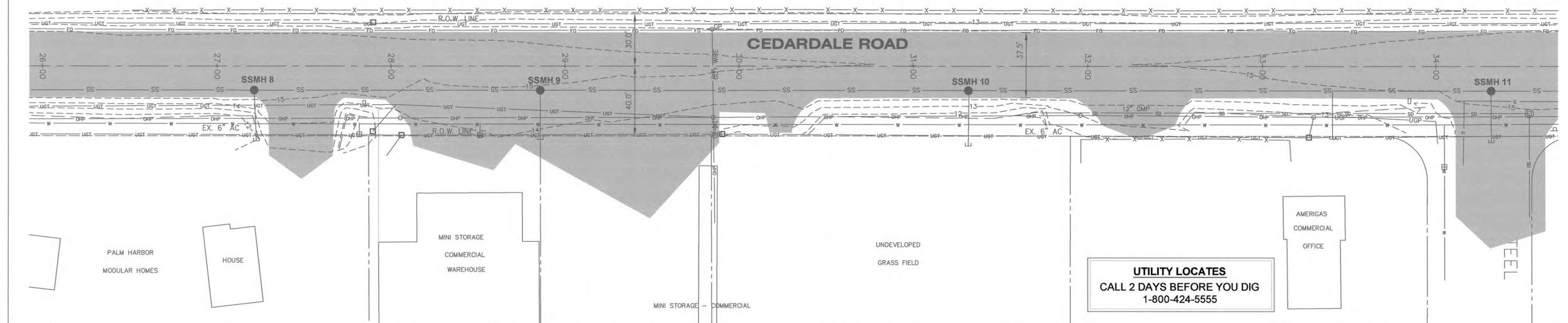
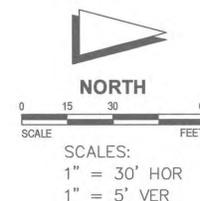
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**DRAWN BY:** PRL  
**DESIGNED BY:** DEL  
**CHECKED BY:** DEL  
**FIELD BOOK/PAGE:**  
**DATE:** 04.01.04

**PROJECT**  
**SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENTS**  
**PHASE 3 CEDARDALE/ANDERSON ROADS**  
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3 of 12  
DRAWING NO. RCP02004  
JOB NO. 99089-E  
SHEET ASB.2 of 11

# CONSTRUCTION RECORD DRAWING

## INTERSTATE 5



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**SHEET DESCRIPTION**  
CEDARDALE ROAD  
SANITARY SEWER PLAN AND PROFILE  
STA 26+00 TO STA 34+50

**SCALE:** H: 1"=30'/V: 1"=5'  
**DRAWN BY:** PRL  
**DESIGNED BY:** DEL  
**CHECKED BY:** DEL  
**FIELD BOOK/PAGE:**  
**DATE:** 04.01.04

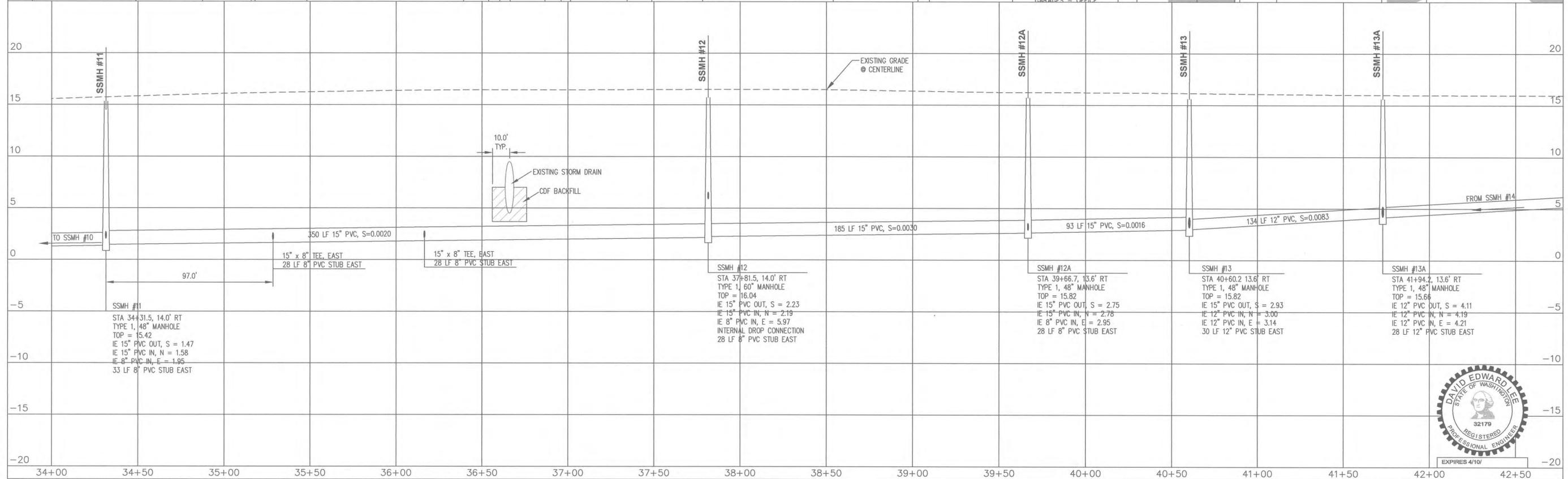
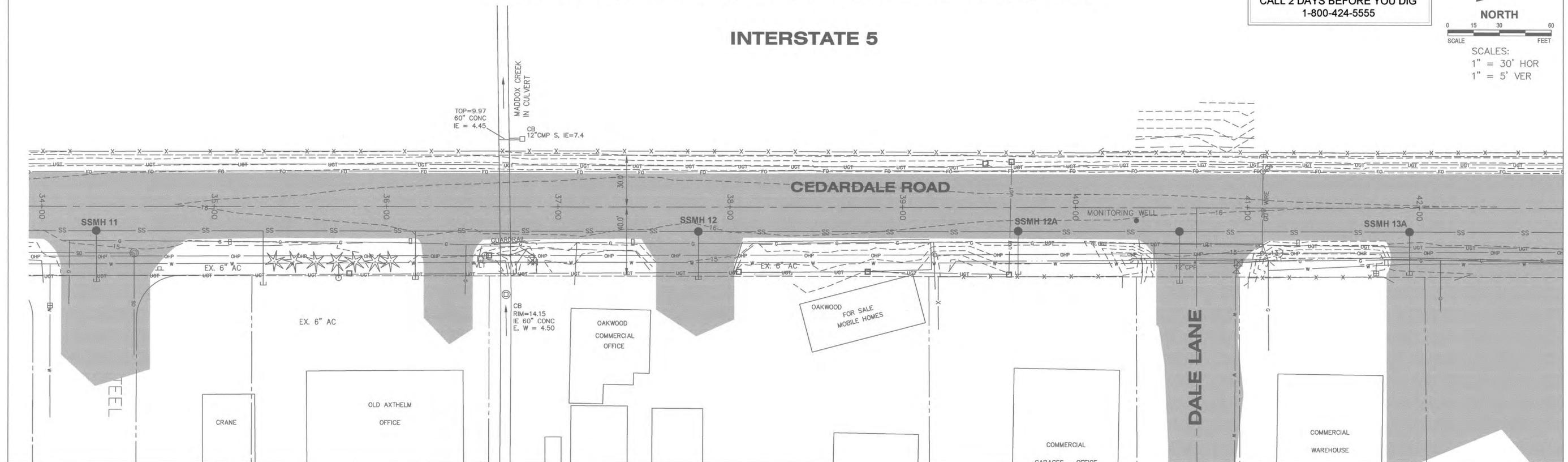
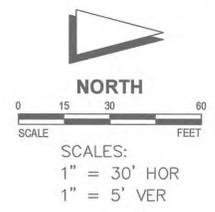
**PROJECT**  
SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENTS  
PHASE 3 CEDARDALE/ANDERSON ROADS  
FOR  
CITY OF MOUNT VERNON  
SECTION 32, TOWNSHIP 34 N., RANGE 4 E., W.M.  
MOUNT VERNON, WASHINGTON

**DRAWING NO.** RCP03004  
**JOB NO.** 99099-E  
**SHEET** 4 of 12  
**ASB.3 of 11**

# CONSTRUCTION RECORD DRAWING

## INTERSTATE 5

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**SHEET DESCRIPTION**  
CEDARDALE ROAD  
SANITARY SEWER PLAN AND PROFILE  
STA 34+00 TO STA 42+50

**SCALE:** H: 1"=30' V: 1"=5'  
**DRAWN BY:** PRL  
**DESIGNED BY:** DEL  
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**FIELD BOOK/PAGE:**  
**DATE:** 04.01.04

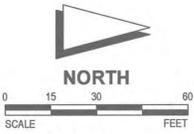
**PROJECT**  
SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENTS  
PHASE 3 CEDARDALE/ANDERSON ROADS  
FOR  
CITY OF MOUNT VERNON  
SECTION 32, TOWNSHIP 34 N., RANGE 4 E., W.M.  
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**DRAWING NO.** RCP04004  
**JOB NO.** 99099-E  
**SHEET** 5 of 12  
**ASB.4 of 11**

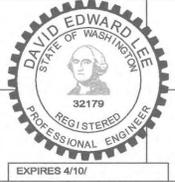
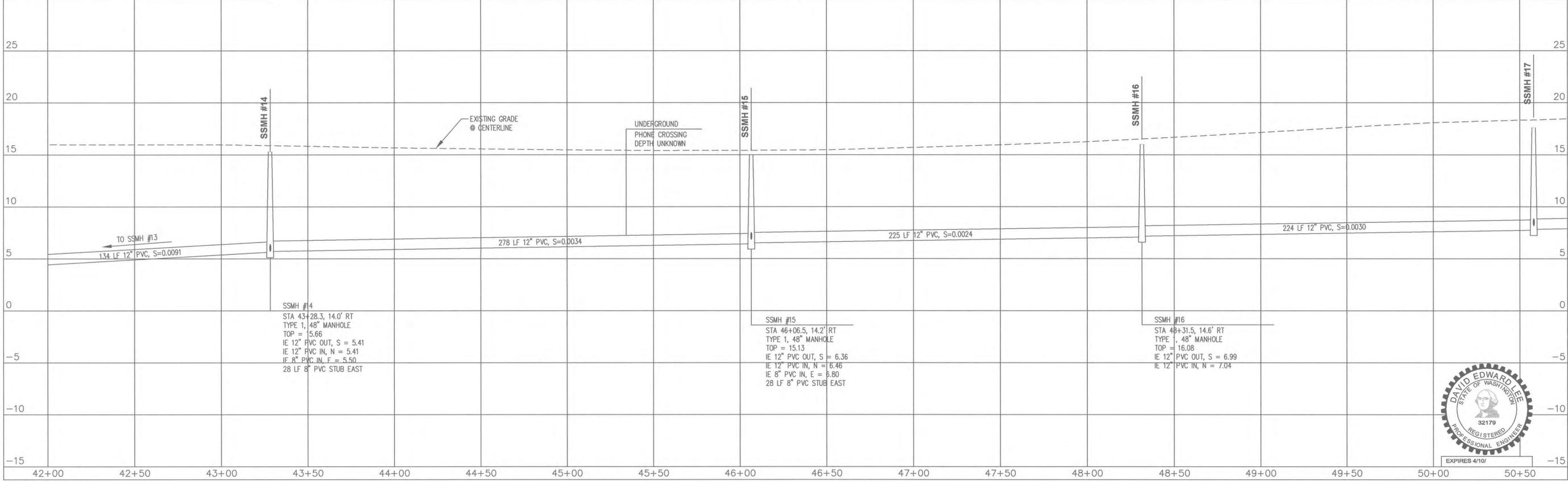
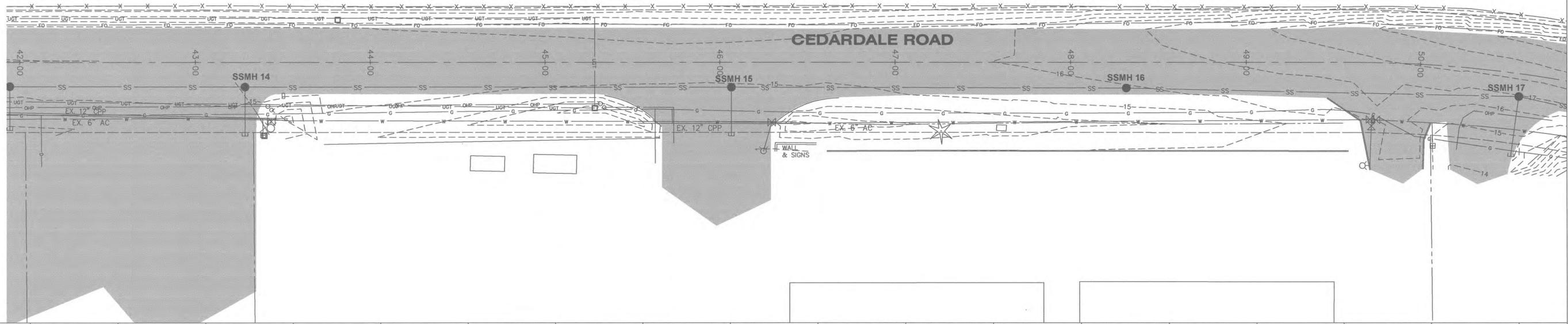
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## INTERSTATE 5

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SCALES:  
1" = 30' HOR  
1" = 5' VER



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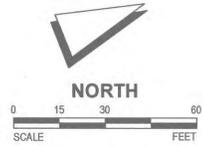
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**CEDARDALE ROAD**  
SANITARY SEWER PLAN AND PROFILE  
STA 42+00 TO STA 52+50

SCALE: H: 1"=30' V: 1"=5'  
DRAWN BY: PRL  
DESIGNED BY: DEL  
CHECKED BY: DEL  
FIELD BOOK/PAGE:  
DATE: 04.01.04

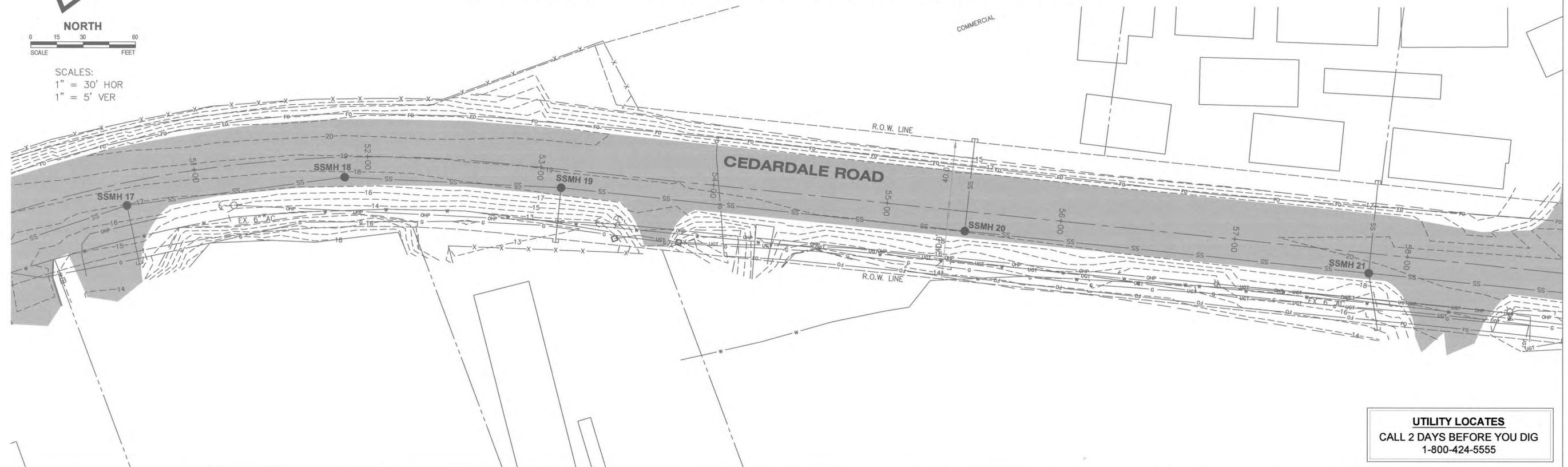
PROJECT  
**SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENTS**  
PHASE 3 CEDARDALE/ANDERSON ROADS  
FOR  
**CITY OF MOUNT VERNON**  
SECTION 32, TOWNSHIP 34 N., RANGE 4 E., W.M.  
MOUNT VERNON, WASHINGTON

DRAWING NO.  
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JOB NO.  
99039-E  
SHEET  
ASB.5 of 11

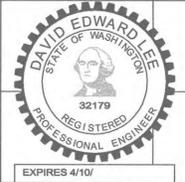
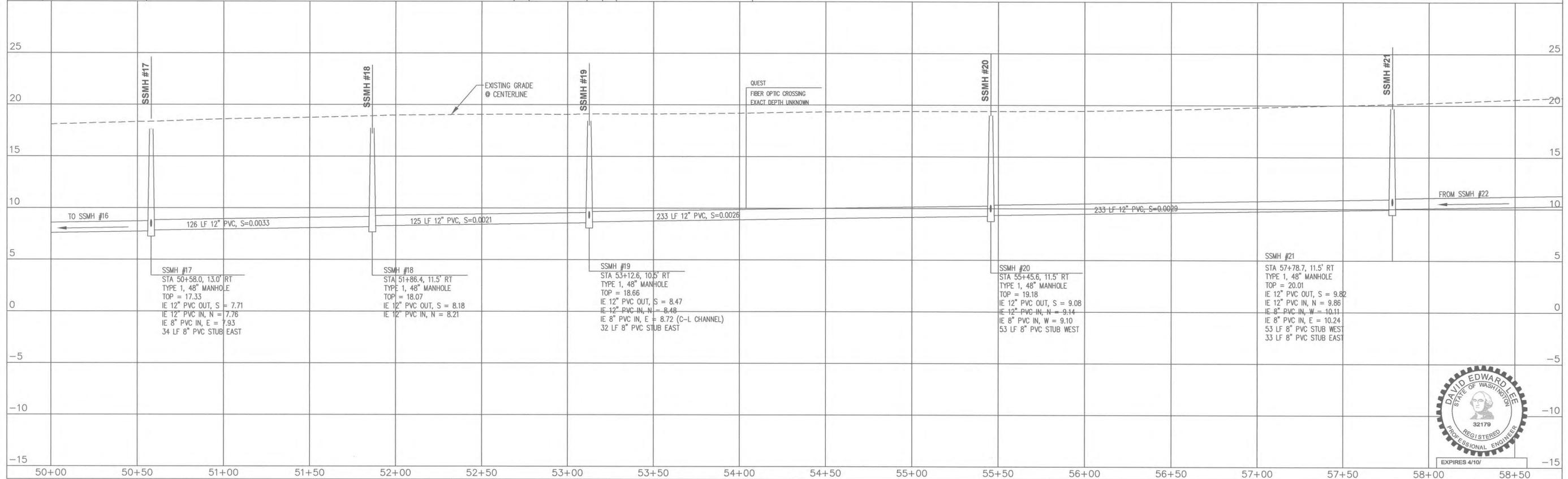
# CONSTRUCTION RECORD DRAWING



SCALES:  
1" = 30' HOR  
1" = 5' VER



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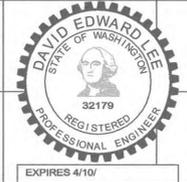
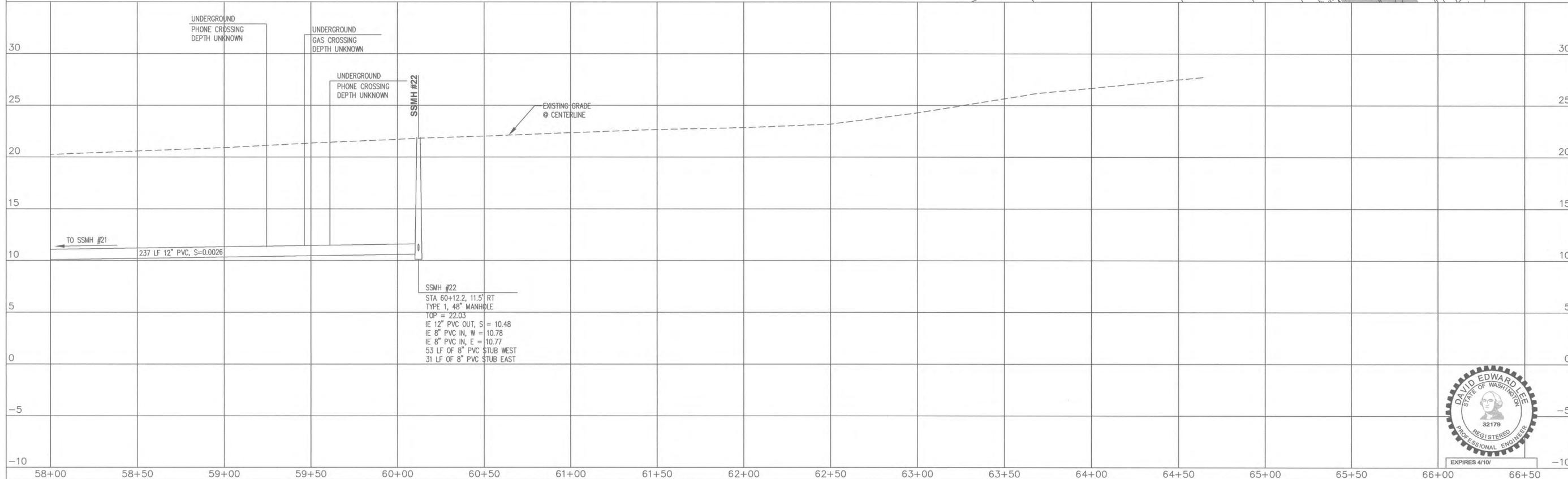
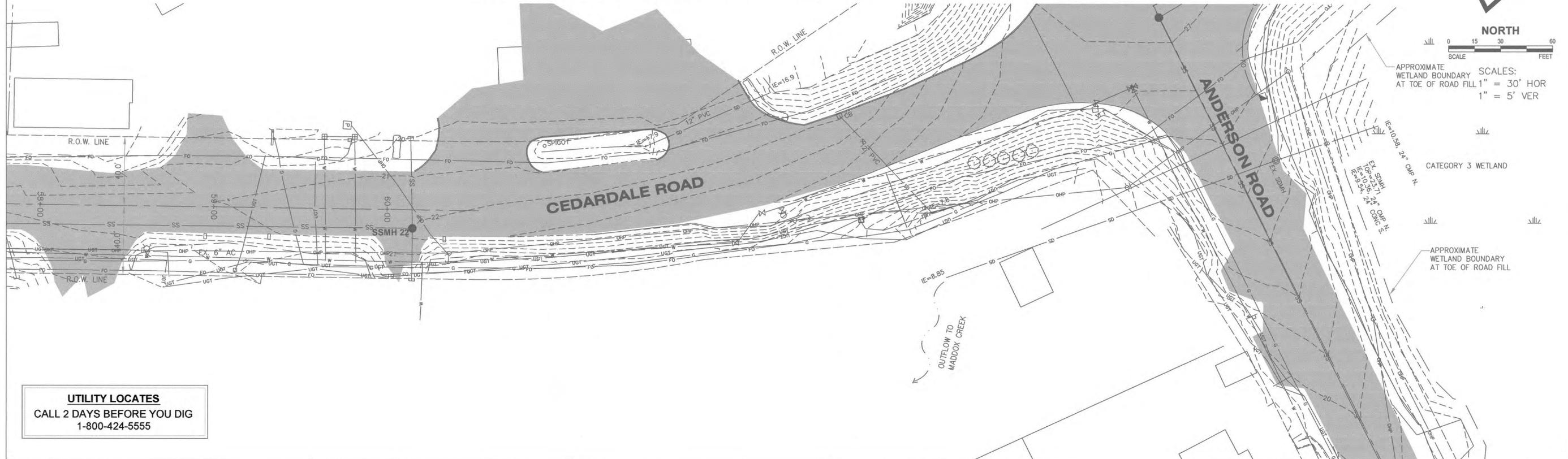
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SANITARY SEWER PLAN AND PROFILE  
STA 50+00 TO STA 58+50

SCALE: H: 1"=30'V: 1"=5'  
DRAWN BY: PRL  
DESIGNED BY: DEL  
CHECKED BY: DEL  
FIELD BOOK/PAGE:  
DATE: 04.01.04

PROJECT  
**SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENTS**  
**PHASE 3 CEDARDALE/ANDERSON ROADS**  
FOR  
**CITY OF MOUNT VERNON**  
SECTION 32, TOWNSHIP 34 N., RANGE 4 E., W.M.  
MOUNT VERNON, WASHINGTON

DRAWING NO.  
RCP06004  
JOB NO.  
99039-E  
SHEET  
7 of 12  
ASB.6 of 11

# CONSTRUCTION RECORD DRAWING



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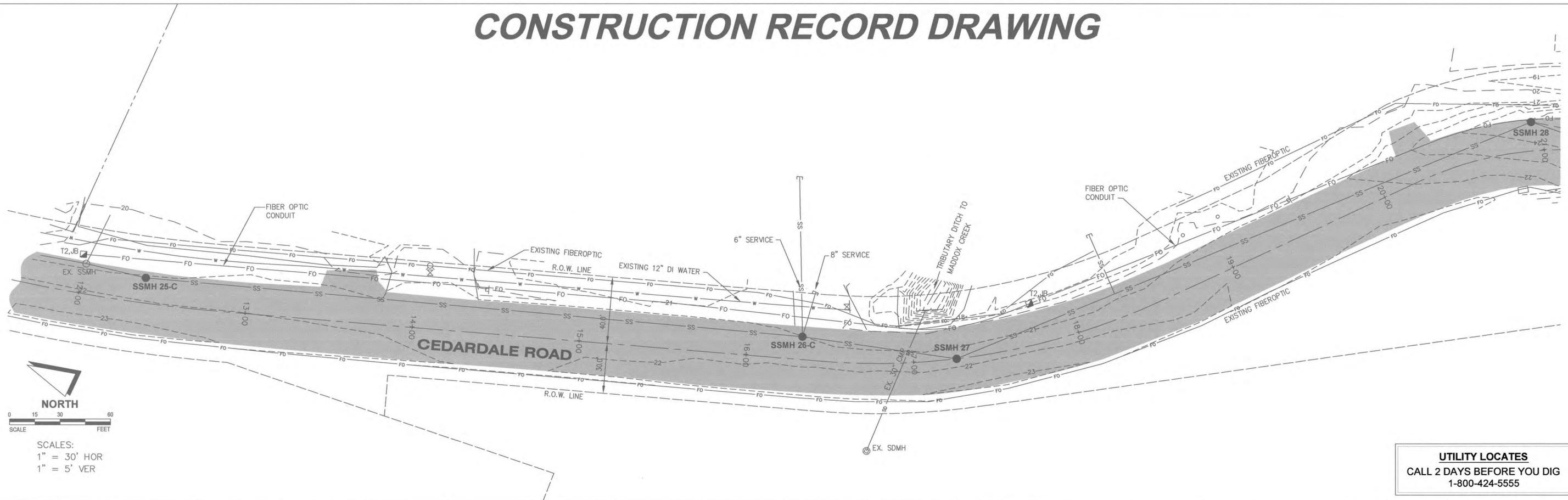
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 STA 58+00 TO STA 66+50

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 FIELD BOOK/PAGE:  
 DATE: 04.01.04

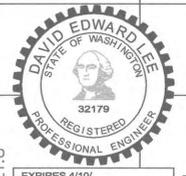
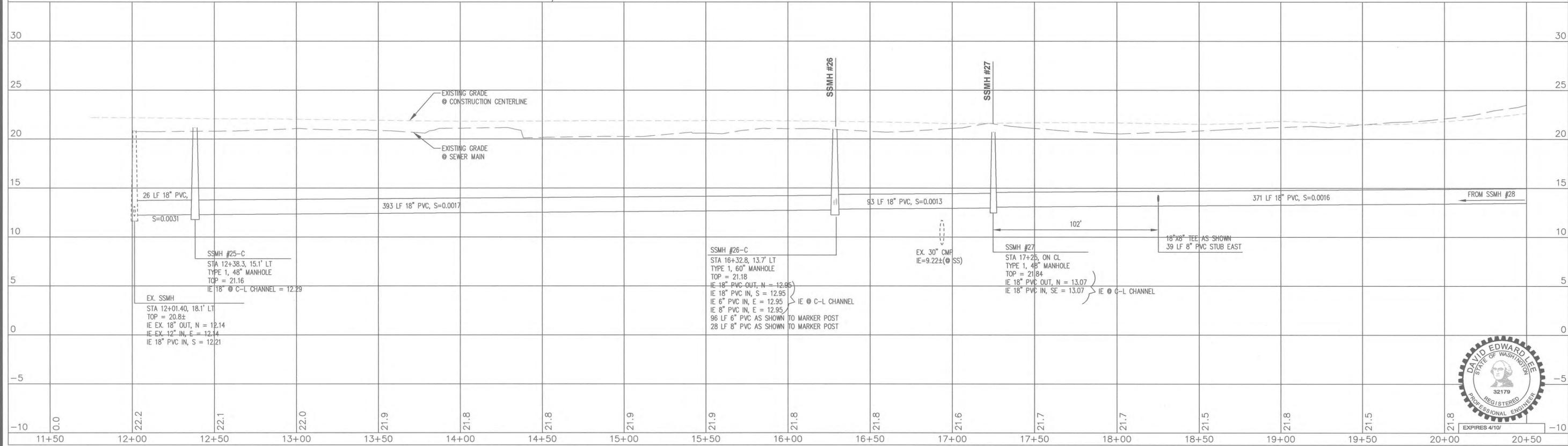
PROJECT  
**SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENTS**  
**PHASE 3 CEDARDALE/ANDERSON ROADS**  
 FOR  
**CITY OF MOUNT VERNON**  
 SECTION 32, TOWNSHIP 34 N., RANGE 4 E., W.M.  
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DRAWING NO.  
 RCP07004  
 JOB NO.  
 99099-E  
 SHEET  
**8 of 12**  
 ASB.7 of 11

# CONSTRUCTION RECORD DRAWING



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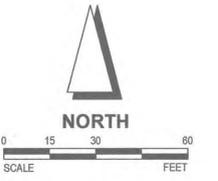
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 CEDARDALE/ANDERSON ROAD  
 SANITARY SEWER PLAN AND PROFILE  
 STA 11+50 TO STA 20+50

**SCALE:** H: 1"=30'V, 1"=5'  
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**DESIGNED BY:** DEL  
**CHECKED BY:** DEL  
**FIELD BOOK/PAGE:**  
**DATE:** 04.01.04

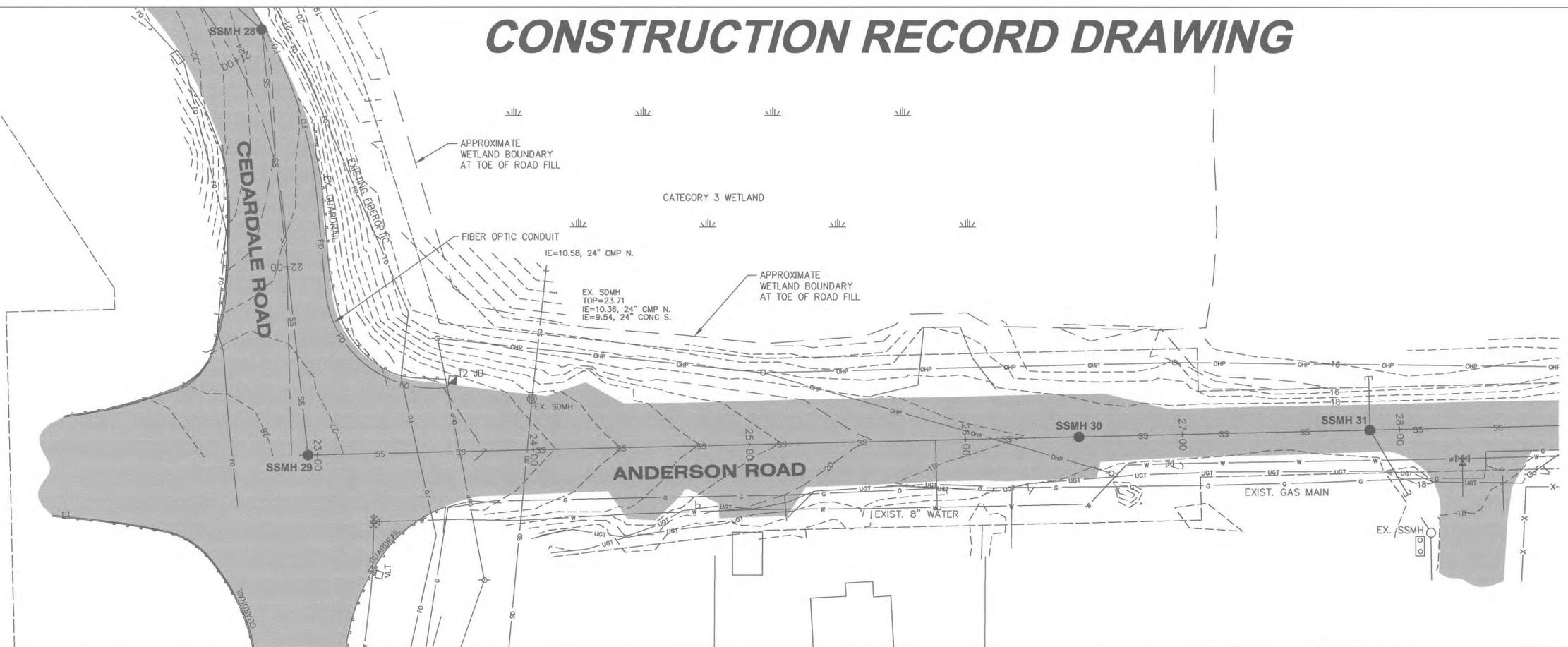
**PROJECT**  
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 PHASE 3 CEDARDALE/ANDERSON ROADS  
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 MOUNT VERNON, WASHINGTON

**DRAWING NO.** RCFP1003  
**JOB NO.** 99099-E  
**SHEET** ASB.8 of 11

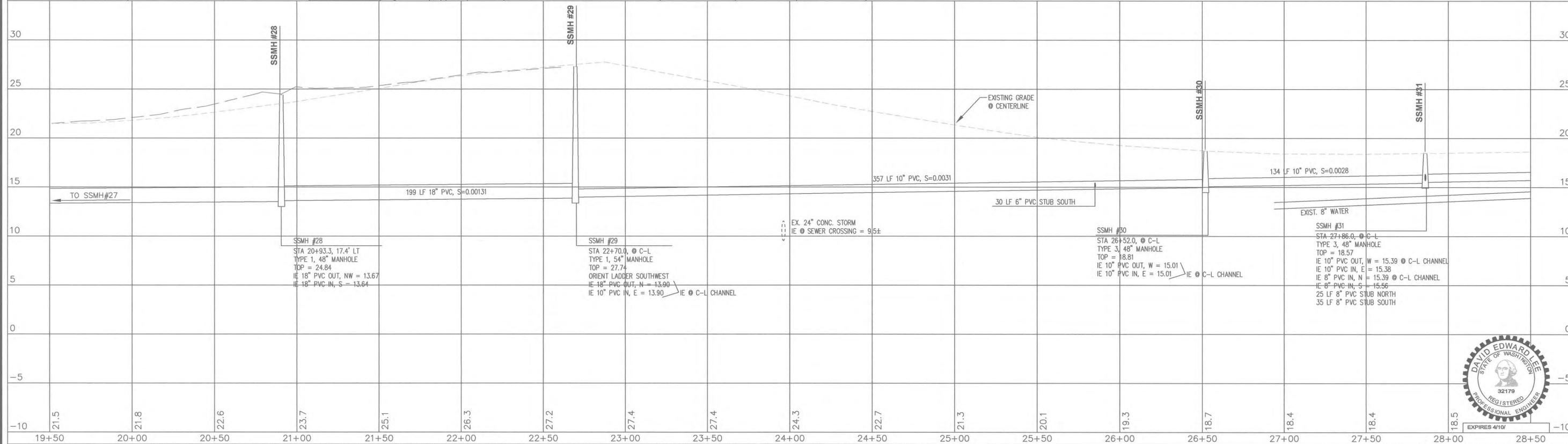
# CONSTRUCTION RECORD DRAWING



SCALES:  
1" = 30' HOR  
1" = 5' VER



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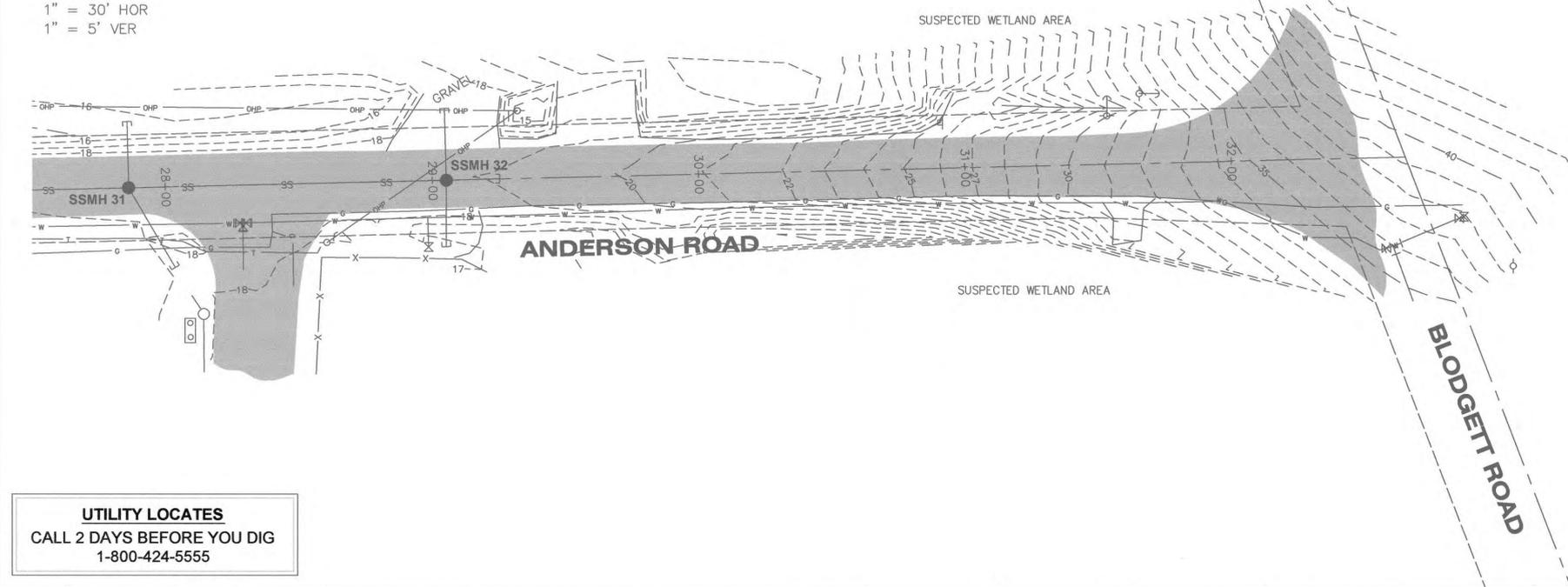
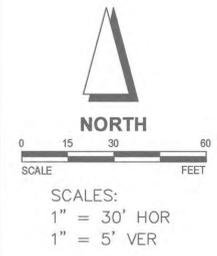
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**CEDARDALE/ANDERSON ROAD  
SANITARY SEWER PLAN AND PROFILE  
STA 19+50 TO STA 28+50**

SCALE: H: 1"=30'V: 1"=5'  
DRAWN BY: PRL  
DESIGNED BY: DEL  
CHECKED BY: DEL  
FIELD BOOK/PAGE:  
DATE: 04.01.04

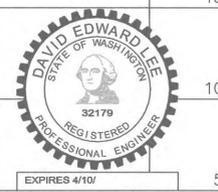
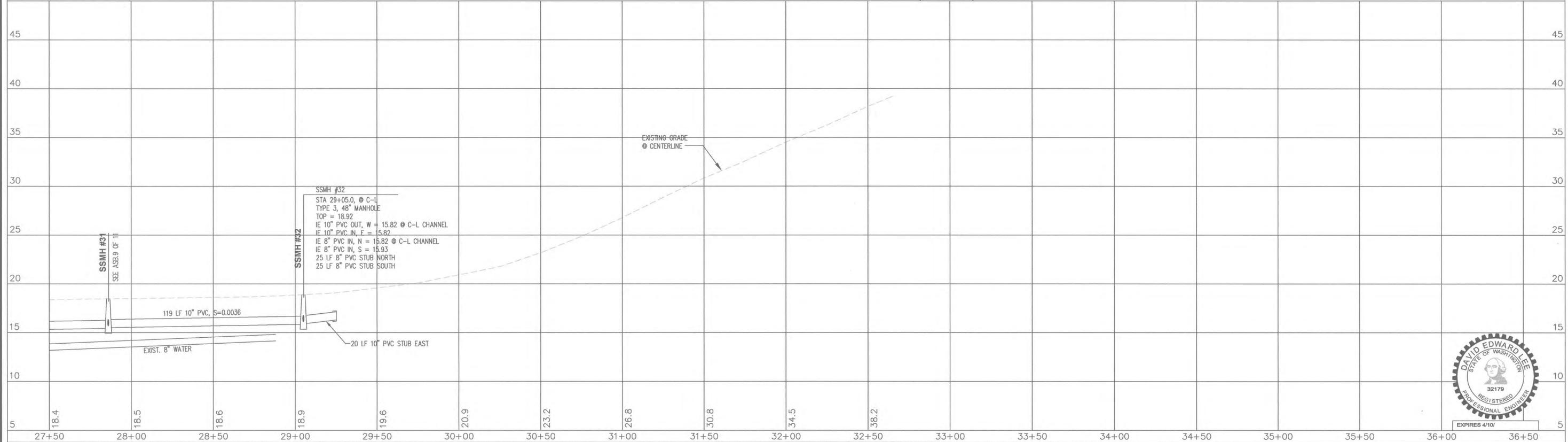
PROJECT  
**SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENTS  
PHASE 3 CEDARDALE/ANDERSON ROADS**  
FOR  
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SECTION 32, TOWNSHIP 34 N., RANGE 4 E., W.M.  
MOUNT VERNON, WASHINGTON

DRAWING NO.  
RCP02003  
JOB NO.  
99099-E  
SHEET  
10 of 12  
ASB.9 of 11

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**SHEET DESCRIPTION**  
CEDARDALE/ANDERSON ROAD  
SANITARY SEWER PLAN AND PROFILE  
STA 27+50 TO STA 33+00

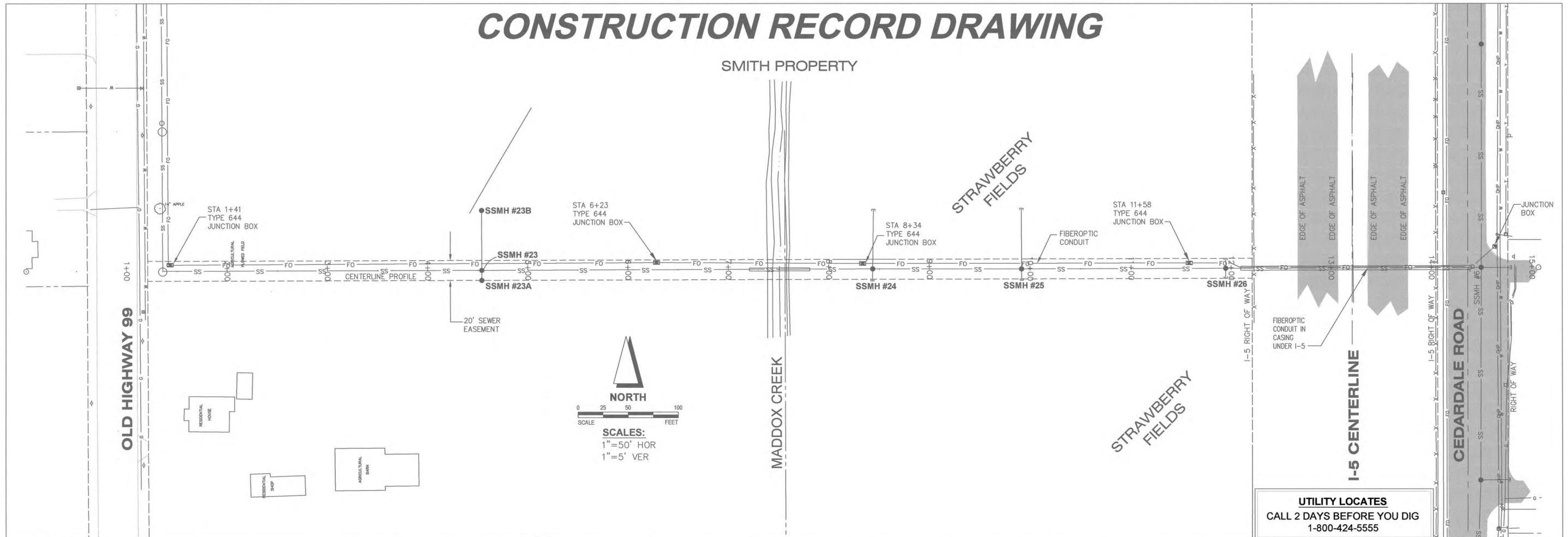
**SCALE:** H: 1"=30' V: 1"=5'  
**DRAWN BY:** PRL  
**DESIGNED BY:** DEL  
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**FIELD BOOK/PAGE:**  
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**PROJECT**  
**SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENTS**  
**PHASE 3 CEDARDALE/ANDERSON ROADS**  
FOR  
**CITY OF MOUNT VERNON**  
SECTION 32, TOWNSHIP 34 N., RANGE 4 E., W.M.  
MOUNT VERNON, WASHINGTON

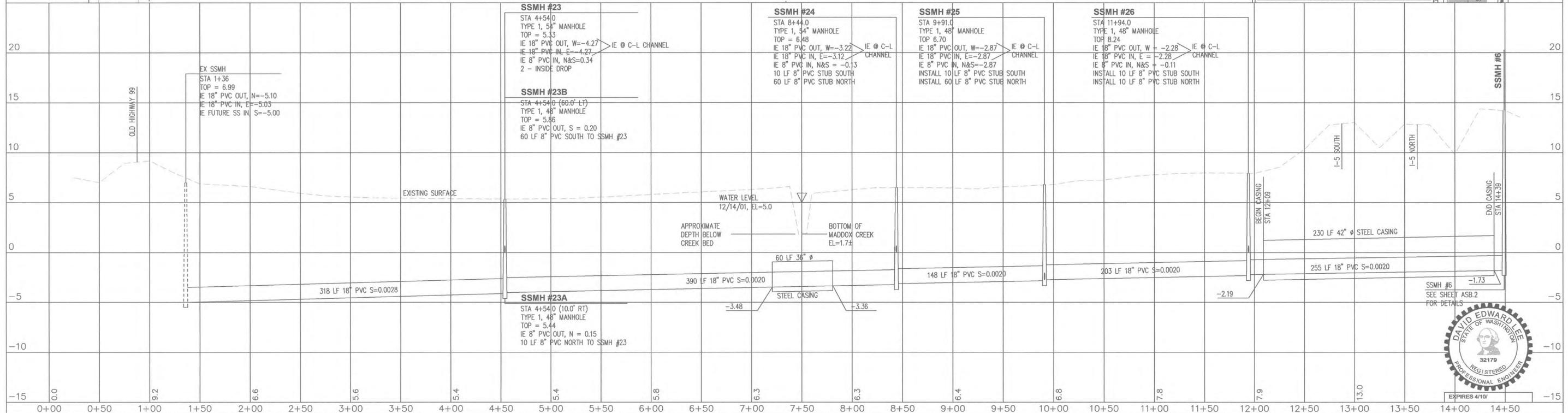
**DRAWING NO.** RCP03003  
**JOB NO.** 99099-E  
**SHEET** 11 of 12  
**ASB.10 of 11**

# CONSTRUCTION RECORD DRAWING

SMITH PROPERTY



**UTILITY LOCATES**  
CALL 2 DAYS BEFORE YOU DIG  
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<b>Leonard, Boudinot &amp; Skodje Inc.</b> PROFESSIONAL ENGINEERS & LAND SURVEYORS 603 South First Street, P.O. Box 1228 Mount Vernon, WA 98273 Tel: 360-336-5751 Fax: 360-336-3981		<b>SHEET DESCRIPTION</b> SMITH'S PROPERTY SANITARY SEWER PLAN AND PROFILE STA 0+00 TO STA 14+50		<b>SCALE:</b> H: 1"=50'V: 1"=5' <b>DRAWN BY:</b> PRL <b>DESIGNED BY:</b> DEL <b>CHECKED BY:</b> DEL <b>FIELD BOOK/PAGE:</b> <b>DATE:</b> 04.01.04		<b>PROJECT</b> SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENTS PHASE 3 CEDARDALE/ANDERSON ROADS FOR <b>CITY OF MOUNT VERNON</b> SECTION 32, TOWNSHIP 34 N., RANGE 4 E., W.M. MOUNT VERNON, WASHINGTON		<b>DRAWING NO.</b> RCP01002 <b>JOB NO.</b> 99099-E <b>SHEET</b> 12 of 12 <b>ASB.11 of 11</b>	
NO.	DATE	BY	APVD						

**APPENDIX B  
PLANNING STUDY ON ADULT USES**

# **SITES**

**ALONG BLODGETT**

**(SUB 94-2)**

# BLACKBURN RIDGE

## CONSTRUCTION PLANS FOR

### ROADS, WATER, SANITARY SEWER, STORM WATER MANAGEMENT

COVER DIV 94-2  
 BLACKBURN RIDGE - SEC 19



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 DATE 3/4/97  
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 REGISTERED PROFESSIONAL ENGINEER  
 EXPIRES 1-25-98  
 Oct. 19, 1995

STEVEN P. GOOD  
 REGISTERED PROFESSIONAL ENGINEER  
 EXPIRES 6-1-96  
 Oct. 19, 1995

**RONALD T. JEPSON & ASSOC.**  
 REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS  
 222 GRAND, BELLINGHAM, WASHINGTON 98225

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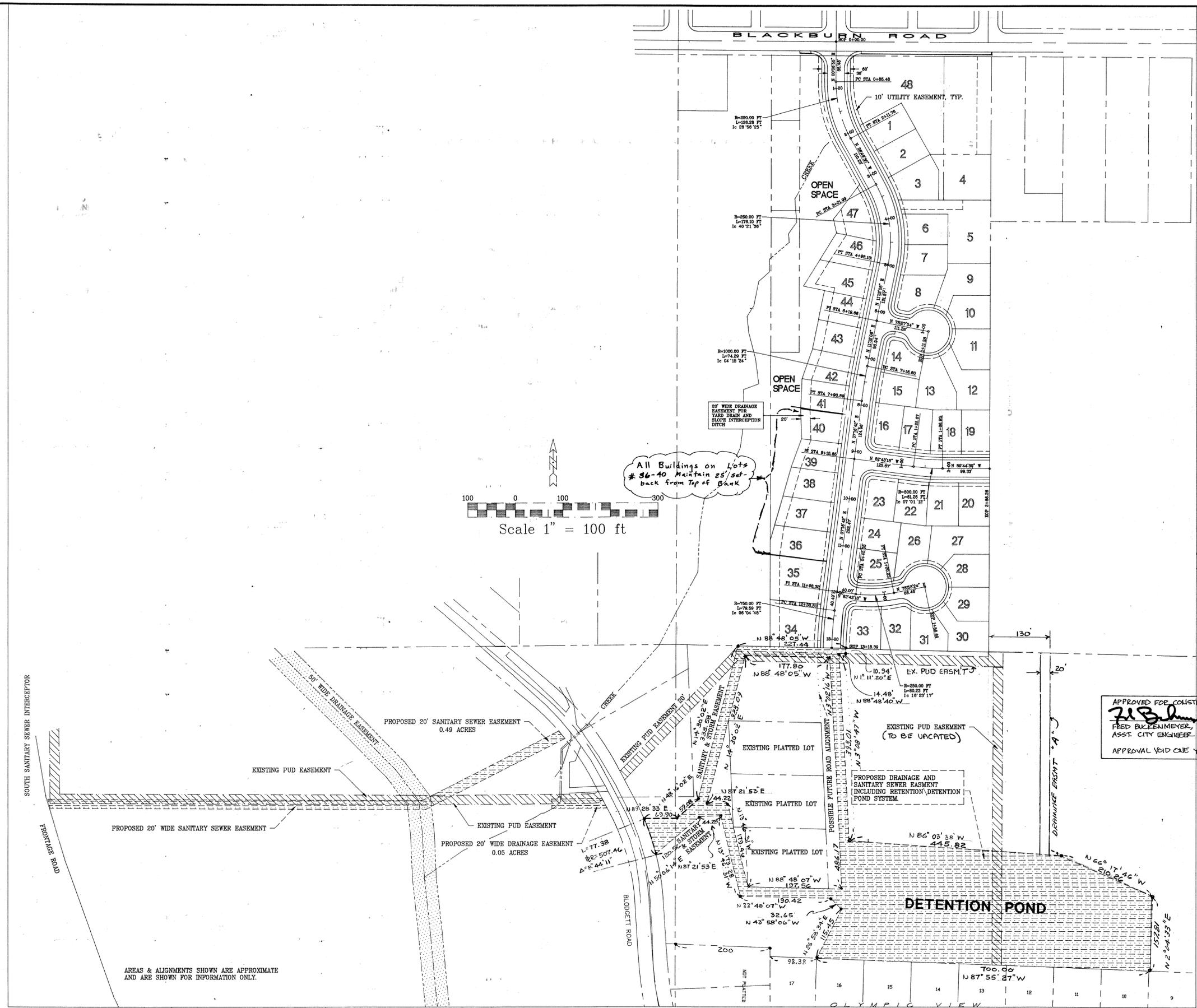
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BLACKBURN RIDGE  
 CONSTRUCTION IMPROVEMENT PLANS  
 GENERAL UTILITIES

RTJ-94111

IMPRINT PLANS SUB 94-2 2/20  
 BLACKBURN RIDGE



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 222 GRAND, BELLINGHAM, WASHINGTON 98225

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**BLACKBURN RIDGE**  
 IMPROVEMENT PLANS  
 GENERAL LOCATION & SITE PLAN

RTJ-94111

CONSTRUCTION NOTES

GENERAL NOTES:

ALL CONSTRUCTION AND INSTALLATION WORK SHALL CONFORM TO THE DESIGN AND CONSTRUCTION STANDARDS OF THE CITY OF MOUNT VERNON, THE 1994 STANDARD SPECIFICATIONS AND STANDARD PLANS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION AS PREPARED BY WSDOT AND THE APWA. WORKMANSHIP, USE OF EQUIPMENT AND MATERIAL SHALL ALSO CONFORM TO THE RECOMMENDATIONS OF THE MANUFACTURERS, FEDERAL STATE AND CITY REGULATIONS. AREAS OFF-SITE SHALL BE RESTORED TO THEIR ORIGINAL CONDITIONS BY THE CONTRACTOR PRIOR TO FINAL ACCEPTANCE OF WORK.

INTERRUPTIONS TO LOCAL TRAFFIC SHALL BE AVOIDED BUT IF NECESSARY ANY INTERRUPTION SHOULD BE SPECIFICALLY ARRANGED WITH THE APPROPRIATE AUTHORITIES AND REROUTING PERFORMED. THE EXISTING UTILITY LOCATIONS ARE SHOWN FOR INFORMATION ONLY AND ARE APPROXIMATE. THE CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED PRIOR TO COMMENCING WORK AND TAKE THOSE STEPS NECESSARY TO AVOID DAMAGE DURING CONSTRUCTION. CONFLICTS WITH THE EXISTING UTILITIES SHOULD BE IDENTIFIED AND COMMUNICATED IN WRITING TO CITY INSPECTOR AND PROJECT ENGINEER. UTILITIES LOCATED IN THE FIELD AND NOT SHOWN ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER AND ANY CHANGES REQUIRED SHALL BE APPROVED BY THE CITY PRIOR TO COMMENCEMENT OF RELATED CONSTRUCTION.

NO PART OF THE CONSTRUCTION SHALL BE COVERED, CONCEALED OR PUT INTO USE UNTIL IT HAS BEEN TESTED, INSPECTED AND ACCEPTED BY THE CITY AND THE PROJECT ENGINEER UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE CITY ENGINEER IN WRITING.

OTHER UTILITIES WORKING WITHIN THE LIMITS OF THE PROJECT SHOULD BE CONTACTED TO COORDINATE ALL WORK AS NECESSARY.

ALL WORK MUST BE STAKED BY SURVEY FOR "LINE AND GRADE" PRIOR TO STARTING CONSTRUCTION. THE SITE SHALL BE MAINTAINED IN A NEAT AND ORDERLY CONDITION WITH ALL GARBAGE REMOVED AS SOON AS PRACTICAL. ROUTINE AND FINAL CLEANUPS ARE TO BE AN INTEGRAL PART OF ALL BID ITEMS. AT THE JUNCTION WHERE THIS CONSTRUCTION CONNECTS WITH THE EXISTING STREETS, THE STREET SHALL BE LEFT IN A CONDITION TO SATISFY THE REQUIREMENTS IN THE APWA SPECIFICATIONS. NEW CONSTRUCTION SHOULD BE NEATLY CONNECTED WITHOUT DETRIMENT TO THE INTEGRITY OF THE EXISTING FACILITIES. SUCH WORK SHALL BE CONSIDERED INCIDENTAL TO THE PAVING WORK. ALL STREET WIDENING AREAS SHALL BE SAW CUT AT THE FOGLINE FOR A NEAT LINE EDGE. THE CONTRACTOR SHALL BE LICENSED WITH THE STATE OF WASHINGTON, INSURED AND/OR BONDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A ONE YEAR PERFORMANCE AND/OR MAINTENANCE BOND ON ALL WORK.

A PRE-CONSTRUCTION MEETING SHALL BE REQUIRED PRIOR TO COMMENCING CONSTRUCTION AND SHALL INCLUDE THE CONTRACTOR, CITY REPRESENTATIVES AND REPRESENTATIVES FOR THE OWNER. THE TYPICAL ROAD SECTION SHALL CONSIST OF 4" ASPHALT CONCRETE, 2" CRUSHED ROCK, AND 13" GRAVEL BASE ON GEOTEXTILE FABRIC, ALL DEPTHS LISTED ARE COMPACTED MATERIAL DEPTHS. GEOTEXTILE FABRIC SHALL CONSIST OF LONG CHAIN POLYMERIC FILAMENTS COMPOSED OF POLYPROPYLENE, POLYETHYLENE, OR POLYAMIDE. THE FILAMENTS SHALL BE ORIENTED INTO A STABLE NETWORK WHEREBY THEY RETAIN THEIR POSITIONS RELATIVE WITH EACH OTHER. THE GEOTEXTILE SHALL BE FREE OF ANY CHEMICAL TREATMENT OR COATING WHICH REDUCES PERMEABILITY AND SHALL BE INERT TO CHEMICALS COMMONLY FOUND IN SOIL. THE GEOTEXTILE SHALL CONFORM TO THE MINIMUM PHYSICAL PROPERTY REQUIREMENTS AS LISTED BELOW WITH ALL VALUES REPRESENTING CERTIFIABLE MINIMUM VALUES IN THE WEAKEST DIRECTION OF THE FABRIC. EACH ROLL OF FABRIC MUST MEET OR EXCEED THESE MINIMUM TEST VALUES WHEN SAMPLED ACCORDING TO ASTM-D-4354-84. THE FABRIC SHALL BE PROTECTED FROM ULTRAVIOLET RADIATION AND ABRASION DURING SHIPPING AND STORED IN A DRY CONDITION. THE FABRIC JOINTS SHALL BE LAPPED A MINIMUM OF 18". LAPPED FABRIC SHALL BE PLACED SO OVERLAPS FOLLOW THE DIRECTION OF THE FILL MATERIAL TO PREVENT WORKING FILL UNDER THE LAP. SEWN SEAMS SHALL HAVE A STRENGTH NOT LESS THAN 90 PERCENT OF THE TENSILE STRENGTH OF THE FABRIC. THE GEOTEXTILE FABRIC SHALL BE COVERED WITH FILL AS SOON AS POSSIBLE AND NOT LEFT EXPOSED FOR MORE THAN TWO WEEKS. DAMAGED FABRIC TORN OR PUNCTURED SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGE MEETING THE OVERLAP REQUIREMENTS. PRICE FOR GEOTEXTILE FABRIC SHALL BE INCLUDED AS PART OF THE ROAD CONSTRUCTION COST, IN PLACE.

MINIMUM GEOTEXTILE PROPERTIES		
TENSILE STRENGTH,	200 POUNDS	ASTM D-4632
ELONGATION %	50 %	ASTM D-4632
BURST STRENGTH,	110 POUNDS	ASTM D-3787
TEAR STRENGTH,	85 POUNDS	ASTM D-4533
ABRASION RESISTANCE	85 POUNDS	ASTM D-3884

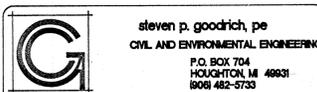
GRAVEL BASE FOR THE ROAD SECTION SHALL CONFORM TO WSDOT STANDARD SPECS 9-03.14. THE 4" OF ASPHALT CONCRETE SHALL BE PLACED IN 2 EQUAL LIFTS. ALL ROAD FILLS SHALL BE COMPACTED TO 95% MAXIMUM DENSITY FOLLOWING ASTM 1557. ALL ASPHALT SHALL BE TESTED IN ACCORDANCE WITH THE MOUNT VERNON SPECIFICATIONS LISTED IN THESE PLANS. TESTING SHALL BE DONE BY AN INDEPENDENT LABORATORY TO INSURE CONFORMANCE WITH THE SPECIFICATIONS AND CONSTRUCTION STANDARDS.

PIPE BEDDING AND BACKFILL SHALL CONFORM TO CITY STANDARD PLANS, AND WSDOT B-18C. BEDDING MATERIAL SHALL CONFORM TO WSDOT 9-03.15 & 9-03.16 WHERE APPLICABLE. BACKFILL SHALL CONFORM TO WSDOT 9-03.14 COMPACTED TO 95% FOLLOWING ASTM 1557 UNDER ALL ROADWAYS AND WSDOT 9-03.19 OUTSIDE OF ROADWAYS.

ALL PIPE LINES SHALL MEET THE STANDARDS FOR LEAKAGE TESTS. THE CONTRACTOR SHALL FURNISH ALL EQUIPMENT AND PERSONNEL TO OPERATE TESTS UNDER THE OBSERVATION OF THE PROJECT ENGINEER AND UTILITIES DEPARTMENT INSPECTOR, 48 HOUR NOTICE SHALL BE GIVEN PRIOR THE ANY AND ALL TESTS.

EXCAVATION OF THE DETENTION POND SHALL BE OBSERVED BY THE ENGINEER FOR VARIATIONS IN SOIL CONDITIONS AND MOISTURE. THE POND SHALL BE OVER EXCAVATED WITH 18" OF NATIVE SOIL COMPACTED TO 90% IN PLACE BEFORE A MINIMUM OF 12" OF TOP SOIL TO BRING THE SURFACE UP TO FINISH GRADE, AS SHOWN IN THESE PLANS. THE TOP SOIL SHALL BE PLACED, SMOOTHED, SEEDED AND MULCHED AS DESCRIBED IN THESE PLANS.

ALL STORM AND SANITARY SEWER CONSTRUCTION SHALL FOLLOW THE WSDOT STANDARD SPECIFICATIONS.



SANITARY SEWER NOTES:

ALL PVC SEWER PIPE AND FITTINGS SHALL CONFORM TO AND MEET THE REQUIREMENTS OF THE LATEST ASTM SPECIFICATION D3034. PIPE AND FITTINGS SHALL MEET STANDARD DIMENSION RATIO 35. SANITARY SEWER PIPE SHALL BE CLASS 150 AND BEAR THE MARK OF THE NATIONAL SANITATION FOUNDATION. ALL PIPE SHALL BE SUITABLE FOR USE AS A GRAVITY SEWER CONDUIT. PROVISIONS SHALL BE MADE FOR THE CONTRACTION AND EXPANSION AT EACH JOINT WITH A RUBBER RING, SECURELY PLACED TO PREVENT DISPLACEMENT.

MAINLINE SEWERS SHALL BE EIGHT INCH DIAMETER, CLASS 150, PVC SANITARY SEWER PIPE. SIDE SEWERS SHALL BE SIX INCH DIAMETER, CLASS 150, PVC PIPE. ALL SIDE SEWERS SHALL HAVE A MINIMUM SLOPE OF TWO PERCENT WITH THE TEST TEE/WYES PLUGGED AND BLOCKED ON THE ENDS FOR TESTING AND LOCATING FOR FUTURE USE. SEWER TEE/WYE SHALL BE FACTORY MADE WITH MATCHED ENDS FOR RUBBER GASKET FITTINGS, NO "CUT IN" TEES SHALL BE PERMITTED.

FITTINGS AND ACCESSORIES SHALL BE MANUFACTURED AND FURNISHED BY THE PIPE SUPPLIER OR BE AN APPROVED EQUAL WITH BELL AND/OR SPIGOT CONFIGURATIONS IDENTICAL TO THAT OF THE PIPE. MANHOLE COUPLINGS CORRESPONDING TO THE SIZE OF THE SEWER PIPE SHALL BE USED ON ALL MANHOLES.

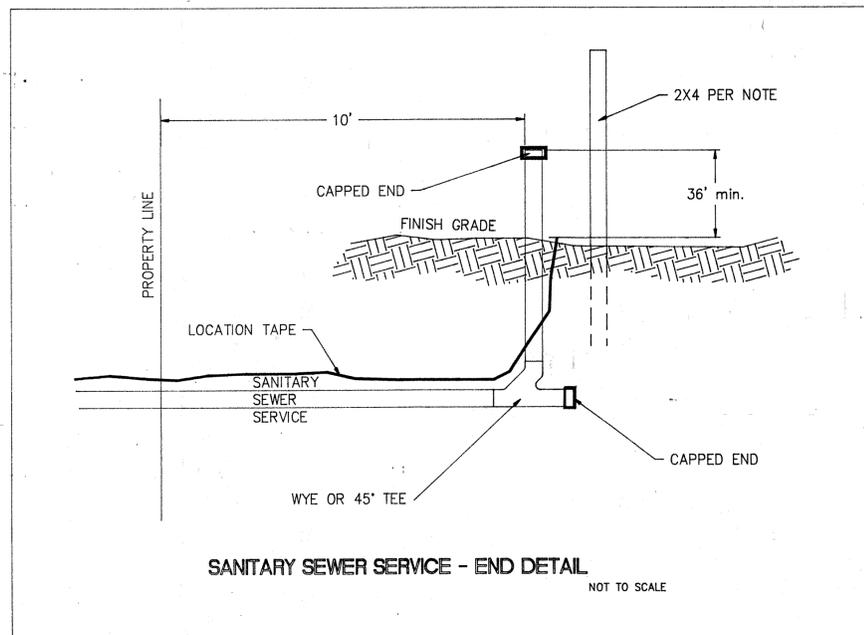
MANHOLES SHALL CONFORM TO THE CITY OF MOUNT VERNON STANDARDS AND WSDOT TYPE 1 AS SHOWN IN THESE PLANS.

THE END OF THE SANITARY SERVICE SHALL BE MARKED "SANITARY SEWER" ON TWO INCH BY FOUR INCH CEDAR BOARD OR POST, PAINTED WHITE AND EXTENDING A MINIMUM OF EIGHTEEN INCHES ABOVE THE GROUND SURFACE.

THE SANITARY SEWERS SHALL BE TESTED BY A LOW PRESSURE AIR TEST, PERFORMED BY THE CONTRACTOR AND OBSERVED BY THE CITY. THE CITY SHALL INSPECT THE SANITARY SEWER WITH A VIDEO CAMERA TO VERIFY ALIGNMENT, DEFLECTION OF PIPE, CLEANLINESS AND GENERAL QUALITY OF WORKMANSHIP. DEFECTS FOUND SHALL BE CORRECTED PRIOR TO ACCEPTANCE OF WORK BY THE CITY. THE LOW PRESSURE AIR TEST SHALL BE 4 PSI FOR 4 MINUTES WITH NO LOSS IN PRESSURE, SEE CITY FOR DETAILS AND SPECIFICATIONS.

ALL PVC PIPE CONNECTIONS TO MANHOLES AND OTHER STRUCTURES SHALL EMPLOY A SAND COLLAR.

FOR SERVICE RUNS METALLIC LOCATION TAPE SHALL BE PLACED ON THE TOP OF THE PIPE FOR THE FULL LENGTH OF THE RUN AND BE EXTENDED TO THE FINAL GROUND SURFACE AT THE END. SANITARY SEWER SERVICE ENDS SHALL BE TERMINATED IN A CAPPED WYE WITH THE VERTICAL PIPE EXTENDED TO 36" ABOVE FINAL GRADE, MARKED WITH A 2X4. THE CAPPED WYE AND VERTICAL RISER SHALL BE PLACED TEN FEET INSIDE THE PROPERTY LINE.



STORM DRAIN NOTES:

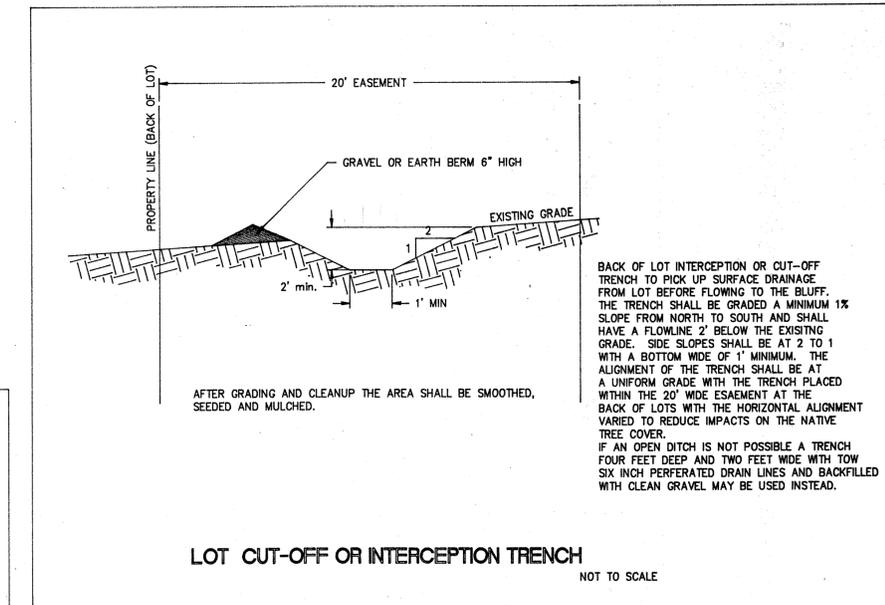
STORM SEWER PIPES AND FITTINGS SHALL CONFORM TO THE WSDOT STANDARD SPECIFICATIONS SECTION 9-05. STORM PIPES 8" TO 12" IN DIAMETER MAY BE PVC SEWER PIPE MEETING WSDOT 9-05.12; FOR 12" TO 24" DIAMETER PIPE SHOULD BE DOUBLE WALLED SMOOTH INTERIOR MEETING WSDOT 9-05.2(8); FOR 30" TO 48" DIAMETER STORM PIPE REINFORCED CONCRETE PIPE MEETING WSDOT 9-05.7

EACH LOTS SHALL HAVE DRAINAGE CONNECTS AS SHOWN ON THE PLANS. LOTS ON THE WEST SIDE OF THE PLAT SHALL HAVE A SLOPE INTERCEPTION SWALE CONSTRUCTED AS SHOWN ON THE PLANS NECESSARY TO PROVIDE POSITIVE DRAINAGE FOR LOTS.

STORM WATER INLETS, CATCH BASIN AND MANHOLES CONFORMING TO WSDOT STANDARD SPECIFICATIONS 9-05 AND THE WSDOT STANDARD PLANS:

INLETS	B-26	PIPES 8" TO 12"
CATCHBASINS	B-1A	PIPES 24" TYPE 1L IF LESS THAN 5' DEEP
MANHOLES\CATCHBASINS	B-1E	PIPES 24" TYPE 2 48" DIAMETER
MANHOLES\CATCHBASINS	B-1E	PIPES 30" TYPE 2 54" DIAMETER
MANHOLES\CATCHBASINS	B-1E	PIPES 36" & 48" TYPE 2 72" DIAMETER

CONCRETE STRUCTURES SHALL BE CLASS 4000 OF CONCRETE AND MATERIAL CONFORM TO WSDOT SECTION 6-02.2.



STREET SIGN STANDARDS:

1. ALL SIGNS MUST CONFORM TO M.U.T.C.D SPECIFICATIONS
2. ALL SIGNS SHALL BE DIAMOND GRADE (HIGH DENSITY MAY BE ALLOWED AT THE DISCRETION OF THE ENGINEER.)
3. ALL STOP SIGNS MUST BE 30" WIDE AND 30" HIGH.
4. STREET NAME SIGNS MUST HAVE 6" CAPITAL LETTERS.
5. STREET NAME SIGNS MUST HAVE TOP CAP BRACKETS ON THE POST AND THE SIGN CENTERED IN THE BRACKET.
6. STREET NAME SIGNS MUST BE EXTRUDED BLADES.
7. POSTS MUST BE 2" INSIDE DIAMETER SCHEDULE 40 GALVANIZED PIPE.
8. POSTS MUST BE CEMENTED IN CONCRETE INTO A 30" DEEP X 12" DIAMETER HOLE.



APPROVED FOR CONSTRUCTION  
*Fred Buckenmeyer* 3497  
FRED BUCKENMEYER, P.L.S. DATE  
ASST. CITY ENGINEER  
APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE

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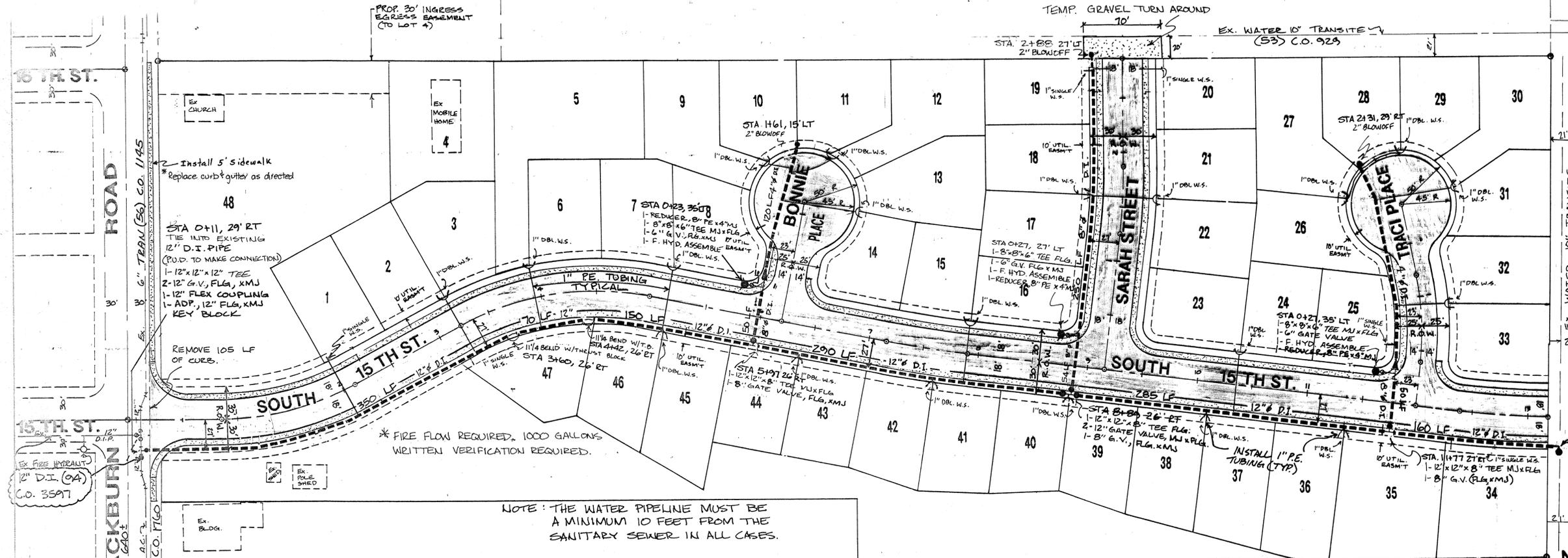
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**BLACKBURN PROPERTIES, INC.**  
MT. VERNON, WASHINGTON

**BLACKBURN RIDGE**  
IMPROVEMENT PLANS  
GENERAL CONSTRUCTION NOTES

RTJ-94111

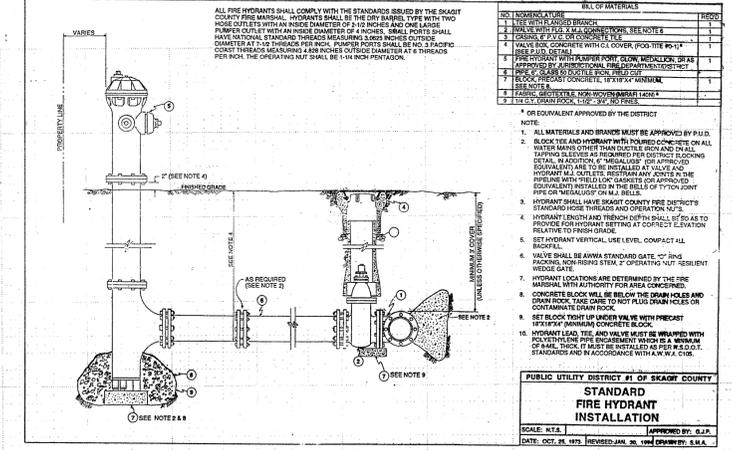
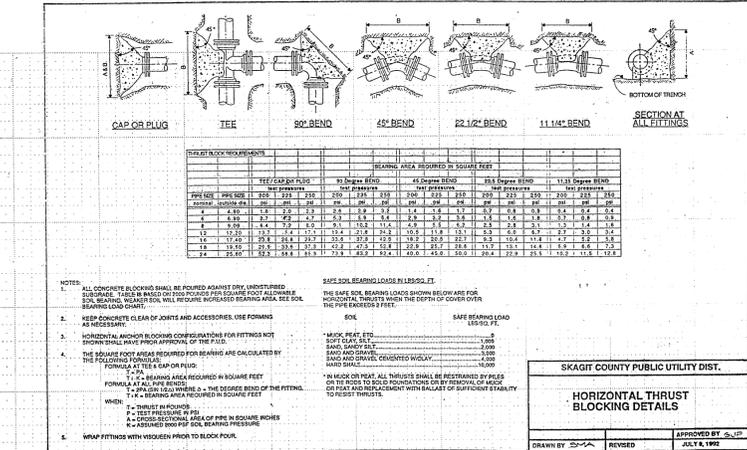
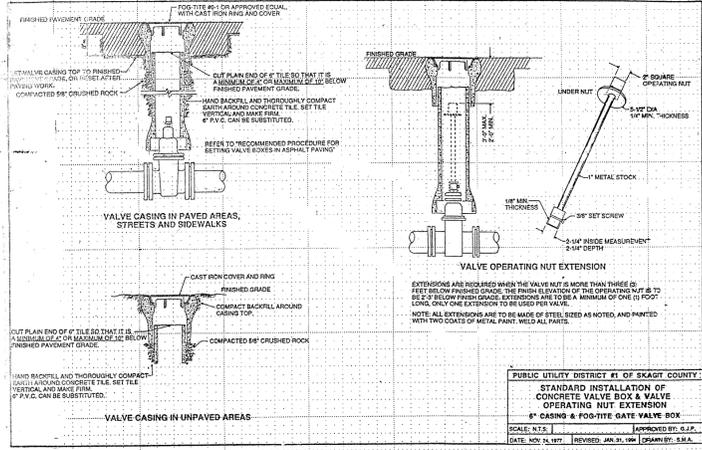
WATER SYSTEM SUB 34-2 4/1/20  
BLACKBURN RIDGE



- GENERAL NOTES
- STANDARD SPECIFICATIONS TO BE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION 1994 STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, AND APWA CURRENT STANDARDS AND THE SKAGIT PUD REQUIREMENTS AS OUTLINED IN RESOLUTION NO. 1626-94.
  - CONTRACTOR SHALL NOTIFY AND COORDINATE WITH SKAGIT PUD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOT OPERATE ANY VALVES WITHOUT APPROVAL AND COORDINATION WITH SKAGIT PUD.
  - ALL MATERIALS ARE TO BE APPROVED BY SKAGIT PUD PRIOR TO CONSTRUCTION.
  - DUCTILE IRON PIPE TO BE CLASS 50 ANSI/AWWA C151/A21.51. ALL JOINTS TO BE RUBBER GASKETS WITH PUSH-ON TYPE OR MECHANICAL JOINT MEETING AWWA SPECIFICATIONS.
  - ALL VALVES TO BE RESILIENT WEDGE GATE VALVES.
  - ALL FIRE HYDRANTS TO BE GLOW MEDALLION FIRE HYDRANTS AND INSTALLED AS PER DETAILS ON THE PLANS.
  - ALL WATER INSTALLATIONS REQUIRE 1/2" MINIMUM COVER TO ANTICIPATED FINISH GRADE.
  - MINIMUM 1 FOOT VERTICAL CLEARANCE BETWEEN WATERLINE AND ALL OTHER UTILITIES.
  - BEDDING MATERIALS FOR THE DUCTILE IRON PIPE MAY BE SELECTED NATIVE GRANULAR MATERIAL FREE FROM WOOD WASTE, ORGANIC MATERIAL, OR OTHER EXTRANEIOUS OR OBJECTIONABLE MATERIALS AND AS PER W.S.D.O.T. STANDARDS.
  - PEA GRAVEL - LOT PORTABLE FOR BEDDING MATERIAL. BACKFILL TRENCH IN PAVEMENT AREAS WITH PIT-RUN GRAVEL COMPACTED IN 3" FOOT LIFTS.
  - CONDUIT THROTTLE BLOCKING FOR ALL FITTINGS TO BE AS PER DETAILS AS SHOWN ON THE PLANS.
  - CONTRACTOR WILL INSTALL THE SERVICE TAP AND SERVICE CROSSING. THE SERVICE LINE WILL BE 200 P.S.I., 1/2" POLYETHYLENE TUBING IF 5/8" BAY BY 3/4" BAY METER IS INSTALLED. ALSO INSTALL COPPER TRACER WIRE AS PER SKAGIT PUD RESOLUTION NO. 1626-94. TUBING MUST EXTEND 3 TO 4 FEET ABOVE THE GROUND AND BE ATTACHED TO A SUPPORT POST 1/2" BAY BY 3/4" BAY OR METAL T-FENCE POST.
  - FOR OTHER MATERIALS NEEDED FOR THE SERVICE LINES, SEE SKAGIT PUD DETAIL.
  - PRESSURE TEST NEW PIPELINE, INCLUDING SERVICE LINES, AT 240 P.S.I. AND AS PER W.S.D.O.T. STANDARDS.
- TEST DATE: \_\_\_\_\_ TEST PRESSURE: \_\_\_\_\_  
 TIME START: \_\_\_\_\_ TIME END: \_\_\_\_\_  
 PRESURE DROP: \_\_\_\_\_ MAKE UP WATER: \_\_\_\_\_
- BLOCK ALL FITTINGS WITH POLURED CONCRETE ACCORDING TO THE SKAGIT PUD STANDARD DETAIL.
  - PLACE BOUNCES OF HI-TEST HYPO-CHLORITE GRANULES, IN THIS PIPELINE FOR EVERY 100 FEET OF EACH PIPE. AFTER LETTING IT SOAK A MINIMUM OF 24 HOURS, USE DECONTAMINATION EQUIPMENT WHEN FLUSHING OR FLUSH INTO SANITARY SEWER MANHOLES. DO NOT FLUSH INTO, OR ALLOW TO DRAIN IN, ANY CREEKS OR SURROUNDING CATCH BASINS.
  - CONDUCT HI-TEST SHUTDOWNS, FLUSHING, AND HEALTH SAMPLES WITH SKAGIT PUD INSPECTORS.
  - A PRE CONSTRUCTION CONFERENCE MUST BE SCHEDULED BY THE PRIVATE CONTRACTOR WITH THE DISTRICT'S CHIEF INSPECTOR, JERRY LANGE, PRIOR TO CONSTRUCTION.
  - ALL DUCTILE IRON WATER PIPELINE ON THIS PROJECT MUST BE APPROVED BY THE DISTRICT'S CHIEF INSPECTOR, JERRY LANGE, PRIOR TO CONSTRUCTION.

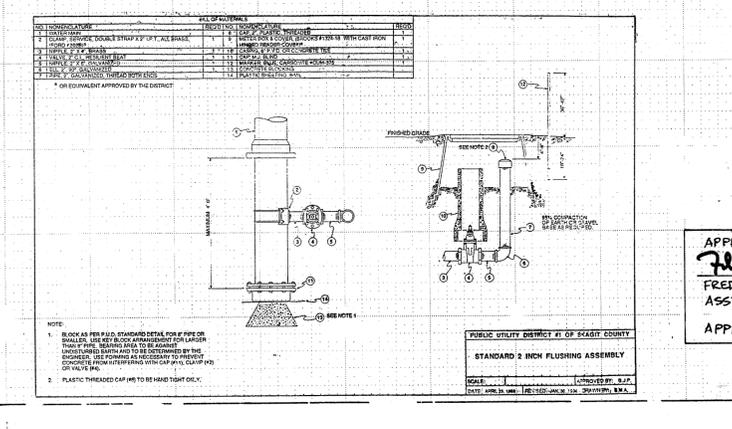
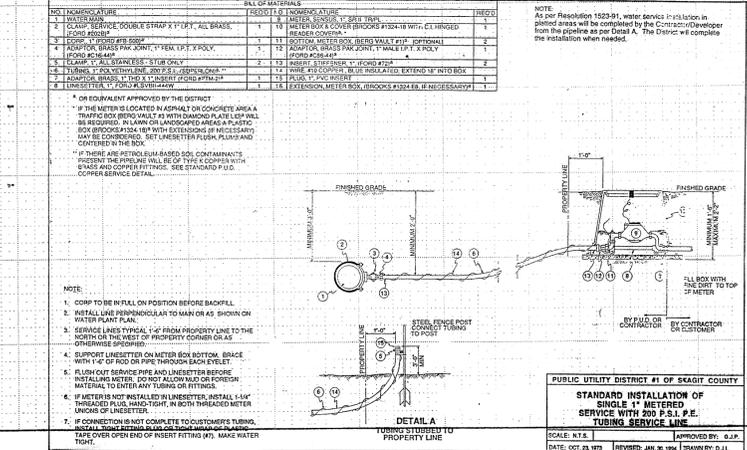
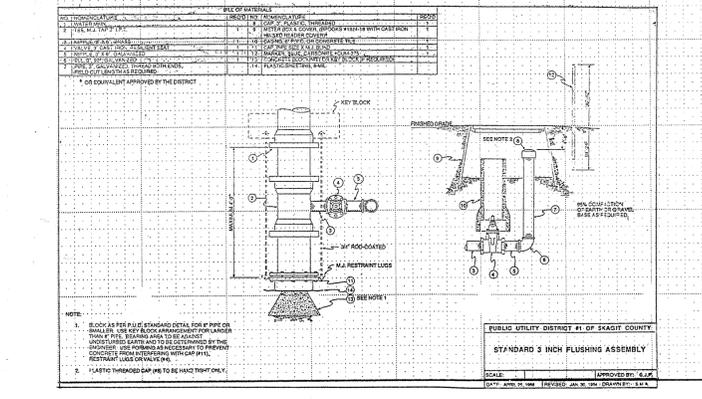
\* FIRE FLOW REQUIRED, 1000 GALLONS  
WRITTEN VERIFICATION REQUIRED.

NOTE: THE WATER PIPELINE MUST BE A MINIMUM 10 FEET FROM THE SANITARY SEWER IN ALL CASES.



- SKAGIT P.U.D. GENERAL NOTES:
- THE UTILITY LOCATIONS MARKED ON THIS MAP ARE APPROXIMATE. THE CONTRACTOR IS TO VERIFY ACTUAL LOCATION AND DEPTH, PRIOR TO CONSTRUCTION.
  - WHEN INSTALLING WATER PIPELINE ACROSS EXISTING OR PROPOSED SANITARY SEWER, A FULL LENGTH OF PIPE SHOULD BE INSTALLED WITH MIDSPAN OF PIPE OVER THE SEWER.
  - ANY PERMITS OR OTHER REQUIREMENTS THAT WILL BE NEEDED TO DO THIS PROJECT WILL BE THE RESPONSIBILITY OF THE DEVELOPER.
  - AFTER THE SKAGIT P.U.D. TIE-IN WORK TO THE EXISTING WATERLINE, THE PRIVATE CONTRACTOR IS TO BACKFILL THE TRENCH AND MAKE ALL NECESSARY ASPHALT REPAIR.

- GENERAL NOTES
- WATER PRESSURE TESTING TO 240 PSI PER W.S.D.O.T. STD'S
  - HYDRANT SHALL BE "MEDALLION" BRAND
  - WATER PIPE SHALL BE WRAPPED.
  - STUBS MAY BE POLYETHYLENE 200 PSI RATED. NEED TRACER WIRE.
  - 48" MAX COVER OVER PIPE.

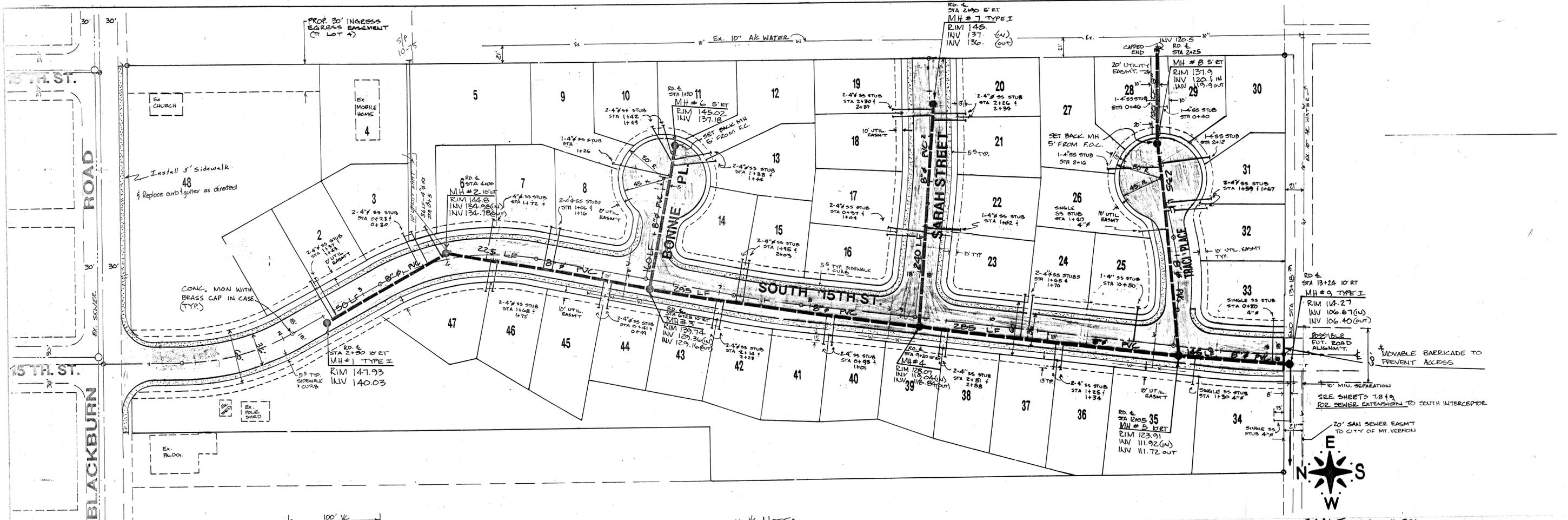


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**R.B. BUCKLEMEYER, P.L.S.**  
 ASST. CITY ENGINEER  
 APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE

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 DATE

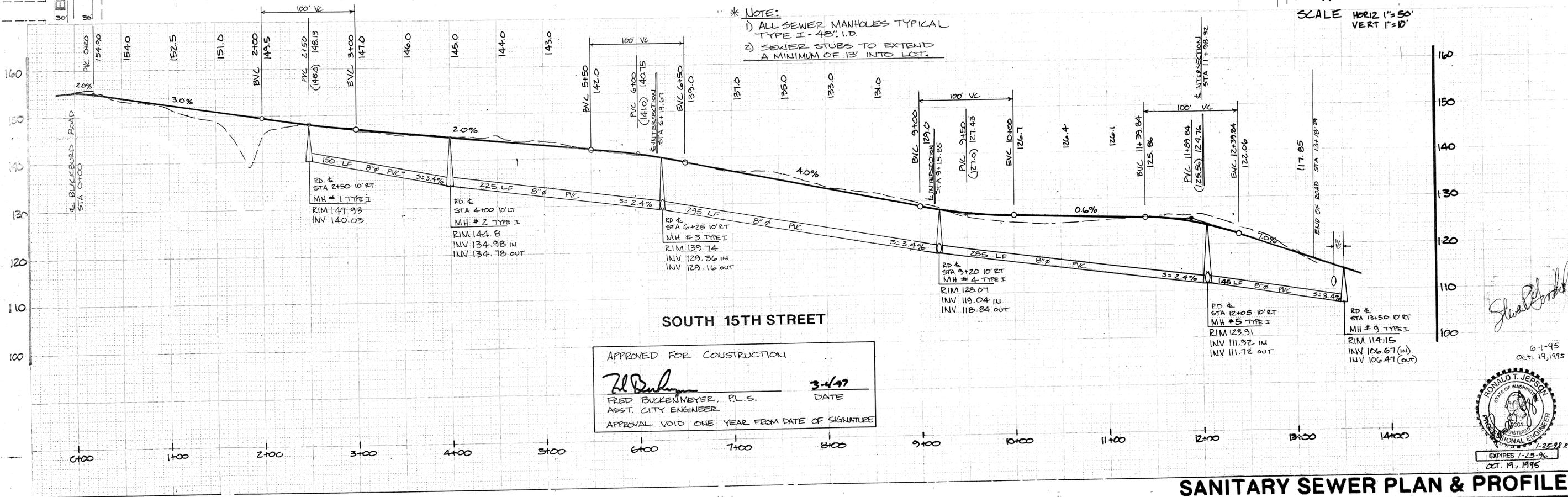
APPROVED BY: **R.T.J.**  
 DATE: OCT. 18, 1995

EXPIRES 7-25-96  
 OCT. 19, 1995



\* NOTE:  
 1) ALL SEWER MANHOLES TYPICAL TYPE I - 48" I.D.  
 2) SEWER STUBS TO EXTEND A MINIMUM OF 13' INTO LOT.

SCALE HORIZ 1"=50'  
 VERT 1"=10'



APPROVED FOR CONSTRUCTION  
*Fred Buckenmeyer* 3-4-97  
 FRED BUCKENMEYER, P.L.S. ASST. CITY ENGINEER  
 APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE

6-1-95  
 Oct. 19, 1995  
 RONALD T. JEPSON  
 REGISTERED PROFESSIONAL ENGINEER  
 EXPIRES 1-25-96  
 OCT. 19, 1995

**SANITARY SEWER PLAN & PROFILE**

**RONALD T. JEPSON & ASSOC.** REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS 222 GRAND AVE., SUITE C / BELLINGHAM, WA 98225 / (206) 733-5760

CLIENT: BLACKBURN PROPERTIES INC.

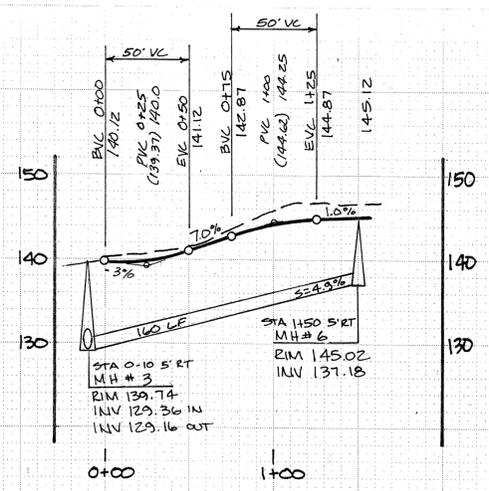
BLACKBURN RIDGE

SCALE 1"=50' DATE 1-05  
 DRAWN BY: J.B.  
 CHECKED BY: B.T.  
 APPROVED: R.T.J.

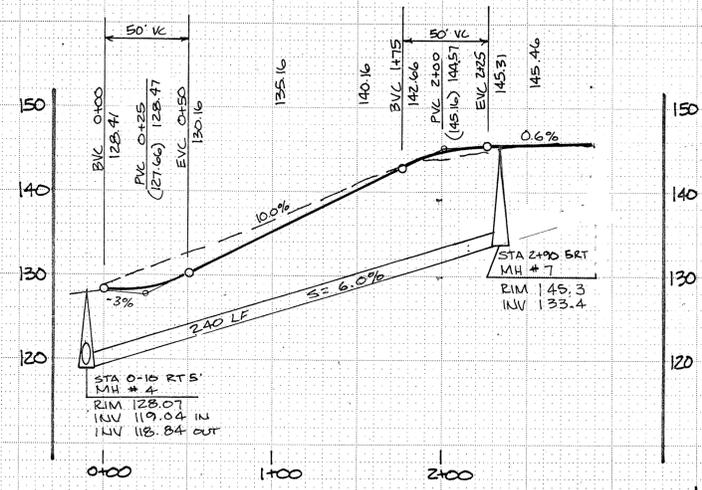
REVISIONS

JOB NO. 94111

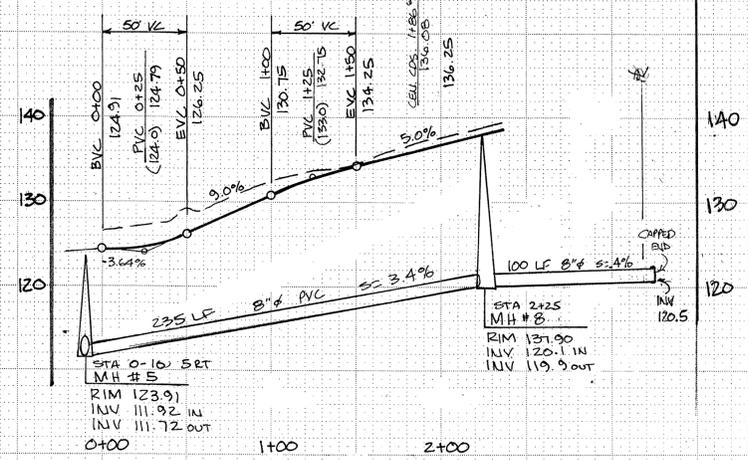
SANITARY SUB 94-2  
BLACKBURN RIDGE 6/20



BONNIE PLACE



SARAH STREET



TRACI PLACE

APPROVED FOR CONSTRUCTION

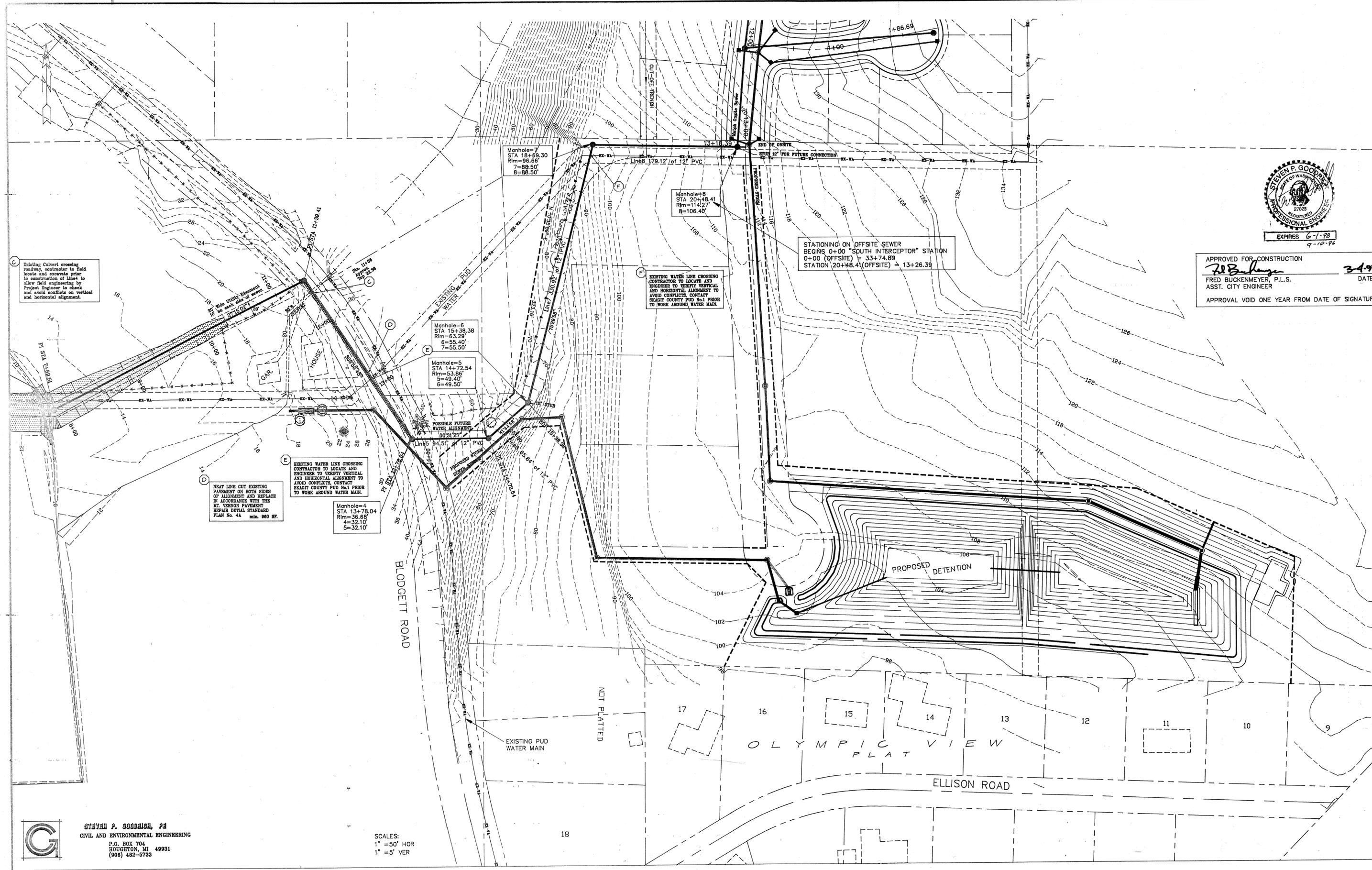
*Fred Buckelmyer* 3-4-97  
 FRED BUCKELMEYER, P.L.S. DATE  
 ASST. CITY ENGINEER

APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE

*Stuart Smith*  
 6-1-96  
 Oct 19, 1995



OFFSITE SANITARY SUB 9A-2  
BLACKBURN RIDGE



APPROVED FOR CONSTRUCTION  
*Fred Buckenmeyer*  
 FRED BUCKENMEYER, P.L.S. DATE 3-1-97  
 ASST. CITY ENGINEER  
 APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE

Existing Culvert crossing roadway, contractor to field locate and excavate prior to construction of line to allow field engineering by Project Engineer to check and avoid conflicts on vertical and horizontal alignment.

WIDE TURN Alignment 27' 6.02' 1' 30"

EXISTING WATER LINE CROSSING CONTRACTOR TO LOCATE AND ENGINEER TO VERIFY VERTICAL AND HORIZONTAL ALIGNMENT TO AVOID CONFLICTS. CONTACT SKAGIT COUNTY PUD No.1 PRIOR TO WORK AROUND WATER MAIN.

EXISTING WATER LINE CROSSING CONTRACTOR TO LOCATE AND ENGINEER TO VERIFY VERTICAL AND HORIZONTAL ALIGNMENT TO AVOID CONFLICTS. CONTACT SKAGIT COUNTY PUD No.1 PRIOR TO WORK AROUND WATER MAIN.

GRAVEL LINE CUT EXISTING PAVEMENT ON BOTH SIDES OF ALIGNMENT AND REPLACE IN ACCORDANCE WITH THE MT. VERNON PAVEMENT REPAIR DETAIL STANDARD PLAN No. 4A min. 900 SF.

Manhole=4  
 STA 13+78.04  
 Rim=36.65  
 4=32.10  
 5=32.10

Manhole=6  
 STA 15+38.38  
 Rim=63.29  
 6=55.40  
 7=55.50

Manhole=5  
 STA 14+72.54  
 Rim=53.86  
 5=49.40  
 6=49.50

Manhole=8  
 STA 20+48.41  
 Rim=114.27  
 8=106.40

STATIONING ON OFFSITE SEWER BEGINS 0+00 "SOUTH INTERCEPTOR" STATION  
 0+00 (OFFSITE) = 33+74.89  
 STATION 20+48.4 (OFFSITE) = 13+26.39



STEVEN P. GOODRICH, PE  
 CIVIL AND ENVIRONMENTAL ENGINEERING  
 P.O. BOX 704  
 HOUGHTON, MI 49931  
 (906) 482-5733

SCALES:  
 1" = 50' HOR  
 1" = 5' VER

**RONALD T. JEPSON & ASSOC.**  
 REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS  
 222 GRAND, BELLINGHAM, WASHINGTON 98225

SCALE 1"=50'  
 DRAWN BY SPG  
 CHECKED BY  
 APPROVED BY  
 DATE 8/12/95

REVISION  
 8-27-96  
 2  
 3

CLIENT:  
**BLACKBURN PROPERTIES, INC.**  
 MT. VERNON, WASHINGTON

**BLACKBURN RIDGE IMPROVEMENT PLANS**  
 OFFSITE SANITARY SEWER  
 PLAN 13+78.00 TO 20+48.37

RTJ-94111

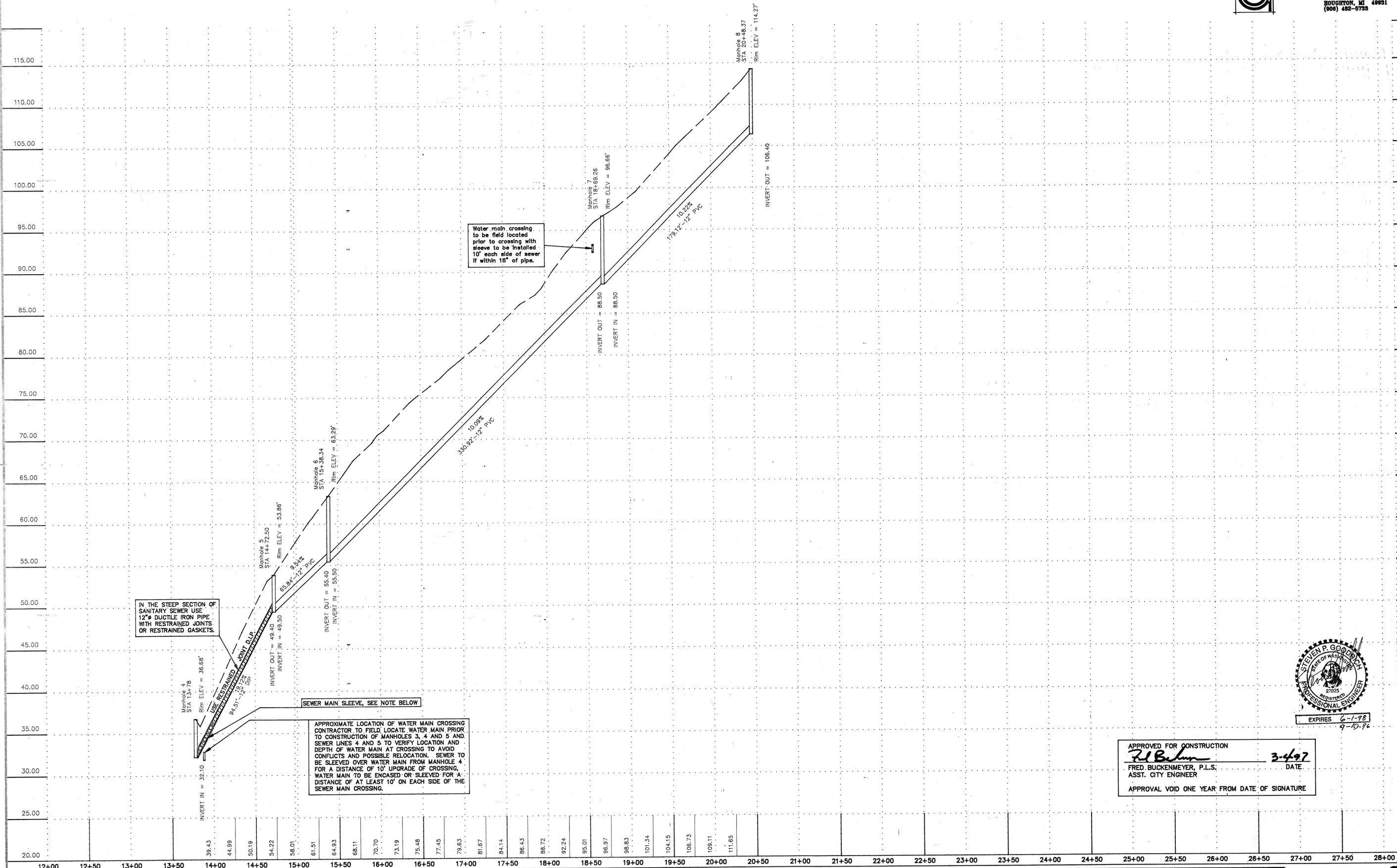
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STEVEN P. GOODRICH, P.E.  
 CIVIL AND ENVIRONMENTAL ENGINEERING  
 P.O. BOX 704  
 HOUGHTON, MI 49931  
 (616) 482-5735

OFFSITE SANITARY SUB 94-2  
 BLACKBURN RIDGE



IN THE STEEP SECTION OF SANITARY SEWER USE 12\"/>

Water main crossing to be field located prior to crossing with sleeve to be installed 10' each side of sewer if within 15' of pipe.

SEWER MAIN SLEEVE, SEE NOTE BELOW

APPROXIMATE LOCATION OF WATER MAIN CROSSING CONTRACTOR TO FIELD LOCATE WATER MAIN PRIOR TO CONSTRUCTION OF MANHOLES 3, 4 AND 5 AND SEWER LINES 4 AND 5 TO VERIFY LOCATION AND DEPTH OF WATER MAIN AT CROSSING TO AVOID CONFLICTS AND POSSIBLE RELOCATION. SEWER TO BE SLEEVED OVER WATER MAIN FROM MANHOLE 4 FOR A DISTANCE OF 10' UPGRADE OF CROSSING. WATER MAIN TO BE EASED OR SLEEVED FOR A DISTANCE OF AT LEAST 10' ON EACH SIDE OF THE SEWER MAIN CROSSING.



APPROVED FOR CONSTRUCTION  
*Fred Buckenmeyer* 3-4-97  
 FRED BUCKENMEYER, P.L.S. DATE  
 ASST. CITY ENGINEER  
 APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE

**RONALD T. JEPSON & ASSOC.**  
 REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS 222 GRAND, BELLINGHAM, WASHINGTON 98225

SCALE	1"=50'
DRAWN BY	SPG
CHECKED BY	
APPROVED BY	
DATE	8/12/95

REVISION	
1	8-27-96 SPG
2	
3	

CLIENT:  
 BLACKBURN PROPERTIES, INC.  
 MT. VERNON, WASHINGTON

BLACKBURN RIDGE IMPROVEMENT PLANS  
 OFFSITE SANITARY SEWER  
 PROFILE 13+78.04 TO 20+48.77

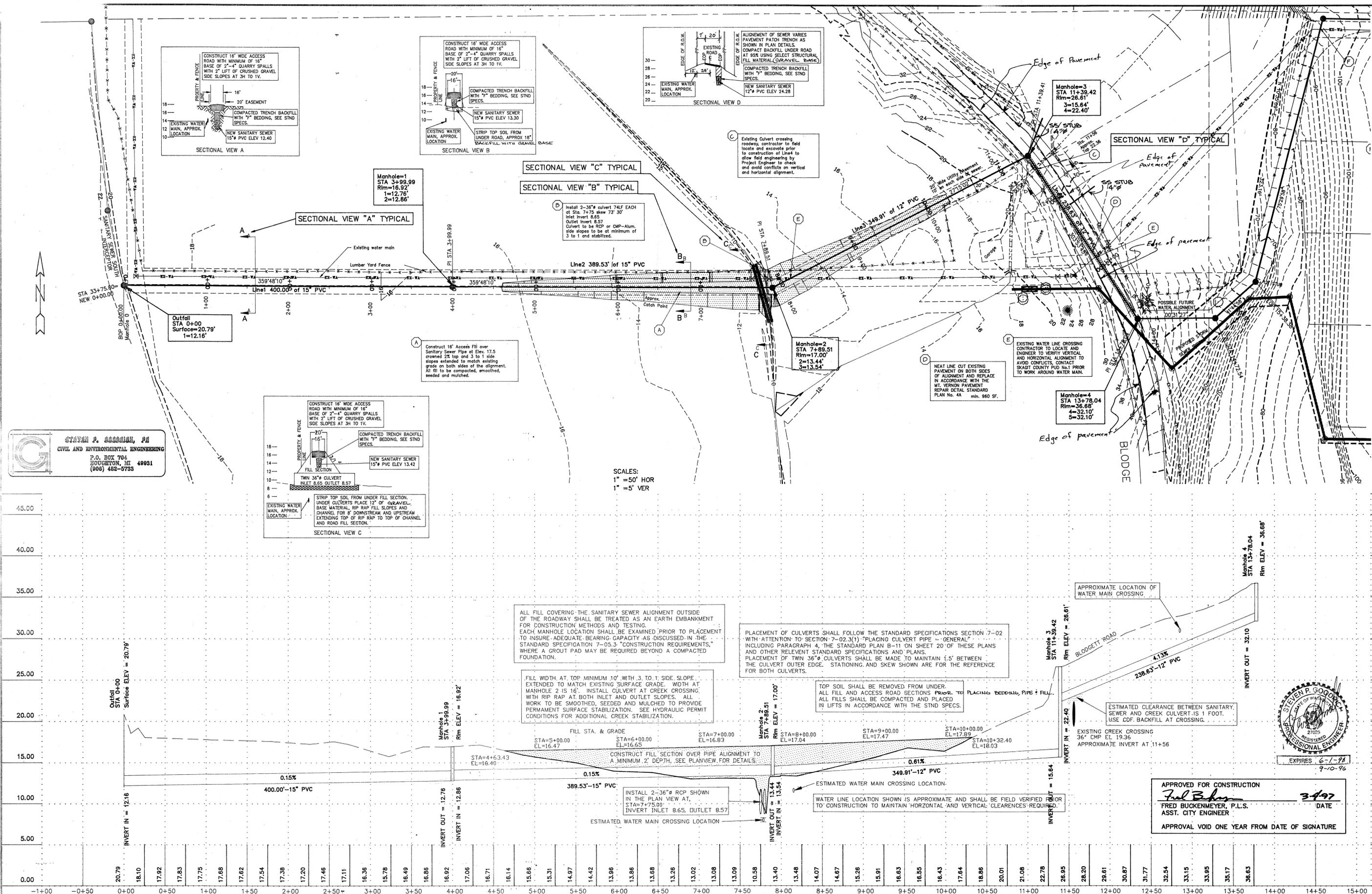
RTJ-94111

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OFFSITE SANITARY SUB 94.2  
BLACKBURN RIDGE

**STEVEN F. GOODRICH, P.E.**  
CIVIL AND ENVIRONMENTAL ENGINEERING  
P.O. BOX 704  
BOUGRETON, MT 49631  
(900) 482-5733



ALL FILL COVERING THE SANITARY SEWER ALIGNMENT OUTSIDE OF THE ROADWAY SHALL BE TREATED AS AN EARTH EMBANKMENT FOR CONSTRUCTION METHODS AND TESTING. EACH MANHOLE LOCATION SHALL BE EXAMINED PRIOR TO PLACEMENT TO INSURE ADEQUATE BEARING CAPACITY AS DISCUSSED IN THE STANDARD SPECIFICATION 7-09.3 "CONSTRUCTION REQUIREMENTS," WHERE A GROUT PAD MAY BE REQUIRED BEYOND A COMPACTED FOUNDATION.

FILL WIDTH AT TOP MINIMUM 10' WITH 3 TO 1 SIDE SLOPE EXTENDED TO MATCH EXISTING SURFACE GRADE. WIDTH AT MANHOLE 2 IS 16'. INSTALL CULVERT AT CREEK CROSSING WITH RIP RAP AT BOTH INLET AND OUTLET SLOPES. ALL WORK TO BE SMOOTHED, SEEDED AND MULCHED TO PROVIDE PERMANENT SURFACE STABILIZATION. SEE HYDRAULIC PERMIT CONDITIONS FOR ADDITIONAL CREEK STABILIZATION.

PLACEMENT OF CULVERTS SHALL FOLLOW THE STANDARD SPECIFICATIONS SECTION 7-02 WITH ATTENTION TO SECTION 7-02.3(1) "PLACING CULVERT PIPE - GENERAL" INCLUDING PARAGRAPH 4, THE STANDARD PLAN B-11 ON SHEET 20' OF THESE PLANS AND OTHER RELEVANT STANDARD SPECIFICATIONS AND PLANS. PLACEMENT OF TWIN 36" CULVERTS SHALL BE MADE TO MAINTAIN 1.5' BETWEEN THE CULVERT OUTER EDGE. STATIONING AND SKEW SHOWN ARE FOR THE REFERENCE FOR BOTH CULVERTS.

TOP SOIL SHALL BE REMOVED FROM UNDER ALL FILL AND ACCESS ROAD SECTIONS PRIOR TO PLACING BEDDING PIPE + FILL. ALL FILLS SHALL BE COMPACTED AND PLACED IN LIFTS IN ACCORDANCE WITH THE STD SPECS.

ESTIMATED CLEARANCE BETWEEN SANITARY SEWER AND CREEK CULVERT IS 1 FOOT. USE CDF BACKFILL AT CROSSING.

APPROVED FOR CONSTRUCTION  
*Fred Bukkenmeyer*  
FRED BUKKENMEYER, P.L.S.  
ASST. CITY ENGINEER  
DATE 3/97  
APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE



**RONALD T. JEPSON & ASSOC.**  
REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS  
222 GRAND, BELLINGHAM, WASHINGTON 98225

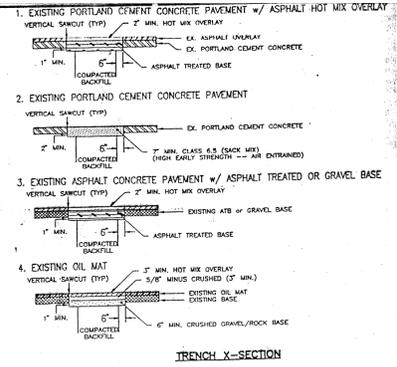
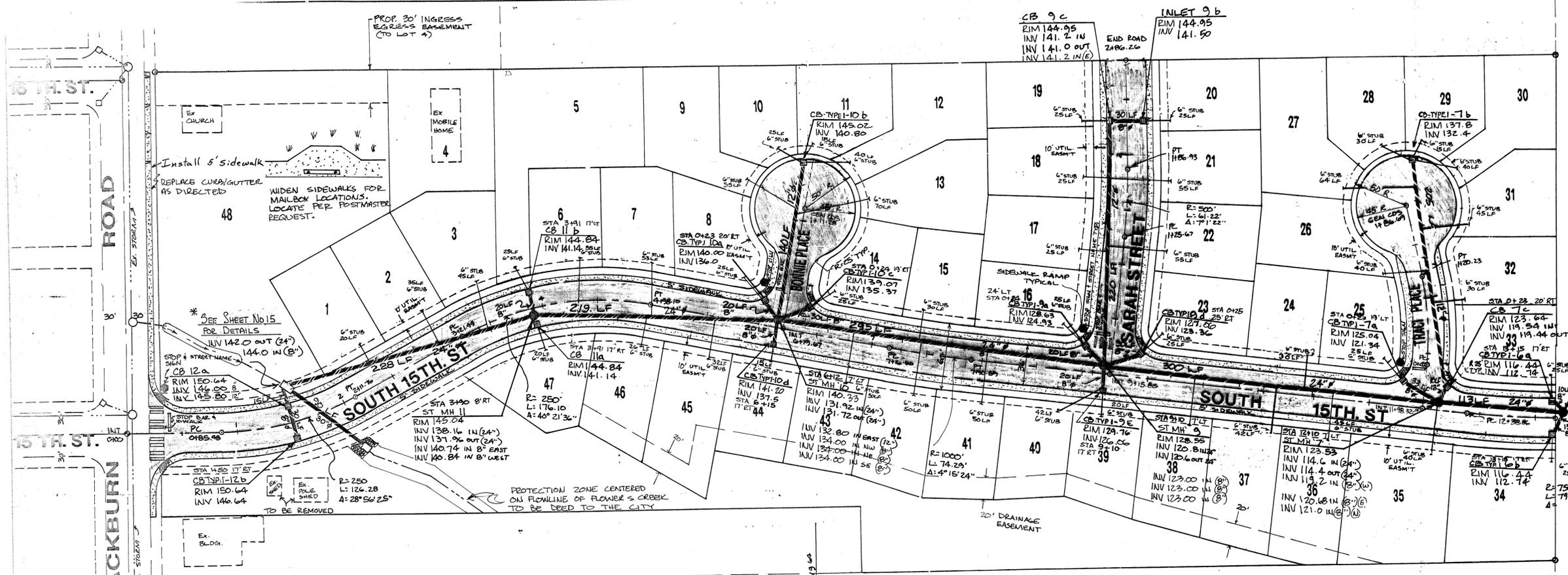
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DRAWN BY SPG  
CHECKED BY  
APPROVED BY  
DATE 12/8/95

REVISION  
9-9-96 S.P.G.  
2  
3

CLIENT  
BLACKBURN PROPERTIES, INC.  
MT. VERNON, WASHINGTON

BLACKBURN RIDGE IMPROVEMENT PLANS  
OFFSITE SANITARY SEWER  
PLAN & PROFILE 0+00 TO 13+78.04

RTJ-94111  
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NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MOUNT VERNON'S "RIGHT-OF-WAY" CONSTRUCTION POLICY.
- FOR PAVEMENT OVERLAY NO. 1 AND NO. 2, TACK ALL EDGES AND ASPHALT TREATED BASE SURFACE BEFORE HOT MIX PAVING AND SEAL ALL JOINTS WITH HOT TACK BETWEEN EXISTING AND NEW PAVEMENT AFTER ROLLING.
- FOR PAVEMENT OVERLAY NO. 4, TACK ALL EDGES BEFORE PLACING HOT MIX PAVEMENT AND SEAL ALL JOINTS TACK IMMEDIATELY AFTER ROLLING IS FINISHED.
- HOT MIX MAY BE SUBSTITUTED FOR ATE.
- COMPACT ALL BACKFILL TO 95%.

BACKFILL REQUIREMENTS:

STEEL BRASSINGS, STEEL AND BELL HOLES, BACKFILL WITH:

- 1-1/2" MINUS CRUSHED ROCK
- 5/8" MINUS CRUSHED GRAVEL
- BUCKET SAND w/ 8" MAXIMUM CRUSHED TOP COURSE
- SERVICE LINE IN ALLEY, BASE, BACKFILL WITH
- MINIMUM 1/2" UNIFORM CRUSHED ROCK/GRAVEL TOPPING
- MINIMUM 1/2" DEVELOPMENTS BACKFILL WITH
- PIPE RUN w/ 3" UNIFORM CRUSHED ROCK/GRAVEL BACKFILL

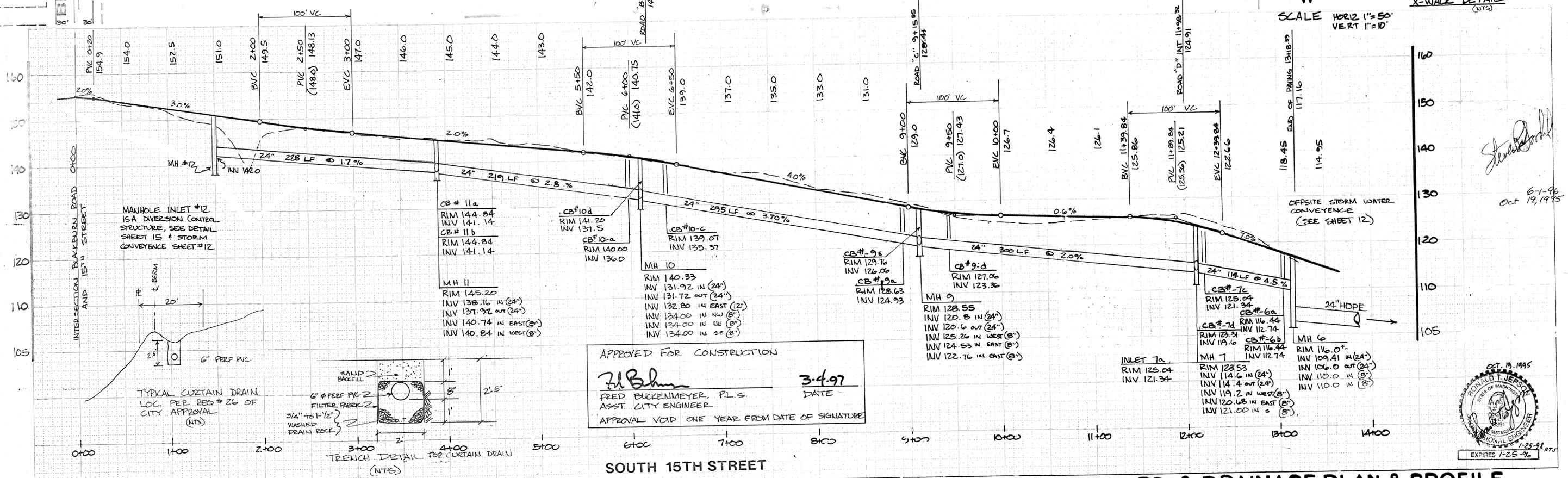
CONTRACTORS HAVE THE OPTION OF USING CONTROLLED SOURCE SAND INSTEAD OF CRUSHED ROCK. THESE REGULATIONS WILL APPLY TO ALL WORK COST EFFECTIVE THAN HAVING TO PURCHASE TO EXIST.

PAVEMENT REPAIR

CONTRACTORS SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN.



SCALE HORIZ 1"=50'  
VERT 1"=10'



APPROVED FOR CONSTRUCTION

*Fred Buckenmeyer* 3-4-97 DATE

FRED BUCKENMEYER, P.L.S.  
ASST. CITY ENGINEER

APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE



**RONALD T. JEPSON & ASSOC.**  
REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS 222 GRAND AVE., SUITE C / BELLINGHAM, WA 98225 / (206) 733-5760

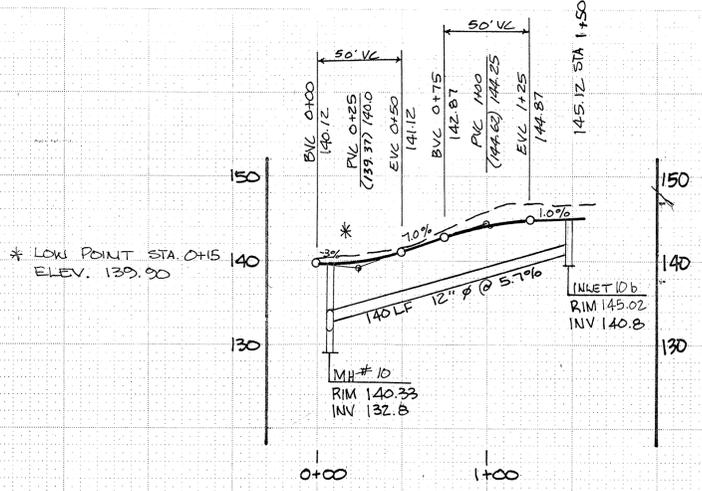
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DRAWN BY J.B.  
CHECKED BY B.Y.  
APPROVED R.T.J.

CLIENT: BLACKBURN PROPERTIES INC.

BLACKBURN RIDGE

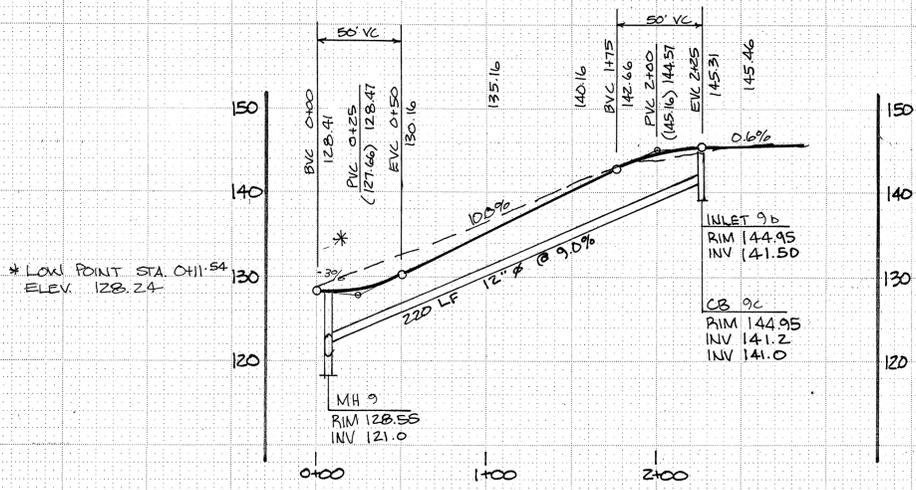
JOB NO. 94111

RD & DRAINAGE PROFILE (SUB-GRADE) BLACKBURN RIDGE

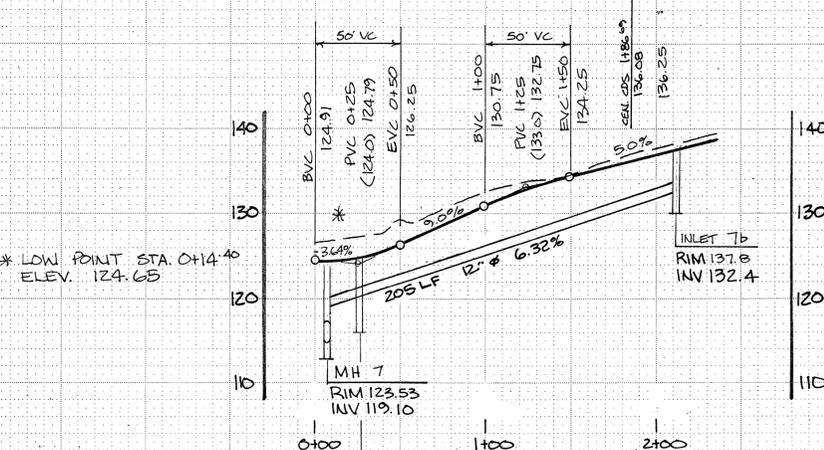


**BONNIE PLACE**

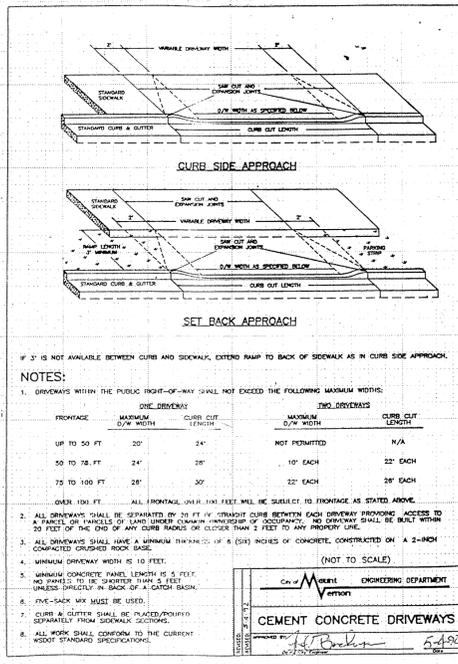
**\* NOTE**  
ALL CATCH BASINS AND INLETS AT INTERSECTION CURB RETURNS SHALL BE LOCATED AT LOW SPOT CREATED BY INTERSECTING CURB GRADES, AND SHALL HAVE THRU-CURB GRATES.



**SARAH STREET**



**TRACI PLACE**



**CITY OF MOUNT VERNON STREET STRIPING AND SIGN STANDARDS**

**ALL SIGNS**  
SHALL CONFORM TO THE CURRENT M.U.T.C.D. SPECIFICATIONS  
SHALL HAVE DIAMOND GRADE ON ALDINE TREATED ALUMINUM SIGN BLANKS WITH ALLOY AND THICKNESS TO MEET M.S.D.O.T. SPECIFICATIONS (HIGH INTENSITY GRADE MAY BE ALLOWED AT THE CITY ENGINEER'S DISCRETION)

**ALL POSTS**  
2-INCH INSIDE DIAMETER  
SCHEDULE 40 GALVANIZED PIPE  
ANCHORED IN CEMENT CONCRETE IN A 12-INCH DIAMETER HOLE 30-INCHES DEEP

**STOP SIGNS**  
3M DIAMOND BACKGROUND AND LETTERING, OR EQUAL  
30-INCHES WIDE AND 30-INCHES HIGH

**STREET NAME SIGNS**  
EXTRUDED BLADES 9-INCHES WIDE  
SIGN CENTERED ON POST ATTACHED WITH TOP BRACKETS  
ALL LETTERS SHALL BE 6-INCHES AND CAPITALIZED  
LETTERING ON BOTH SIDES OF BLADES  
3M DIAMOND BACKGROUND AND LETTERING, OR EQUAL  
EXAMPLE OF LETTERING FORMAT: S. 20TH ST.  
GREEN BACKGROUND FOR PUBLIC STREETS -OR- YELLOW BACKGROUND FOR PRIVATE STREETS

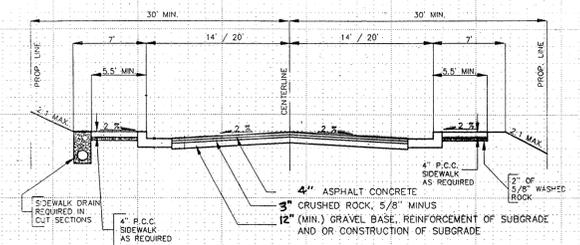
**STOP BAR**  
3M STAMARK INTERSECTION GRADE, TAPE SERIES 420, OR EQUAL PRESSED INTO ASPHALT CONCRETE

**STRIPING**  
GLASS BEAD IMPREGNATED PAINT

**SPECIFICATIONS FOR TESTING ASPHALT**

- Prior to placement of pavement, the City shall make a determination of sub-grade acceptance based on test results and the observations of a firm and unyielding surface. The City shall also establish test area boundaries. The contractor shall supply the City with a mix design including values for the theoretical maximum density of the asphalt being used on the project.
- Specification for minimum allowable density for asphalt is 92% of the theoretical maximum density as determined by AASHTO test method T 209.
- The point of acceptance is when the asphalt reaches 175 degrees F.
- When the contractor indicates that the pavement is ready for acceptance or it reaches 175 degrees F, whichever is sooner, the City shall take/supervise 5 nuclear densometer readings at random locations within every test area. A test area shall not exceed 300 tons of asphalt, however, smaller areas may be determined, such as cul-de-sacs may be singled out as a test area or individual streets within a street network may be singled out as test areas, even though these areas would be less than 300 tons.
- The results of the densometer readings for each test area shall be evaluated and the average applied to the entire test area. If the average is below minimum, the owner may request core tests to be taken at his expense and at locations determined by City personnel, within 24 hours of the final paving of the test area. Five core tests shall be taken for each test area and the results evaluated and the average applied to the whole test area.
- If the pavement is below minimum compaction subsequent to the final testing procedures, the owner may increase depth of the final lift of asphalt as directed by the City Engineer, or provide payment to the City as directed by the City Engineer.
- All isolated areas within test areas that fall below 88.0% shall be subject to extensive testing and subsequent removal of the asphalt, unless otherwise directed by the City Engineer.
- The use of a correction factor to correct density readings obtained from the nuclear densometer, is acceptable upon authorization by the City Engineer in the following instances: 1) first lift overlays on existing pavement; 2) first course over granular material.

June 1, 1994  
Fred Buckenmeyer, Assistant City Engineer



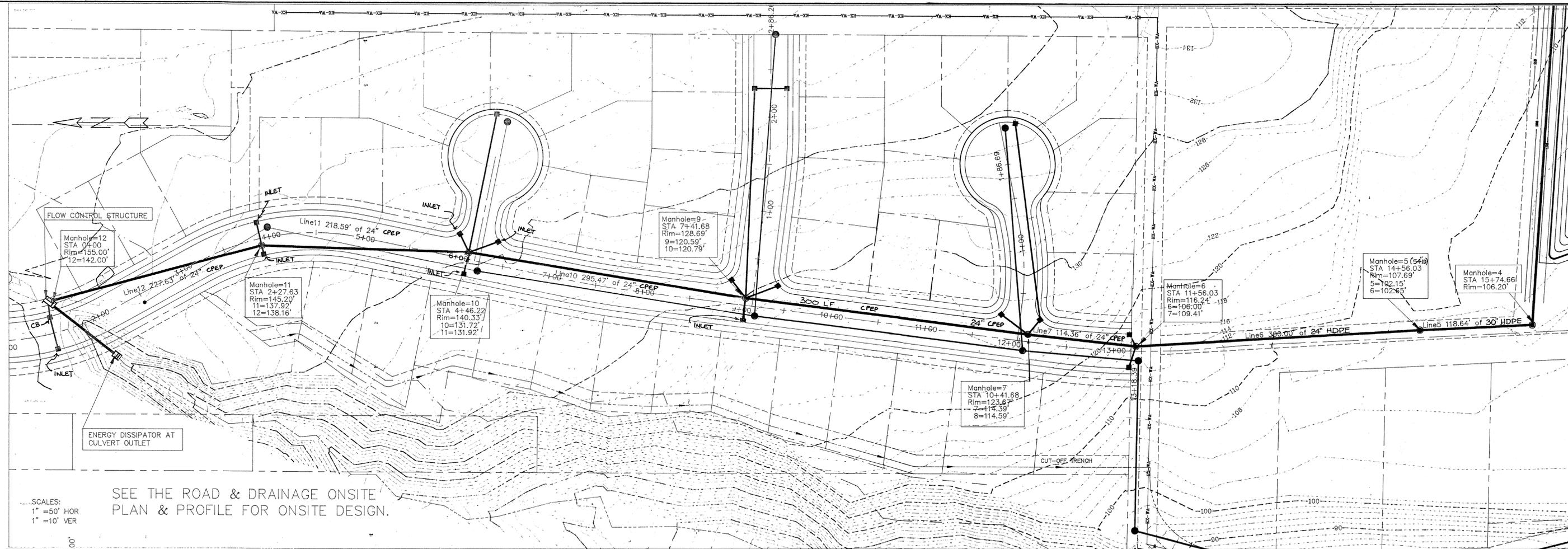
Note: Geotextile Fabric - Typar 3201 or Equal Required below Gravel on Subgrade. Under Roadway area only. (Unless otherwise approved by the City Engineer)

- NOTE**
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE PROVISIONS OF APWA "STANDARD SPECIFICATIONS" AND SHALL CONFORM TO THE REQUIREMENTS OF THE CITY ENGINEER.
  - AN EQUIVALENT ASPHALT TREATED BASE MAY BE SUBSTITUTED FOR THE GRAVEL BASE AND CRUSHED ROCK UPON APPROVAL OF THE CITY ENGINEER.
  - ON CUL-DE-SACS OF LESS THAN 800' R/W MAY BE REDUCED TO 50' AND STREET WIDTH MAY BE REDUCED TO 24'
  - ROLLED CURB MAY BE SUBSTITUTED FOR VERTICAL CURB UPON APPROVAL OF THE CITY ENGINEER.
  - SETBACK SIDEWALK MAY BE USED UPON APPROVAL OF THE CITY ENGINEER. ROLLED CURBS SHALL NOT BE USED IN CONJUNCTION WITH SETBACK SIDEWALKS.

APPROVED FOR CONSTRUCTION  
Fred Buckenmeyer, P.L.S.  
ASST. CITY ENGINEER  
DATE 3-4-97  
APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE

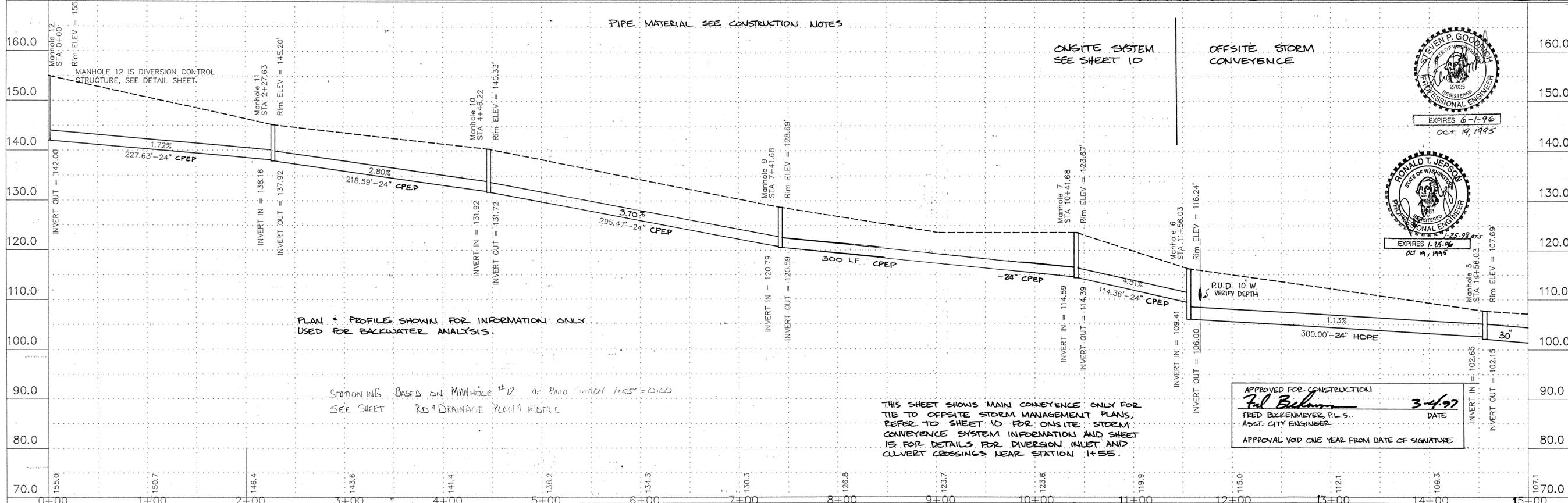


STORM - SUB 284 12/20  
BLACKBURN RIDGE



SCALES:  
1" = 50' HOR  
1" = 10' VER

SEE THE ROAD & DRAINAGE ONSITE PLAN & PROFILE FOR ONSITE DESIGN.



APPROVED FOR CONSTRUCTION  
*Fred Buckenmeyer* 3-4-97  
 FRED BUCKENMEYER, P.L.S.  
 ASST. CITY ENGINEER  
 APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE

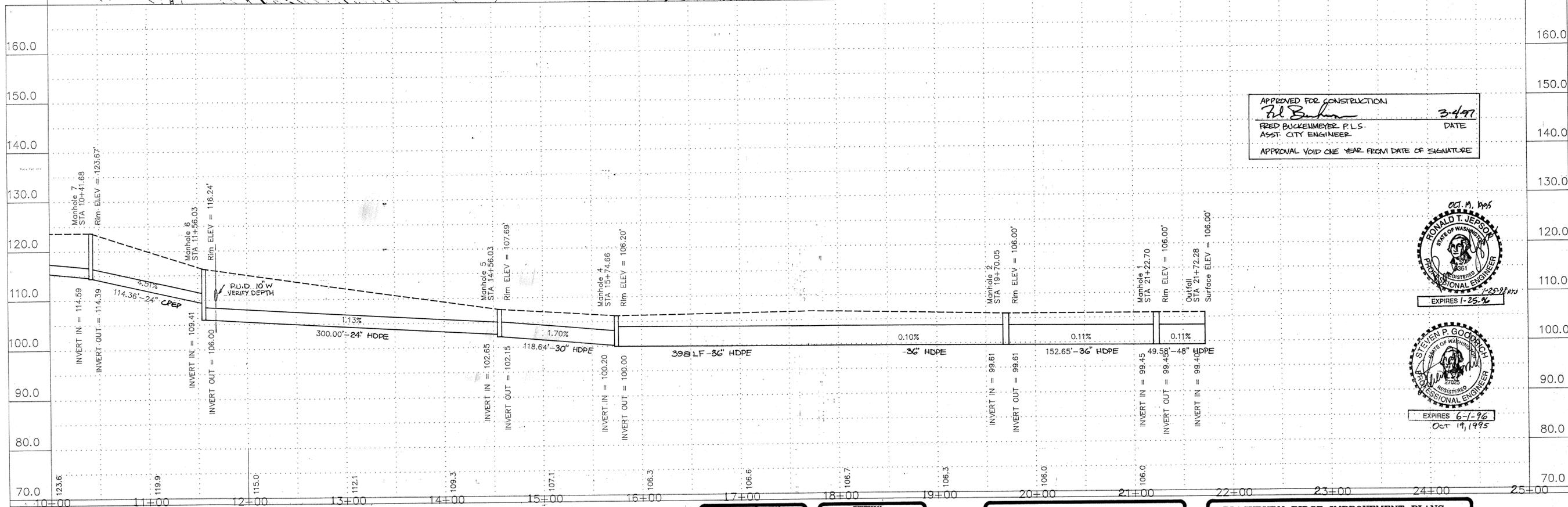
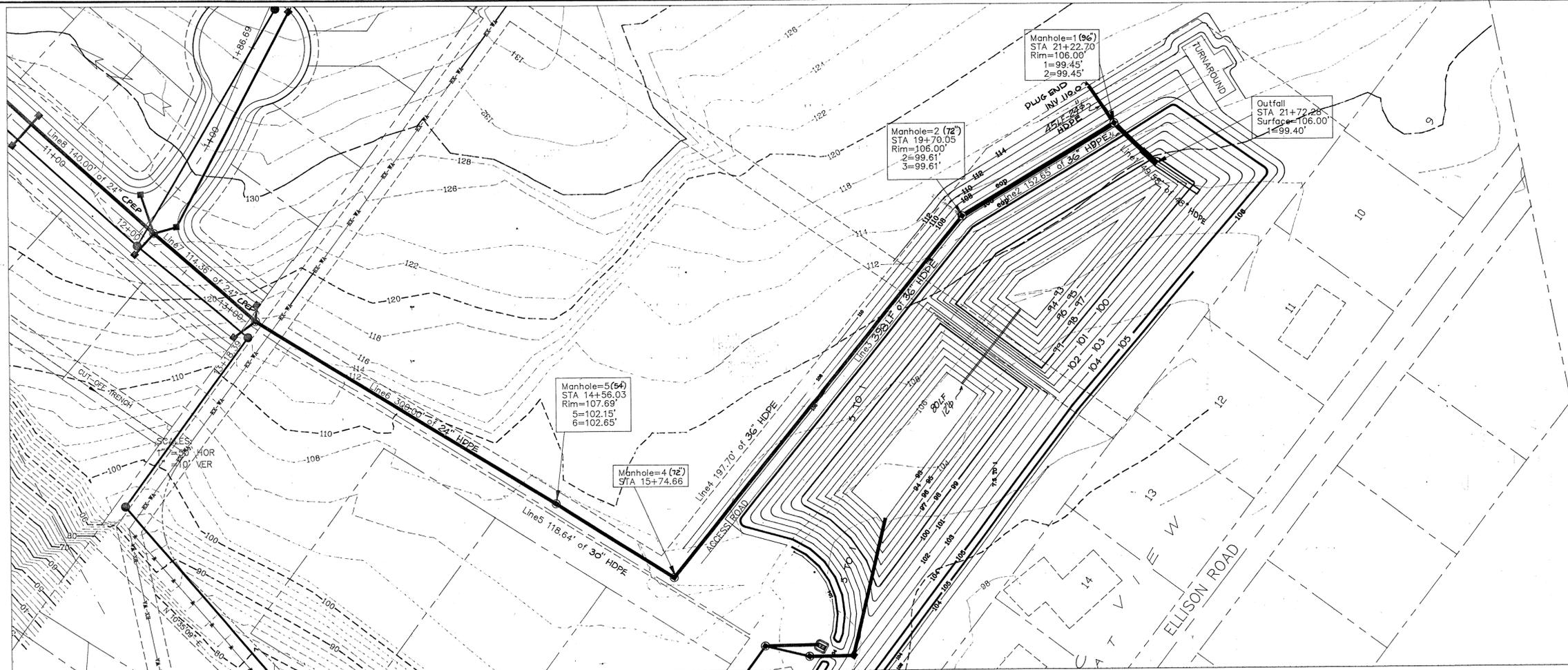
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DRAWN BY	SPG
CHECKED BY	
APPROVED BY	
DATE	12/13/95

REVISION	1
	2
	3

CLIENT:  
**BLACKBURN PROPERTIES**  
 MT. VERNON

**BLACKBURN RIDGE IMPROVEMENT PLANS**  
 STORM CONVEYANCE SYSTEM  
 STATION 0+00 TO 14+56

13/20  
 SYSTEM  
 BLACKBURN RIDGE



APPROVED FOR CONSTRUCTION  
*Fred Buckenmeyer*  
 FRED BUCKENMEYER, P.L.S.  
 ASST. CITY ENGINEER  
 DATE 3-4-97  
 APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE



**RONALD T. JEPSON & ASSOC.**  
 REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS  
 222 GRAND, BELLINGHAM, WASHINGTON 98225

SCALE 1" = 60'  
 DRAWN BY SPG  
 CHECKED BY  
 APPROVED BY  
 DATE 8/13/95

REVISION
1
2
3

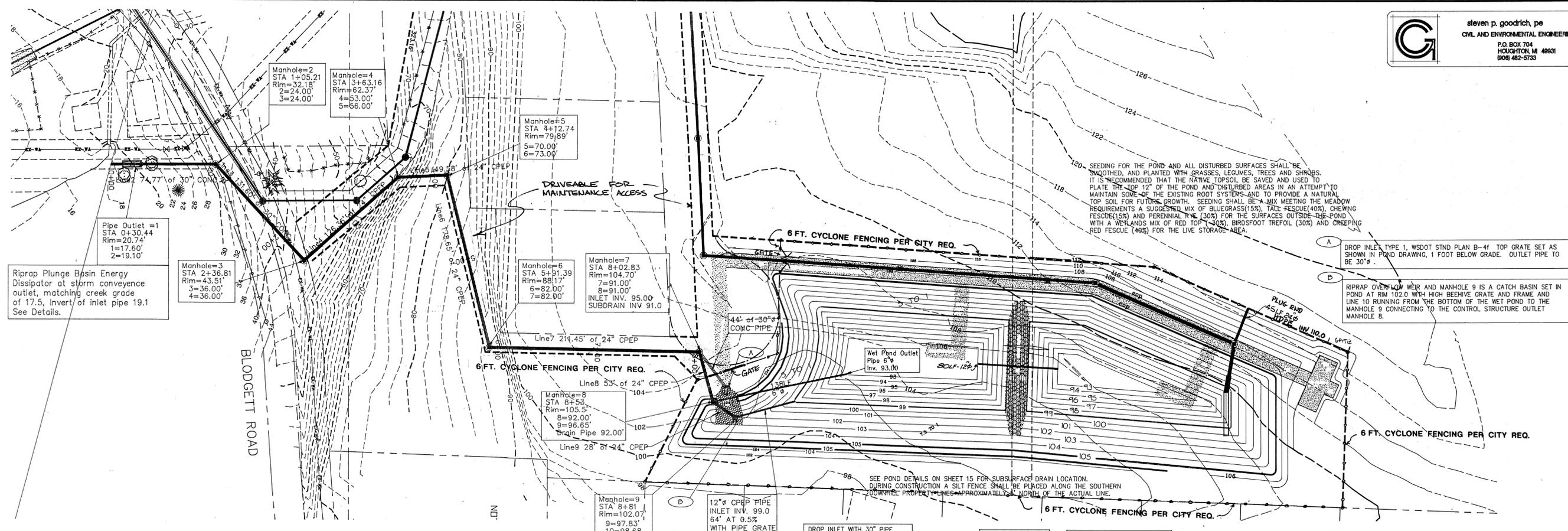
CLIENT:  
 BLACKBURN PROPERTIES, INC.  
 MT. VERNON, WASHINGTON

BLACKBURN RIDGE IMPROVEMENT PLANS  
 STORM CONVEYANCE SYSTEM  
 STATION 14+56 TO 21+73

13/20

RTJ-94111

SCALES:  
 1" = 50' HOR  
 1" = 10' VER



Riprap Plunge Basin Energy Dissipator at storm conveyance outlet, matching creek grade of 17.5, invert of inlet pipe 19.1 See Details.

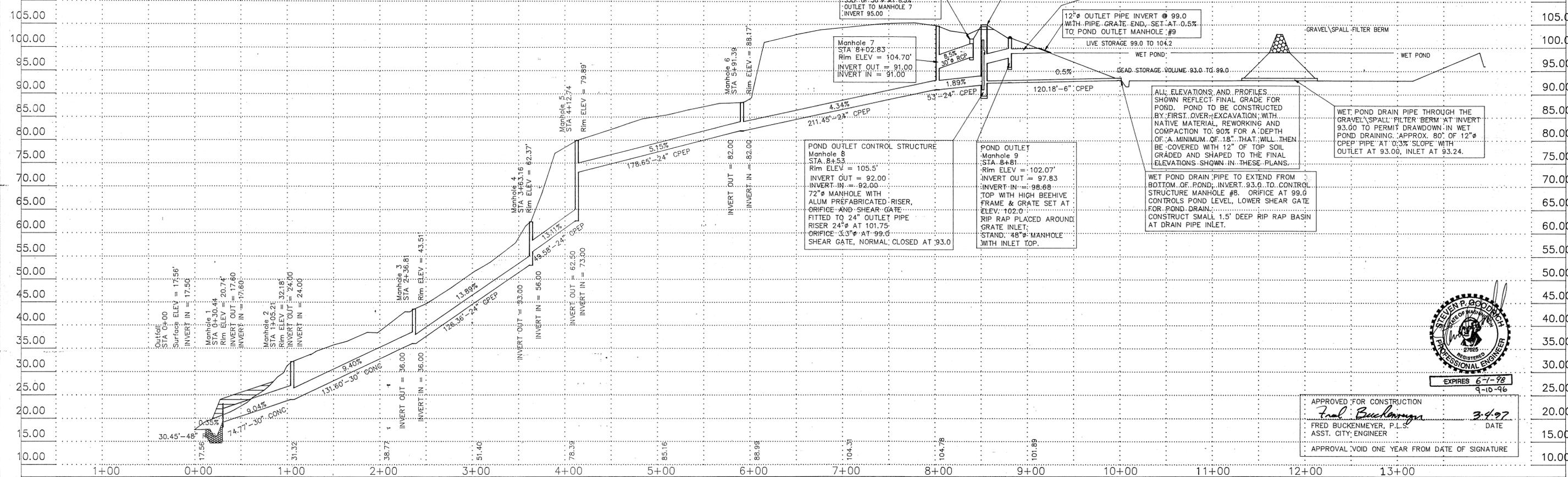
SEEDING FOR THE POND AND ALL DISTURBED SURFACES SHALL BE SMOOTHED, AND PLANTED WITH GRASSES, LEGUMES, TREES AND SHRUBS. IT IS RECOMMENDED THAT THE NATIVE TOPSOIL BE SAVED AND USED TO PLATE THE TOP 12" OF THE POND AND DISTURBED AREAS IN AN ATTEMPT TO MAINTAIN SOME OF THE EXISTING ROOT SYSTEMS AND TO PROVIDE A NATURAL TOP SOIL FOR FUTURE GROWTH. SEEDING SHALL BE A MIX MEETING THE MEADOW REQUIREMENTS A SUGGESTED MIX OF BLUEGRASS(15%), TALL FESCUE(40%), CHEWING FESCUE(50%) AND PERENNIAL RYE (30%) FOR THE SURFACES OUTSIDE THE POND WITH A WETLANDS MIX OF RED TOP (30%), BIRDFOOT TREFLOIL (30%) AND CREEPING RED FESCUE (40%) FOR THE LIVE STORAGE AREA.

DROP INLET TYPE 1, WSDOT STD PLAN B-41 TOP GRATE SET AS SHOWN IN POND DRAWING, 1 FOOT BELOW GRADE. OUTLET PIPE TO BE 30".

RIPRAP OVERFLOW WEIR AND MANHOLE 9 IS A CATCH BASIN SET IN POND AT RIM 102.0 WITH HIGH BEEHIVE GRATE AND FRAME AND LINE 10 RUNNING FROM THE BOTTOM OF THE WET POND TO THE MANHOLE 9 CONNECTING TO THE CONTROL STRUCTURE OUTLET MANHOLE 8.

SEE POND DETAILS ON SHEET 15 FOR SUBSURFACE DRAIN LOCATION. DURING CONSTRUCTION A SILT FENCE SHALL BE PLACED ALONG THE SOUTHERN DOWNHILL PROPERTY LINES APPROXIMATELY 6' NORTH OF THE ACTUAL LINE.

STORM  
 BLACKBURN RIDGE  
 14/20



ALL ELEVATIONS AND PROFILES SHOWN REFLECT FINAL GRADE FOR POND. POND TO BE CONSTRUCTED BY FIRST OVER-EXCAVATION WITH NATIVE MATERIAL, REWORKING AND COMPACTION TO 90% FOR A DEPTH OF A MINIMUM OF 18". THAT WILL THEN BE COVERED WITH 12" OF TOP SOIL GRADED AND SHAPED TO THE FINAL ELEVATIONS SHOWN IN THESE PLANS.

WET POND DRAIN PIPE THROUGH THE GRAVEL SPALL FILTER BERM AT INVERT 93.00 TO PERMIT DRAINAGE IN WET POND DRAINING APPROX. 80% OF 12" CPEP PIPE AT 0.3% SLOPE WITH OUTLET AT 93.00, INLET AT 93.24.

WET POND DRAIN PIPE TO EXTEND FROM BOTTOM OF POND, INVERT 93.0 TO CONTROL STRUCTURE MANHOLE #8. ORIFICE AT 99.0 CONTROLS POND LEVEL, LOWER SHEAR GATE FOR POND DRAIN. CONSTRUCT SMALL 1.5' DEEP RIP RAP BASIN AT DRAIN PIPE INLET.

POND OUTLET CONTROL STRUCTURE  
 Manhole 8  
 STA 8+53  
 Rim ELEV = 105.5'  
 INVERT OUT = 92.00  
 INVERT IN = 82.00  
 72" MANHOLE WITH ALUM PREFABRICATED RISER, ORIFICE AND SHEAR GATE FITTED TO 24" OUTLET PIPE RISER 24" AT 101.75 ORIFICE 3.3" AT 99.0 SHEAR GATE, NORMAL CLOSED AT 93.0

POND OUTLET  
 Manhole 9  
 STA 8+81  
 Rim ELEV = 102.07'  
 INVERT IN = 98.68  
 TOP WITH HIGH BEEHIVE FRAME & GRATE SET AT ELEV. 102.0  
 RIP RAP PLACED AROUND GRATE INLET  
 STAND 48" MANHOLE WITH INLET TOP.

APPROVED FOR CONSTRUCTION  
*Fred Buckenmeyer*  
 FRED BUCKENMEYER, P.L.S.  
 ASST. CITY ENGINEER  
 APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE



SCALE	1"=50'
DRAWN BY	SPG
CHECKED BY	
APPROVED BY	
DATE	8/13/95

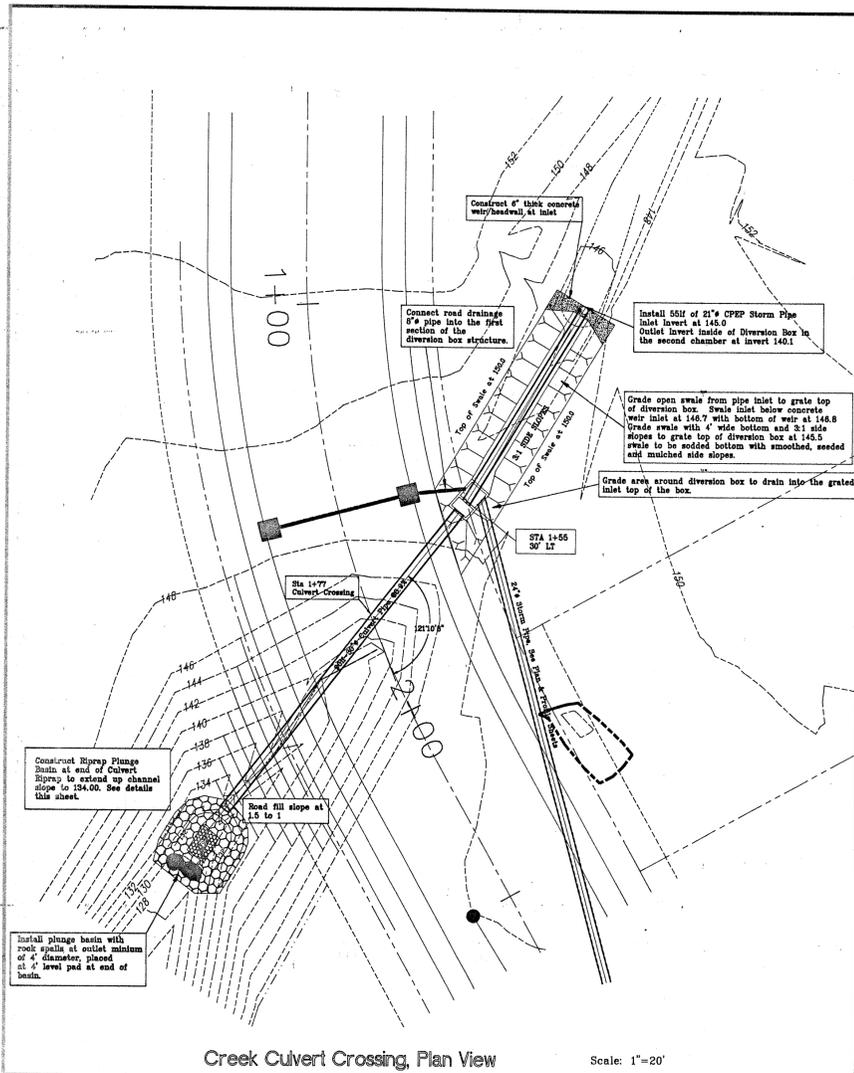
REVISION	
1	8-30-96 S.P.G.
2	
3	

CLIENT:  
**BLACKBURN PROPERTIES, INC.**  
 MT. VERNON, WASHINGTON

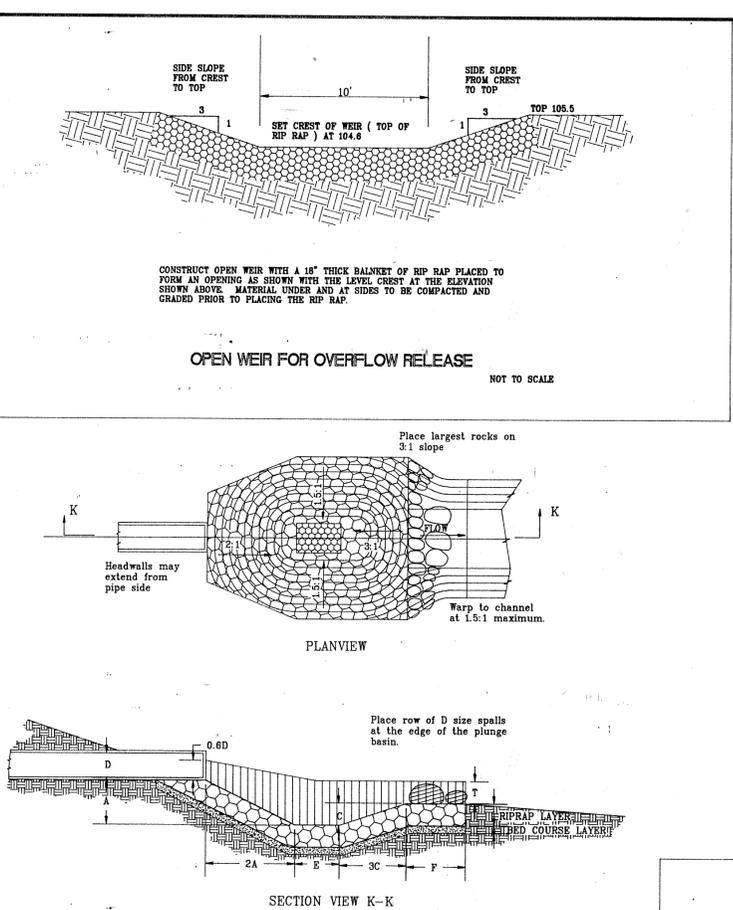
**BLACKBURN RIDGE IMPROVEMENT PLANS**  
**STORM CONVEYANCE SYSTEM**  
**PLAN & PROFILE POND OUTFALL**

TJ 94111  
 DATE: 3-4-97  
 FILE NAME: D:\JOBS\941107\ST010101

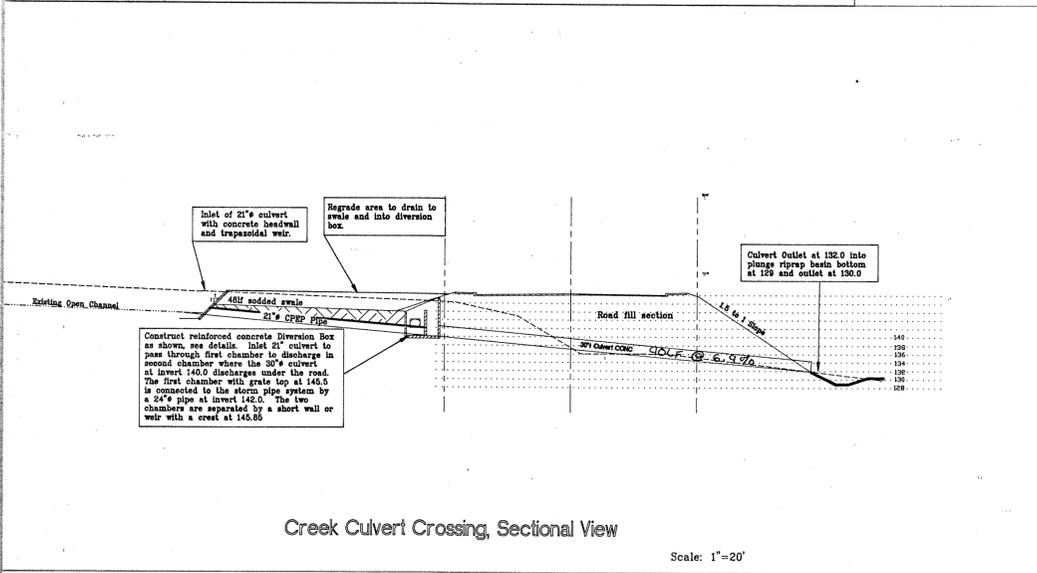
STORM WATER MGMT SUB 94-2 15/20  
BLACKBURN RIDGE



Creek Culvert Crossing, Plan View Scale: 1"=20'



RIPRAP PLUNGE BASIN NOT TO SCALE



Creek Culvert Crossing, Sectional View Scale: 1"=20'

**G** steven p. goodrich, pe  
CIVIL AND ENVIRONMENTAL ENGINEERING  
P.O. BOX 704  
HOQUICKTON, MI 49831  
800-614-5733

APPROVED FOR CONSTRUCTION  
*Fred Buckenmeyer* 3-4-97 DATE  
FRED BUCKENMEYER, P.L.S.  
ASST. CITY ENGINEER  
APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE

**RONALD T. JEPSON & ASSOC.**  
REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS  
222 GRAND, BELLINGHAM, WASHINGTON 98225

SCALE VARIES  
DRAWN BY SPG  
CHECKED BY  
APPROVED BY  
DATE 8/16/95

REVISION  
8/30/96 S.P.G.  
2  
3

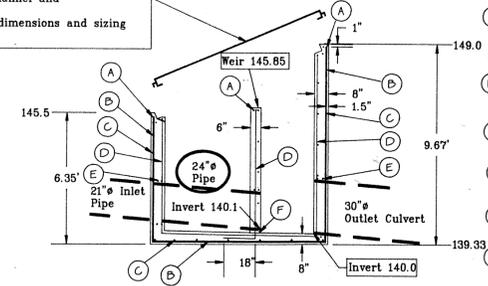
CLIENT:  
BLACKBURN PROPERTIES, INC.  
MT. VERNON, WASHINGTON

BLACKBURN RIDGE IMPROVEMENT PLANS  
STORM WATER MANAGEMENT PLANS  
CREEK DIVERSION & DETAILS

RTJ-94111

15  
20

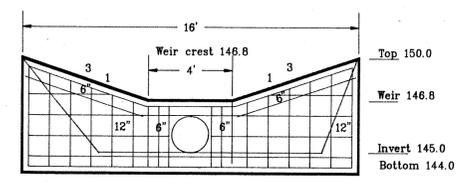
Install a Utility Vault Company Frame & Grate 5496-H-10 on the top of the diversion box. Grate and frame to be galvanized. The frame shall be set and anchored in concrete with 1/4" drain holes drilled through channel and concrete to prevent collection of water. See the Utility Vault Company for detail dimensions and sizing of opening for frame.



- (A) Place 3/8" rebar horizontally along top ridge 1" below surface and 1" behind frame. Set 3 3/8" rebar horizontally 1" below bottom edge of frame. Minimum lap on pieces is 12".
- (B) Place 5/8" rebar 12" oc vertically on all 8" outside walls with 1.5" between outside of rebar and outside of concrete.
- (C) Place 3/8" rebar at 18" oc horizontally 1.5" inside of outeredge wall.
- (D) Place 3/8" rebar at 18" oc both vertically and horizontally with 1.5" of cover along the inside edge of the outerwall, and centered in the inner 6" weir wall.
- (E) Place 3 loops of 3/8" rebar around the pipe openings providing 1" clearance between the pipe wall and the rebar.
- (F) Extend 3/8" rebar across the across the bottom of the diversion box in both directions, provide 1.5" of clearance between top of rebar and bottom of box.

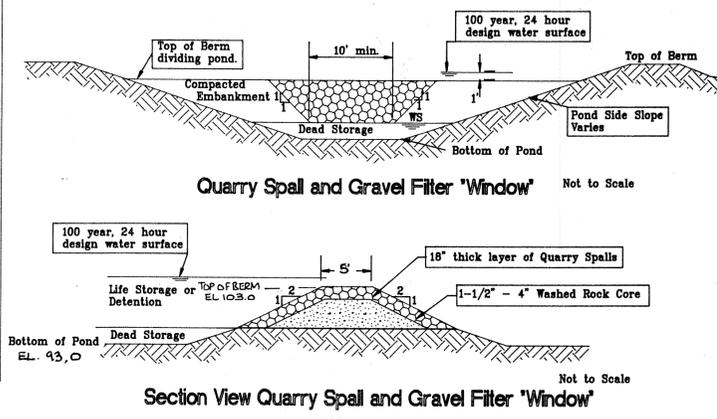
Slope bottom of Diversion Box to drain out the Outlet Culvert at Invert 140.0 with a 2% sloping floor. Install 1/2" openings along 6" weir wall bottom to allow drainage.

DIVERSION BOX SCALE: APPROX 1"=4'

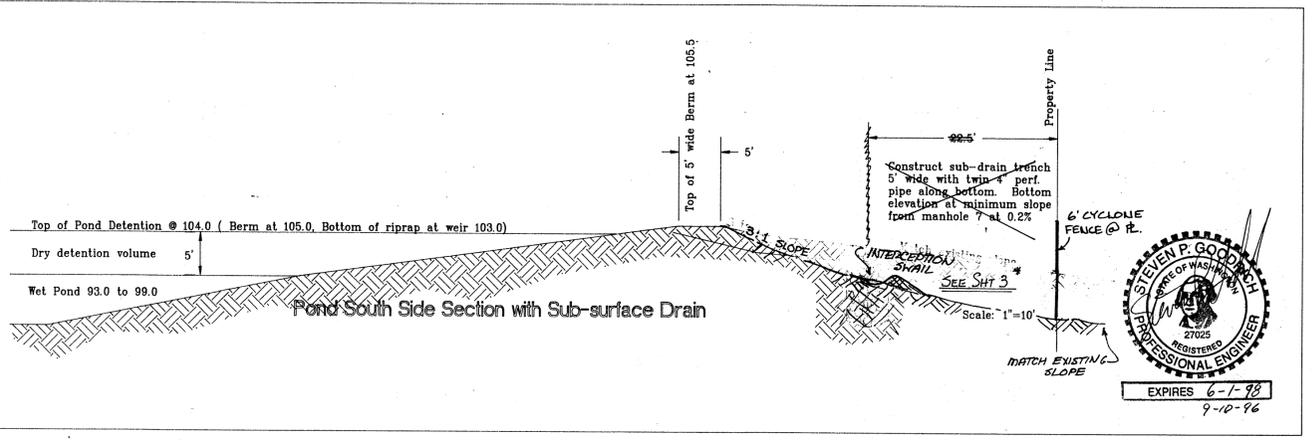


Construct headwall 6" thick with #4 rebar placed 6" or 12" oc as shown. Install 21" pipe with anchor 6" long anchor bolts extending into wall. Face of wall to be at 1 to 1 slope forming a weir inlet to the swale extending west to the diversion box grate top. The weir crest is to be set 0.1' higher than the swale.

Diversion Box Culvert & Swale Weir



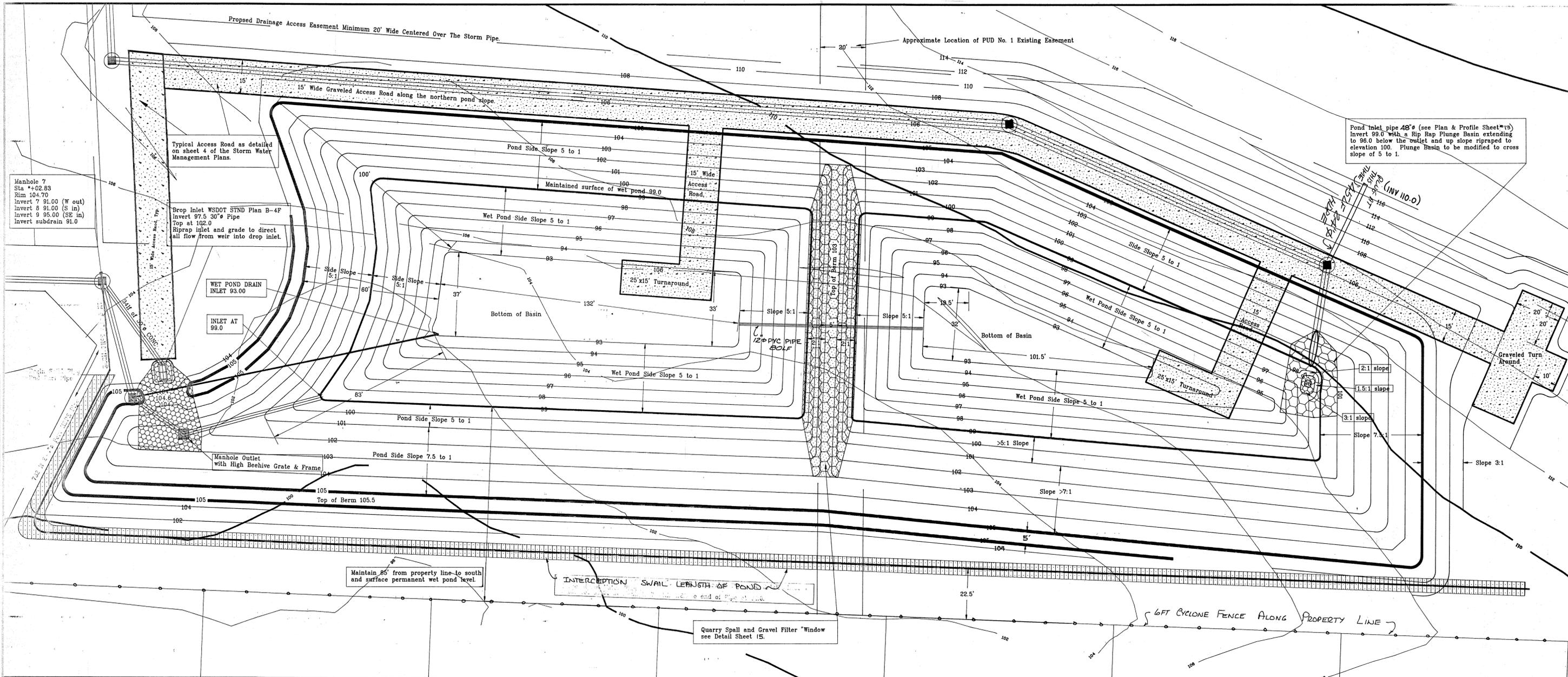
Section View Quarry Spall and Gravel Filter 'Window' Not to Scale



Pond South Side Section with Sub-surface Drain

STEVEN P. GOODRICH  
REGISTERED PROFESSIONAL ENGINEER  
EXPIRES 6-1-98  
9-10-96

DETENTION POND SUB 94-2  
BLACKBURN RIDGE



Pond Inlet pipe 48" (see Plan & Profile Sheet 13) Invert 99.0 with a Rip Rap Plunge Basin extending to 96.0 below the outlet and up slope riprapped to elevation 100. Plunge Basin to be modified to cross slope of 5 to 1.

BELOW THE FINISHED GRADE SHOWN IN THESE PLANS THE TYPICAL POND SECTION SHOULD CONSIST OF 12" OF TOP SOIL, OVER A MINIMUM 18" COMPACTED DEPTH OF NATIVE MATERIAL OR OTHER APPROVED SOIL SET ON THE UNDISTURBED NATIVE SOIL.

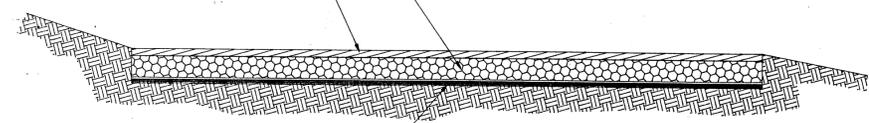


TYPICAL POND SECTION  
NOT TO SCALE

5" Thick layer of quarry spalls 2" to 4" in size.

2" Crushed Gravel

Geotextile placed with 1.5' to 2' lap joints non-woven Phillips Supac 4Np or equal or woven 4 to 4.5 ounce per square yard.



TYPICAL ACCESS ROAD SECTION  
Not to scale.



EXPIRES 6-1-98  
9-10-96

APPROVED FOR CONSTRUCTION  
*Fred Buckenmeyer* 3-4-97 DATE  
FRED BUCKENMEYER, P.L.S. ASST. CITY ENGINEER  
APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE

steven p. goodrich, pe  
CIVIL AND ENVIRONMENTAL ENGINEERING  
P.O. BOX 704  
HOUGHTON, MI 49931  
800-482-5733

**RONALD T. JEPSON & ASSOC.**  
REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS  
222 GRAND, BELLINGHAM, WASHINGTON 98225

SCALE 1"=20'  
DRAWN BY SPG  
CHECKED BY  
APPROVED BY  
DATE 8/18/95

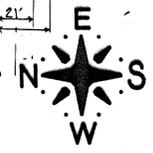
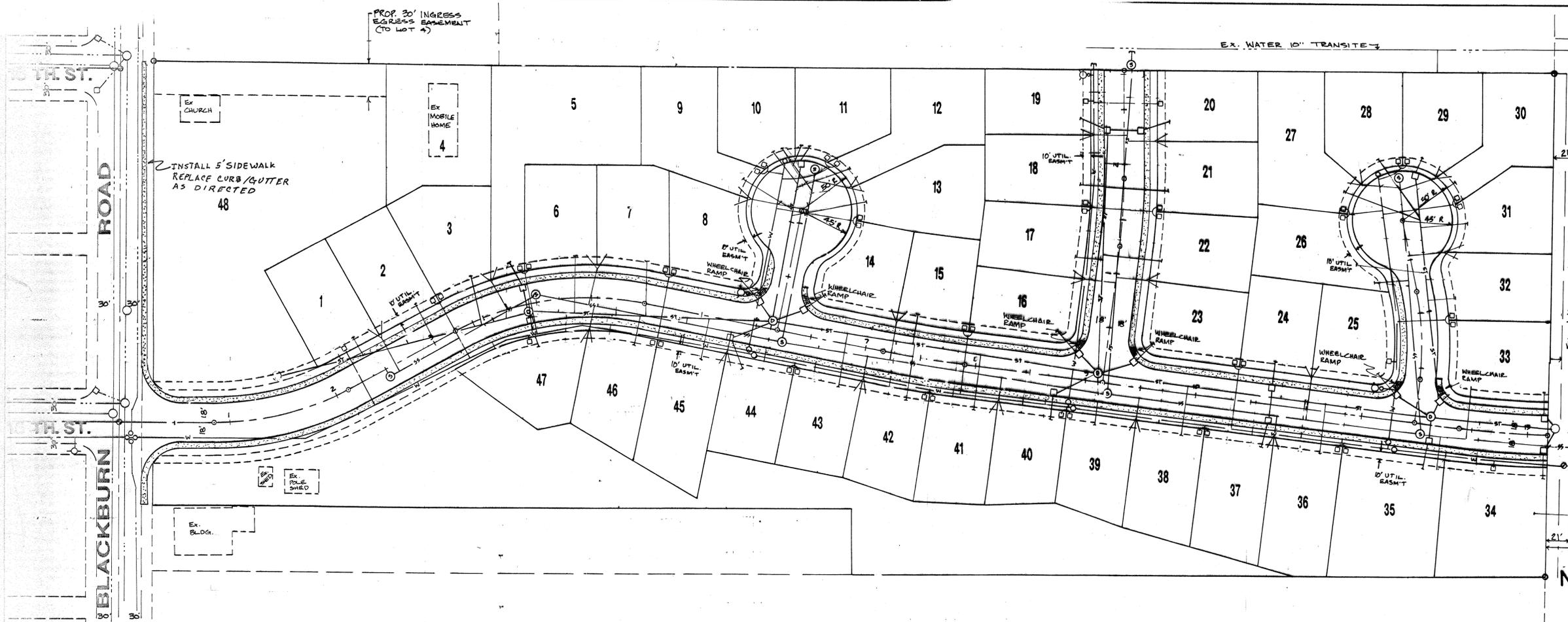
REVISION  
8-31-96 S.P.G.  
2  
3

CLIENT:  
BLACKBURN PROPERTIES, INC.  
MT. VERNON, WASH.

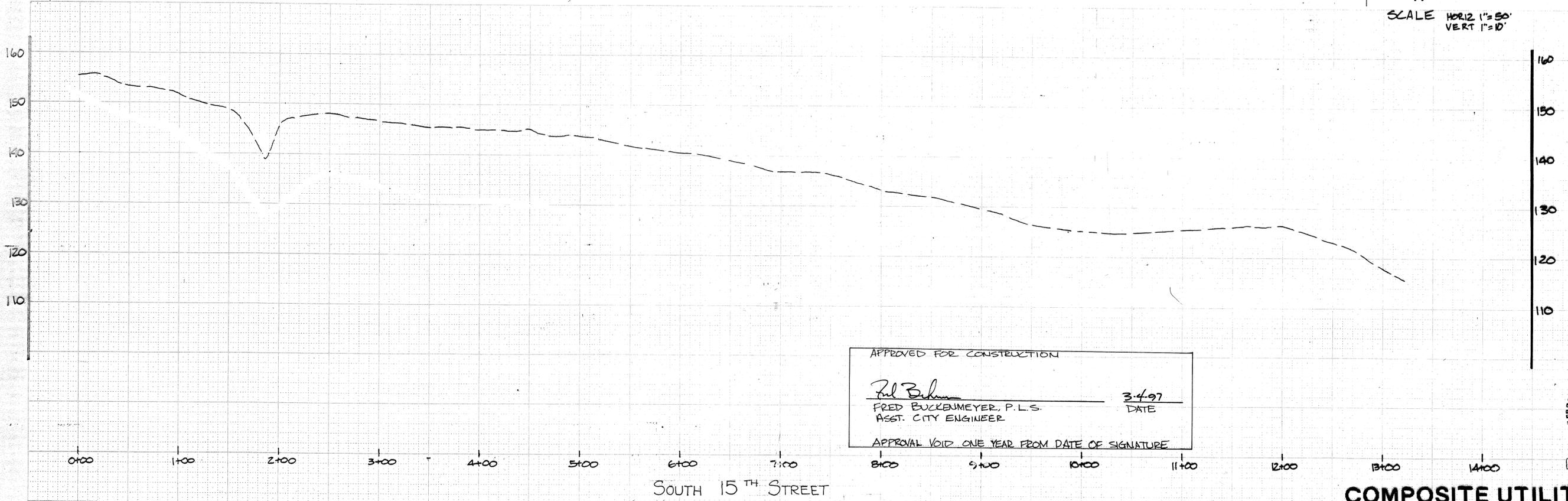
BLACKBURN RIDGE IMPROVEMENT PLANS/  
STORM WATER MANAGEMENT PLANS  
DETENTION POND

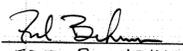
RTJ-94111  
File name: D:\JOBS\941107\DRNPND01

EPH 24  
 COMPOSITE UTILITY PLAN SUB 94-2 17/20  
 BLACKBURN RIDGE



SCALE HORIZ 1"=50'  
VERT 1"=10'



APPROVED FOR CONSTRUCTION  
  
 FRED BUCKENMEYER, P.L.S.  
 ASST. CITY ENGINEER  
 DATE 3-4-97  
 APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE

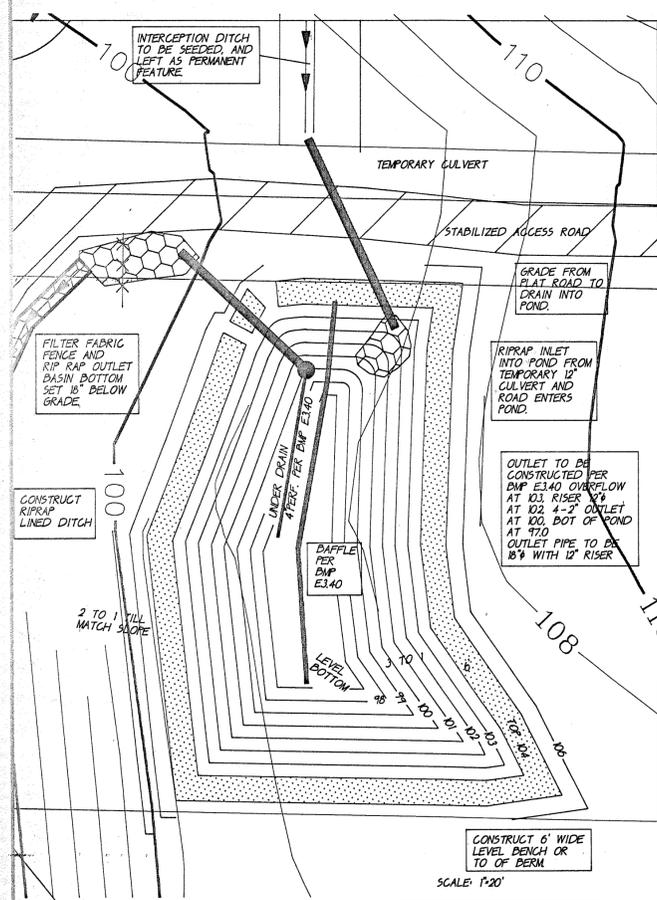
Oct. 19, 1995  
  
 6-1-96

RONALD T. JEPSON  
 STATE OF WASHINGTON  
 REGISTERED PROFESSIONAL ENGINEER  
 EXPIRES 1-25-96  
 Oct. 19, 1995

TEMP. EROSION CONT. SUB 94-2  
BLACKBURN RIDGE

For BMP's listed below refer Standard Document of Washington Department of Ecology, Stormwater Management Manual for the Puget Sound Basin (The Technical Manual) Volume II Erosion and Sediment Control, Chapter II-5: Standards and Specifications For Best Management Practices for Erosion And Sediment Control.

- (PS) BMP E1.35 Permanent Seeding and Planting
- (CE) BMP E2.10 Stabilized Construction Entrance and Tire Wash
- (CR) BMP E2.15 Construction Road Stabilization
- (DS) BMP E2.55 Interceptor Dike and Swale, See Details On TESC Sheet
- (OP) BMP E2.70 Outlet Protection
- (RR) BMP E2.75 Riprap
- (FF) BMP E3.10 Filter Fence
- (STB) BMP E3.15 Straw Bale Barrier
- (IP) BMP E3.30 Storm Drain Inlet Protection, Install at each inlet grate.
- (SB) BMP E3.40 Temporary Sediment Pond/Basin, See Details On TESC Sheet
- (SC) Note SCC Stabilized Conveyance Channel, See Details On TESC Sheet
- (CUL) Note CUL Temporary Culvert, Install temporary culvert under the Construction Entrance a 12" diameter CMP or HDPE providing a minimum of 12" cover with the culvert invert matching the existing ditch line at outlet. At the outlet place riprap at the outlet downstream for 3' and on both sides of the roadside channel.
- (A) Note A Culvert Crossing, Diversion Structure & Conveyance System to Detention Pond, refer to the Storm Water Conveyance Plans for Details
- (B) Note B Storm Pipe Conveyance System Outfall, refer to the Storm Water Conveyance Plans for Details
- (C) Note C Creek Culvert, refer to the Storm Water Conveyance Plans for Details
- (D) Note D Storm Pipe Conveyance System from Pond to Outfall, refer to the Storm Water Conveyance Plans for Details
- (E) Note E Storm Water Detention & Retention Pond, refer to the Storm Water Conveyance Plans for Details



APPROVED FOR CONSTRUCTION  
*Fred Buckenmeyer* 3-4-97 DATE  
 FRED BUCKENMEYER, P.L.S. ASST. CITY ENGINEER  
 APPROVAL VOID ONE YEAR FROM DATE OF SIGNATURE



**G** STEVEN P. GOODRICH, P.E.  
 CIVIL AND ENVIRONMENTAL ENGINEERING  
 P.O. BOX 704  
 HOUGHTON, WA 98031  
 809-482-5753

**RONALD T. JEPSON & ASSOC.**  
 REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS  
 222 GRAND, BELLINGHAM, WASHINGTON 98225

SCALE 1"=100'  
 DRAWN BY SPG  
 CHECKED BY  
 APPROVED BY  
 DATE 9/4/95

REVISION  
 8-27-96 SPG  
 2  
 3

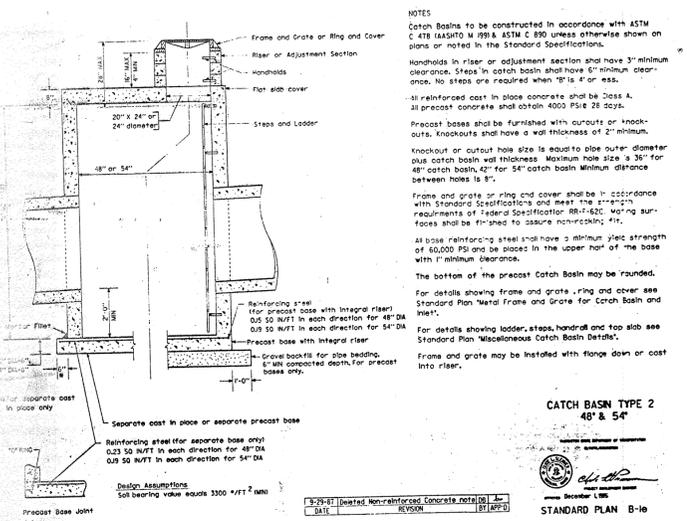
CLIENT:  
 BLACKBURN PROPERTIES, INC.  
 MT. VERNON, WASHINGTON

BLACKBURN RIDGE  
 IMPROVEMENT PLANS  
 TEMPORARY EROSION CONTROL PLAN  
 RT-94111

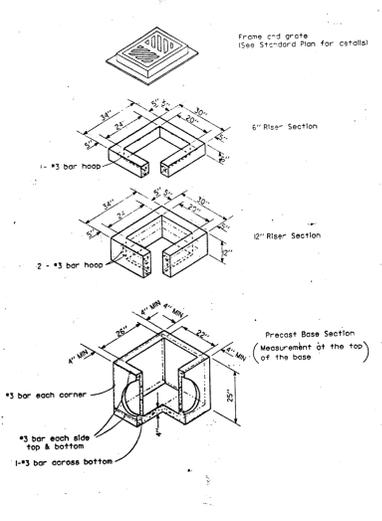
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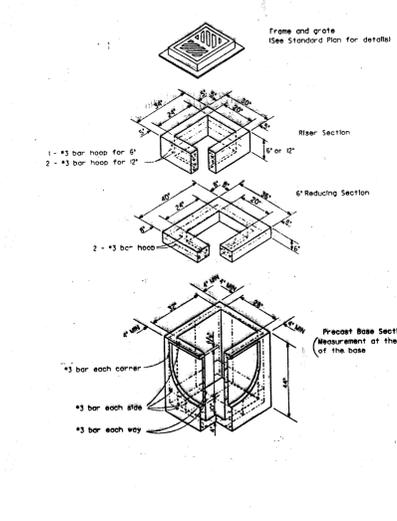




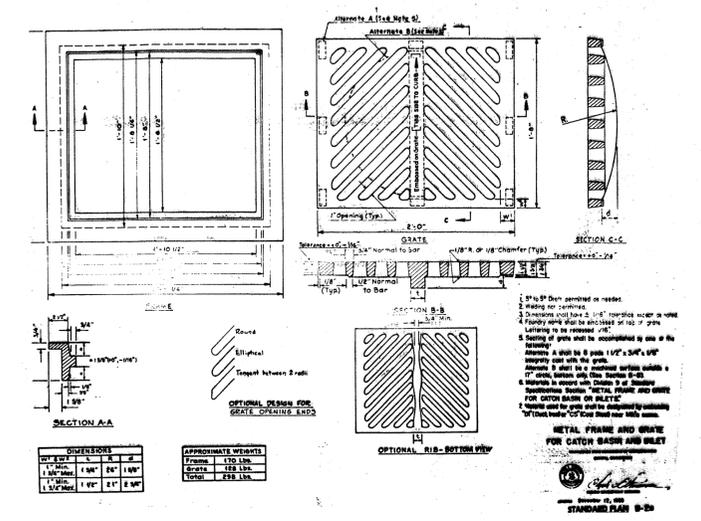
CATCH BASIN TYPE 2  
48" x 54"  
STANDARD PLAN B-1e



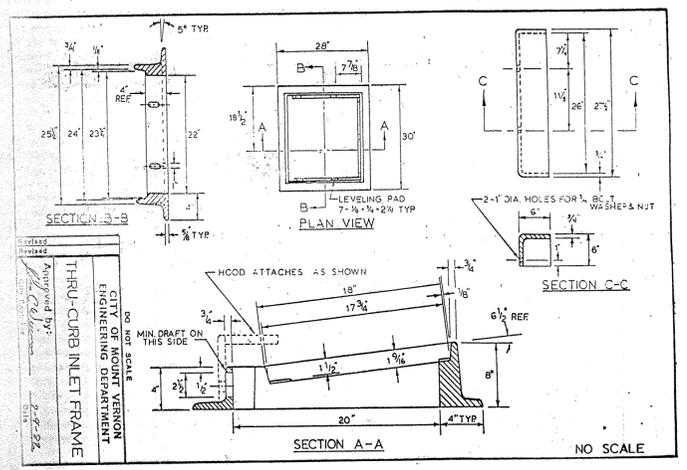
CONCRETE INLET  
STANDARD PLAN B-2b



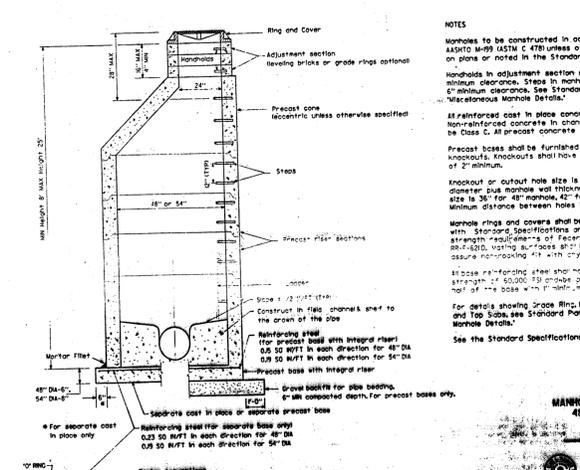
CATCH BASIN TYPE 1L  
STANDARD PLAN B-1c



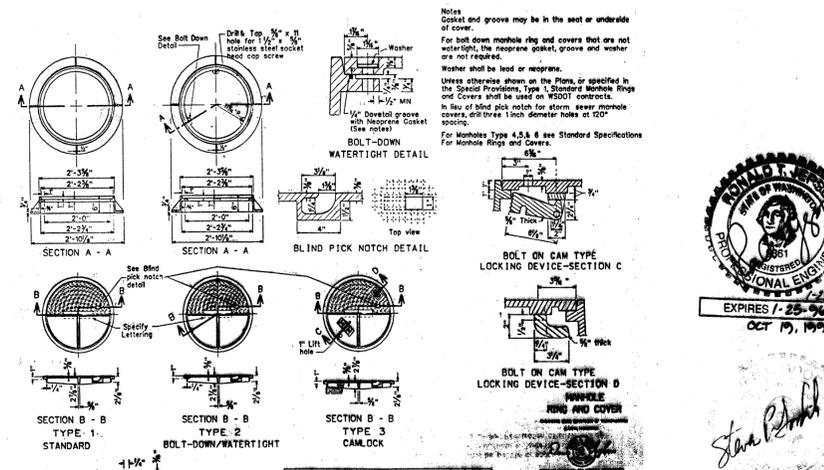
CATCH BASIN TYPE 1  
STANDARD PLAN B-1d



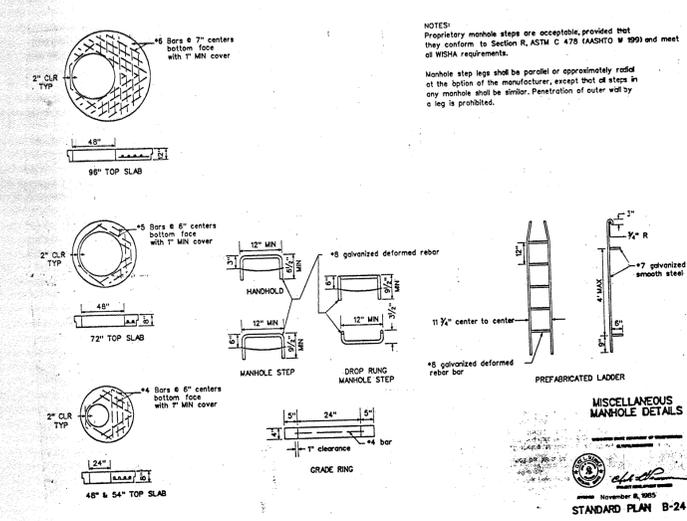
HIGH BEEHIVE GRATE AND FRAME  
#6014  
SATHER MANUFACTURING CO., INC.  
3330 MAJORS AVE.  
EVERETT, WASHINGTON 98201



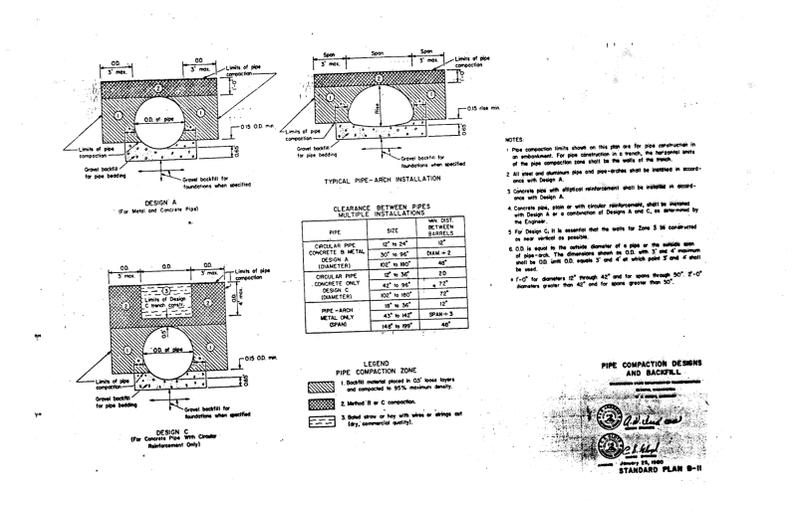
MANHOLE - TYPE 1  
48" x 54"  
STANDARD PLAN B-25a



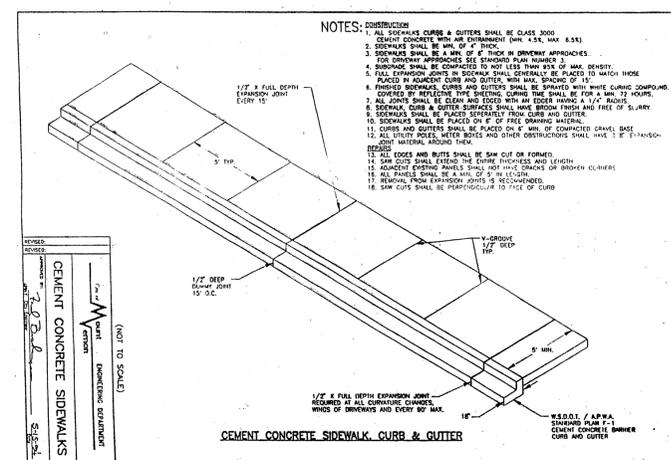
COVER SKID DESIGN DETAIL  
STANDARD PLAN B-25b



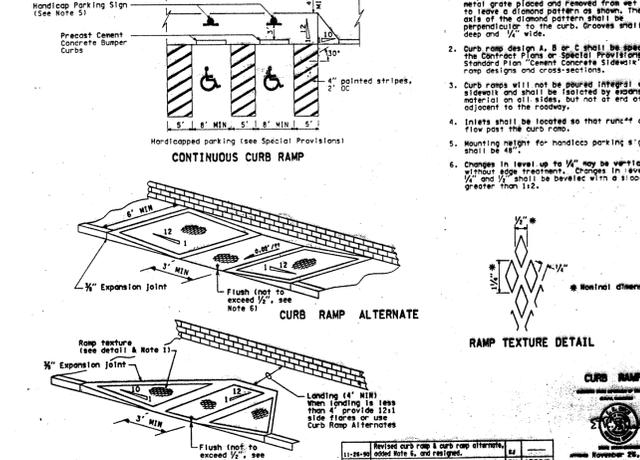
MISCELLANEOUS  
MANHOLE DETAILS  
STANDARD PLAN B-24



PIPE ARCH  
INSTALLATION  
STANDARD PLAN B-11



APPROVED FOR CONSTRUCTION  
*Fred Buckenmeyer*  
FRED BUCKENMEYER, P.L.S.  
Asst. CITY ENGINEER  
DATE 3/4/97



CONTINUOUS CURB RAMP  
STANDARD PLAN B-26

**APPENDIX B  
PLANNING STUDY ON ADULT USES**

**SITE 52**



333-1303  
Glen Harman

424-5110

John T.

# Building Permit City of Mount Vernon

Permit S06-002

Site Address 2308 Cedardale Road

Legal Desc (DR17 DK3)(TITLE ELIMINATION) INCLUDING MANUFACTURED HOME

Lot Block P# P28634 Plat

Owner's Name Berg Vault Co.

Address

City MOUNT VERNON Zip 98273 Phone ( ) -

Architect's Name

Address

City Phone ( ) -

Lending Agency

Address

City Phone ( ) -

Contractor's Name Harman Construction

Address 19795 ANDERSON RD.

City MOUNT VERNON, WA 98273 Phone (360) -

City License 6932 State License HARMAC1044KN (5/23/2007)

Type of Permit Work Type 3

- Residential Application
- Building Permit
- Reroof/Dem
- Fill Permit
- Plumbing Permit
- Fence
- Sign Permit
- Mechanical Perr
- Other

Occupancy Use Other

### Description of Work

Connect to Sewer

NOTICE: This permit is issued by the Building Official and, under the provisions of the Uniform Building Code, shall expire by limitation and become null and void if the building or work authorized by such permit is not commenced within 180 days from the date of permit issuance, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days. By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not, including calls for inspections.

Signature of Owner/Agent *[Signature]* Date

### FOLLOWING FOR DEPARTMENT USE ONLY

Street Setback Side One Side Two Rear Yard Setback

Use Zone Occ. Group Type of Const

NREC Required?  Vacant Site?  Dwelling Units 0 Stories   
FAD  ESU's  Bedrooms

Square Footage  
Bldg  Porch  Garage  Deck

When signed and dated below, this is your permit. Permission is hereby given to do the above described work, according to the conditions hereon and according to the approved plans and specifications pertaining thereto, subject to compliance with the ordinances of the City of Mount Vernon.

*[Signature]* Building Official 1-31-06

Permit Issued By Rick Prosser Date

Conditions/Comments

Notify the City Inspector (John Torgerson - 336-6214) prior to start. Notify Call before U Dig (1-800-424-5555) for Utility Locate Service.

	Approved for Issuance		Land Use Approval	
	Date	By	Date	By
Engineering Department	<input type="checkbox"/>	<input type="checkbox"/>	DNS	<input type="checkbox"/>
CED Department	<input type="checkbox"/>	<input type="checkbox"/>	CUP	<input type="checkbox"/>
Fire Department	<input type="checkbox"/>	<input type="checkbox"/>	VAR	<input type="checkbox"/>
			SUP	<input type="checkbox"/>
			MISC	<input type="checkbox"/>
			REZ	<input type="checkbox"/>

### Plumbing Information

Amount	Type of Fixture or Item	Fee
<input type="checkbox"/>	Water Closet	<input type="checkbox"/>
<input type="checkbox"/>	Bathtub	<input type="checkbox"/>
<input type="checkbox"/>	Lavatory	<input type="checkbox"/>
<input type="checkbox"/>	Shower	<input type="checkbox"/>
<input type="checkbox"/>	Kitchen Sink	<input type="checkbox"/>
<input type="checkbox"/>	Dishwasher	<input type="checkbox"/>
<input type="checkbox"/>	Laundry Tray	<input type="checkbox"/>
<input type="checkbox"/>	Clothes Washer	<input type="checkbox"/>
<input type="checkbox"/>	Water Heater	<input type="checkbox"/>
<input type="checkbox"/>	Urinal/Bidet	<input type="checkbox"/>
<input type="checkbox"/>	Drinking Fountain	<input type="checkbox"/>
<input type="checkbox"/>	Floor Sink or Drain	<input type="checkbox"/>
<input type="checkbox"/>	Slop Sink	<input type="checkbox"/>
<input type="checkbox"/>	Grease Trap/Interceptor	<input type="checkbox"/>
<input type="checkbox"/>	Water Piping	<input type="checkbox"/>

Permit Total Fees

### Mechanical Information

Gas?  Electrical?  Oil?  Other?

Amount	Type of Fixture of Iter.	Fee
<input type="checkbox"/>	Air Conditioning Unit	<input type="checkbox"/>
<input type="checkbox"/>	Refrigeration Unit	<input type="checkbox"/>
<input type="checkbox"/>	Boiler	<input type="checkbox"/>
<input type="checkbox"/>	Forced Air System	<input type="checkbox"/>
<input type="checkbox"/>	Floor Furnace	<input type="checkbox"/>
<input type="checkbox"/>	Wall Heater	<input type="checkbox"/>
<input type="checkbox"/>	Unit Heater	<input type="checkbox"/>
<input type="checkbox"/>	Clothes Dryer	<input type="checkbox"/>
<input type="checkbox"/>	Ventilation Fan	<input type="checkbox"/>
<input type="checkbox"/>	Range Hood	<input type="checkbox"/>
<input type="checkbox"/>	Air Handling Unit	<input type="checkbox"/>
<input type="checkbox"/>	Pre Manufactured Stove	<input type="checkbox"/>
<input type="checkbox"/>	Hot Water Tank	<input type="checkbox"/>
<input type="checkbox"/>	Gas Piping	<input type="checkbox"/>

Permit Total Fees

### Fee Totals

Building Permit Fees	<input type="checkbox"/>
Plan Review Fees	\$0.00
Plumbing Permit Fees	<input type="checkbox"/>
Mechanical Permit Fees	<input type="checkbox"/>
Sign Permit Fees	\$0.00
Impact Fees	<input type="checkbox"/>
State Surcharge	\$0.00
Engineering Fees	\$50.00
Re-Inspection Fee	<input type="checkbox"/>
Other	<input type="checkbox"/>
<b>Total Fees</b>	<b>\$50.00</b>

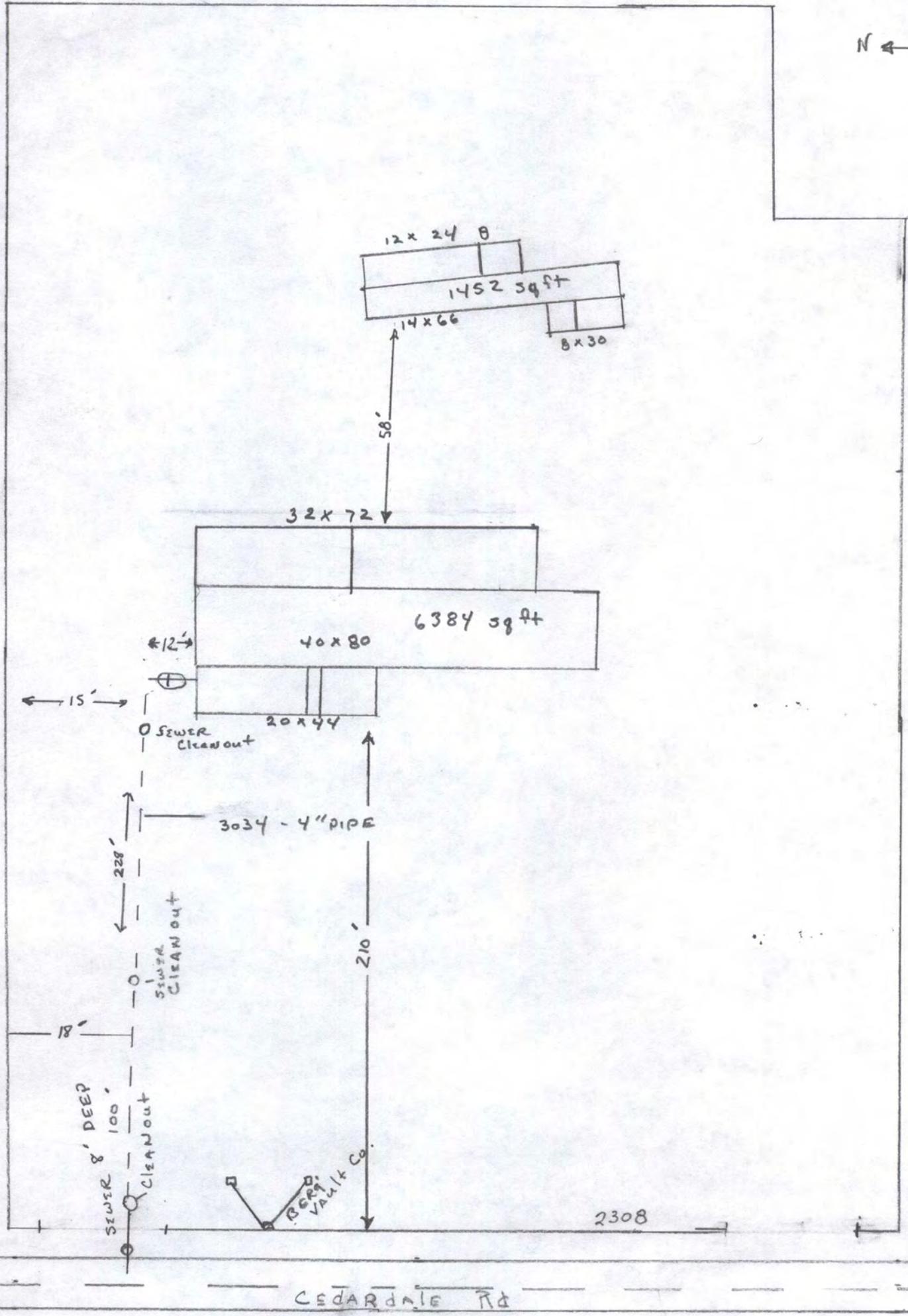
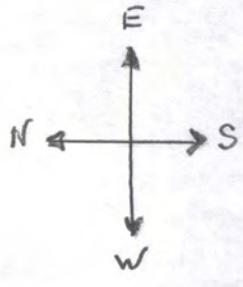
### Valuation Method

- Fees Based on \$ Value
- Calculated Using Square Footage
- Contractor's Bid
- Architect Estimate
- Owner Provided

S06-002



Kim Schultz  
2308 CEDARDALE Rd  
M + VERNON Rd WA 98274  
360-424-4999  
360-661-1107



CEDARDALE Rd

# QUIT-CLAIM DEED

STATUTORY FORM

9607150112

6/3/96

THE GRANTOR( ) Jane E. Schultz  
 of 2201 McDougall Ave, City of Everett  
 County of Snohomish, Washington, for and in consideration of No Financial Consideration,  
 convey and quit-claim to Kim L. Schultz  
 of 1671 Cedardale Road, City of Mount Vernon  
 County of Skagit, State of Washington, all interest in the following described Real Estate:

Tract B, Short Plat No. 30-77,  
 Located in Section 29, Township 34 North,  
 Range 4 East, W.M., Approved July 19, 1977,  
 and recorded in Volume 2 of Short Plats,  
 Page 87, recorded under Auditor's file no.  
 861105, Records of Skagit County, WA.

Includes Mobile Home #ORFLJ48A08668BM  
 1989 Fleetwood Broadmore 14x66.

Return

KATHY HILL  
 SKAGIT COUNTY CLERK

96 JUL 15 P2:43

RECORDED - FILED  
 REQUEST OF  
 Peggy Pfaff

14214  
 SKAGIT COUNTY WASHINGTON  
 Real Estate Excise Tax  
 PAID

JUL 15 1996

Amount Paid \$  
 Skagit County Treasurer  
 By: Deputy

situated in the County of Skagit, State of Washington. Dated this 21 day of June, 1996

Jane E. Schultz  
 Grantor(s)

## NOTARY ACKNOWLEDGMENT

STATE OF Washington

(INDIVIDUAL ACKNOWLEDGMENT)

County of Snohomish

I, Vanessa Stuller, Notary Public in and for the State of Washington, do hereby certify that on this 21<sup>st</sup>

day of June, 1996, personally appeared before me Jane E. Schultz to me known to be the individual she

described in and who executed the within instrument and acknowledged that she signed the same as her free and voluntary act and deed for the uses and purposes herein mentioned.

Signed and sworn to before me this 21<sup>st</sup> day of June, 1996.

9607150112

Vanessa Stuller

Notary Public in and for the State of Washington

My appointment expires: 12-29-98





Transamerica Title Insurance Company

THIS SPACE PROVIDED FOR RECORDER'S USE:

FILED FOR RECORD AT REQUEST OF

WHEN RECORDED RETURN TO

Name: Kim Schultz
Address: P O Box 1205
City, State, Zip: Mount Vernon WA 98273

LPB-12

Quit Claim Deed

THE GRANTOR JANE ELIZABETH SCHULTZ,

for and in consideration of Decree of Dissolution entered in Skagit County Cause No. 91-3-00005-7 on April 29, 1992 conveys and quit claims to KIM LOREN SCHULTZ

the following described real estate, situated in the County of SKAGIT State of Washington, together with all after acquired title of the grantor(s) therein.

Tract B, Short Plat No 30-77, Located in Section 29, Township 34 North, Range 4 East, W.M., Approved July 19, 1987, and Recorded in Volume 2 of Short Plats, Page 87, Recorded Under Auditor's File No. 861105, Records of Skagit County, Washington.

Situate in the County of Skagit, State of Washington.

Dated 5-28, 1992

Jane Elizabeth Schultz
Jane Elizabeth Schultz

(Individual)

By (President)

By (Secretary)

STATE OF WASHINGTON
COUNTY OF Skagit

On this day personally appeared before me Jane Elizabeth Schultz to me known to be the individual described in and who executed the within and foregoing instrument, and acknowledged that she signed the same as her free and voluntary act and deed, for the uses and purposes therein mentioned.

STATE OF WASHINGTON
COUNTY OF

On this day of 19 before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared

and to me known to be the President and Secretary, respectively, of

the corporation that executed the foregoing instrument, and acknowledged the said instrument to be the free and voluntary act and deed of said corporation, for the uses and purposes therein mentioned, and on oath stated that authorized to execute the said instrument and that the seal affixed is the corporate seal of said corporation.

Witness my hand and official seal hereto affixed the day and year first above written.

GIVEN under my hand and official seal this 28th day of May 1992
Donna Larson
Notary Public in and for the State of Washington, residing at Mount Vernon
My appointment expires: 10-3-95

Notary Public in and for the State of Washington, residing at

My appointment expires: BK 1567 PG 0018

9607150112

**APPENDIX B  
PLANNING STUDY ON ADULT USES**

**SITE 53**

When Recorded Please Return To:  
Lawrence A. Pirkle  
321 West Washington, Suite 300  
Mt. Vernon, WA 98273



200406030079  
Skagit County Auditor

6/3/2004 Page 1 of 1 12:15PM

This Space For Recorder's Use Only

**QUIT CLAIM DEED**

**THE GRANTOR**, MARTIN BOER and TONNIE BOER, husband and wife, for and in consideration of transfer to a Limited Liability Company pursuant to Internal Revenue Code 721, (mere change in form of ownership), conveys and quit claims to **GRANTEES**, SIGN LITE, LLC, a Washington Limited Liability Company the following described real estate, situated in the County of Skagit, State of Washington, together with all after acquired title of the grantor therein.

**Assessor's Parcel No. P28234 340429-0-083-0003**

That portion of the Southwest Quarter of the Southwest Quarter of the Southwest Quarter of Section 29, Township 34 North, Range 4 East W.M., described as follows:

Beginning at the intersection of the North line of said subdivision and the East line of Alfred Johnson Road, formerly State Highway No. 99; thence East along the North line of said subdivision a distance of 375.52 feet; thence South parallel to the East line of said road 116.0 feet; thence West parallel to the North line of said subdivision 375.52 feet to the East line of said road; thence North along the East line of said road 116.0 feet to the point of beginning.

Situate in the County of Skagit, State of Washington

Dated 1 day of June, 2004

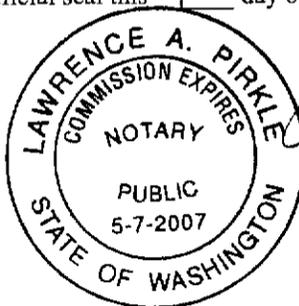
Martin Boer

Tonnie Boer

State of Washington )  
  )ss.  
County of Skagit )

On this day personally appeared before me MARTIN BOER and TONNIE BOER to me known to be the individuals described in and who executed the within and foregoing instrument, and acknowledged that they signed the same as their free and voluntary act and deed, for the uses and purposes therein mentioned.

GIVEN under my hand and official seal this 1 day of June, 2004



LAWRENCE A. PIRKLE

Notary Public in and for the State of Washington  
Residing at: Mt. Vernon  
My Commission Expires: 5/7/07

# 2771  
SKAGIT COUNTY WASHINGTON  
REAL ESTATE EXCISE TAX

JUN 3 - 2004

Amount Paid \$  
Skagit Co. Treasurer  
By Deputy

**APPENDIX B  
PLANNING STUDY ON ADULT USES**

**SITE 54**

7  
3  
10-

**AFTER RECORDING MAIL TO:**

Robert L. Jurgena  
1708 Staudt Road  
Mount Vernon, WA 98273

SKAGIT COUNTY WASHINGTON  
KATHY HILL CLERK

97 JUL -1 A9:53

RECORDED FILED  
REQUEST OF \_\_\_\_\_

**9707010019**

Filed for Record at Request of  
Land Title Company of Skagit County  
Escrow Number: P-82039-E  
LAND TITLE COMPANY OF SKAGIT COUNTY

**Statutory Warranty Deed**

Grantor(s): Zora L. Bullock  
Grantee(s): Robert L. Jurgena, Lucelia M. Grace  
Abbreviated Legal: Ptn SW 1/4 SW 1/4 29-34-4 EWM  
Additional legal(s) on page: 2  
Assessor's Tax Parcel Number(s): 340429-0-064-0006/P28211

THE GRANTOR Zora L. Bullock, an unmarried woman, as her separate property for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid, conveys and warrants to Robert L. Jurgena, an unmarried man and Lucelia M. Grace, an unmarried woman the following described real estate, situated in the County of Skagit, State of Washington: See Attached Exhibit A

18800  
SKAGIT COUNTY WASHINGTON  
Real Estate Excise Tax  
PAID

See Attached Exhibit B  
Dated this 30th day of June, 1997

JUL - 1 1997

By: Zora L. Bullock  
Zora L. Bullock

By: \_\_\_\_\_  
Amount Paid \$ 765.00  
Skagit County Treasurer  
By: K Deputy

By \_\_\_\_\_

By \_\_\_\_\_

STATE OF Washington }  
County of Skagit } SS:

I certify that I know or have satisfactory evidence that Zora L. Bullock is the person who appeared before me, and said person acknowledged that she signed this instrument and acknowledge it to be her free and voluntary act for the uses and purposes mentioned in this instrument.

Dated: June 30, 1997

Nancy Lea Cleave  
Nancy Lea Cleave  
Notary Public in and for the State of Washington  
Residing at Mount Vernon  
My appointment expires: 9/01/98



**9707010019**

BK1679PG0573

**Exhibit A**

The West 110 feet of the East 330 feet of the North 120 feet of that portion of the Southwest 1/4 of the Southwest 1/4 lying West of a line parallel with and 31 feet East of the West line of the Northeast 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M., EXCEPT the North 20 feet thereof reserved for road purposes.

Situate in the County of Skagit, State of Washington.

**9707010019**

**BK 1679 PG 0574**

Exhibit B

SUBJECT TO Easement recorded March 26, 1941 under Auditor's No. Volume 182 of Deeds, page 554.

In the event of a dissolution of buyers relationship Lucelia M. Grace shall have the First Right of Ownership by buying out 1/2 interest of property from Robert L. Jurgena within 6 months of receipted notice of either party. Upon default, Robert L. Jurgena shall have 6 months time. Either way, value shall be determined by an appraiser or the division between 2 broker opinions. Shall neither party prevail, then the property shall be placed on the market and proceeds divided equally.

9707010019

BK 1679 PG 0575

**APPENDIX B  
PLANNING STUDY ON ADULT USES**

**SITE 55**

UNRECORDED

RETURN TO:  
JOHN W. HICKS  
SCHACHT & HICKS  
PO BOX 1165  
MOUNT VERNON WA 98273

  
200307220127  
Skagit County Auditor  
7/22/2003 Page 1 of 2 3:21PM

DOCUMENT TITLE: STATUTORY WARRANTY DEED

GRANTOR: HIGHET, GERALD A.  
HIGHET, SHARON A.

GRANTEE: HIGHET, JOHN D.  
HIGHET, LYN T.

ABBREVIATED LEGAL DESCRIPTION:

Ptn of SW 1/4 of the SW 1/4 of Sec 29, Twmsp 34 N, R 4 E. W.M.

ADDITIONAL LEGAL DESCRIPTION ON PAGE 1 OF DOCUMENT.

ASSESSOR'S TAX PARCEL NUMBER: 340429-0-057-0005/P28205

STATUTORY WARRANTY DEED

The Grantors, GERALD A. HIGHET and SHARON A. HIGHET, husband and wife, for and in consideration of the sum of One Dollar (\$1.00), in hand paid, convey and warrant to JOHN D. HIGHET and LYN T. HIGHET, husband and wife, the following described real estate situate in the county of Skagit, state of Washington, to wit:

Part of the SW 1/4 of the SW 1/4 of Section 29, Township 34 North, Range 4 East, W.M., described as follows:

Beginning on the east line of State Highway right of way 120 feet south of the north line of the said SW 1/4 of the SW 1/4; thence south along the east line of the said highway right of way 130 feet; thence east parallel with the north line of said SW 1/4 of the SW 1/4 to a point 31 feet east of the west line of the NE 1/4 of the SW 1/4 of the SW 1/4 of said section; thence north 130 feet; thence west to the place of beginning.





LU 05 - 015

# CITY OF MOUNT VERNON

Development Services Department  
 910 Cleveland Avenue  
 P.O. Box 809  
 Mount Vernon, WA 98273  
 Phone: (360) 336-6214 • FAX: (360) 336-6283  
 www.ci.mount-vernion.wa.us

## Land Use Permit Master Application

PROPERTY OWNER(S)	
NOTE: If there is more than one legal owner, please attach an additional notarized Master Application for each owner.	
NAME:	Jeff Rogers
ADDRESS:	224 E. Sharon Ave.
CITY/STATE:	Burlington 98233.
TELEPHONE NUMBER:	(360) 661-5061
APPLICANT (if other than owner)	
NAME:	John D. Hight
COMPANY:	(If applicable)
ADDRESS:	P.O. Box 1929
CITY/STATE:	Mount Vernon, WA 98273
TELEPHONE NUMBER:	360-421-5819
CONTRACTOR	
(Attach copy of L&I contractor's license number)	
NAME:	
COMPANY:	(If applicable)
ADDRESS:	
CITY/STATE:	
TELEPHONE NUMBER and EMAIL ADDRESS:	

PROJECT INFORMATION
Project or development name: All Valley Towing.
Property/project address(es) location: 2418 Old Hwy 99 S.
Skagit County Assessor's parcel number: P# 28205
Existing land use(s): vacant, ongoing use as commercial.
Proposed land uses: Impound lot, towing, parking
Existing comprehensive plan map designation: C-L
Proposed comprehensive plan map designation: N/A
Existing Zoning: C-L
Proposed Zoning (if applicable): N/A
Site Area (Sq. Ft. or acreage):
Project value:
Is the site located in any type of environmentally sensitive area? NO

Exhibit 1



# Ledger

City of Mount Vernon

City of Mount Vernon  
Post Office Box 809,  
Mount Vernon WA  
98273

## Property Location

Street #

Address

Unit

## Building

Application No.	Permit No.
T2005-01	T2005-01
LU05-002	LU05-002
D05-021	
LU05-010	LU05-010
LU05-015	LU05-015

## Business Licensing

Business Name	License No	Year	Fee

## Ledger Transactions

Date:

Receipt No.:

Entered By:

Received:

Total:

Amount:

Payment Type:

Check/Card #:

Building (2020):	
Mech (2020):	
Plumbing (2020):	
Plan Chk (2020):	
Other (2020):	
Building Total:	<input type="text" value="\$ 0.00"/>
Misc (6060):	<input type="text" value="\$ 8.88"/>
Commercial (4100):	
Plat (4100) Fee:	
ROW (2020):	
Sewer (2030):	
Capacity (6660):	
Expansion (6680):	
Engineer (4080):	

Sign (2020):	
St Surch (8240):	
Schools-IF (8280):	
Park-IF (4225):	
Fire-IF (4226):	
Traffic-IF (4227):	
Admin-IF (4000):	
Impact Fee Total:	
Land (4110):	<input type="text" value="\$ 310.00"/>
Enviro (4110):	<input type="text" value="\$ 200.00"/>
HOP (4110):	
Busn. Licn (2000):	
Trans. Yr.	
BL xref	<input type="text" value="LU05-015"/>

Misc Type:

Commercial Type:

Plat Type:

ROW Type:

Transaction Memo	
SUP	\$300.00
SEPA	\$200.00
Sign	\$ 10.00
Pstge	\$ 8.88 (12 x 2 x .37)

03-02-2005 10:00:00  
 USER:SD TOTAL:00:00:00  
 03-02-2005 10:00:00

**APPENDIX B  
PLANNING STUDY ON ADULT USES**

**SITE 56**



200707180074

Skagit County Auditor

7/18/2007 Page 1 of 3 12:50PM

Name: Christel L. Osborne

Address: 2428 Old Highway 99 South

City and State: Mount Vernon, WA 98273

Tax Account Number: P28198 and P28200

Escrow #: JM-1375

### QUIT CLAIM DEED

THE GRANTOR Christel L. Osborne, individually, and as Trustee of the Wayne E. Osborne, Testamentary Trust per Skagit County Probate Cause No. 94-4-00210-4,

for and in consideration of boundary line adjustment to self without monetary consideration

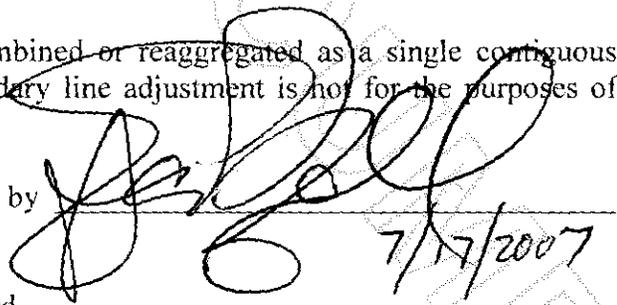
conveys and quit claims to Christel L. Osborne as Trustee of the Wayne E. Osborne Testamentary Trust per Skagit County Probate No. 94-4-00210-4,

the following described real estate, situated in the County of Skagit State of Washington together with all after acquired title of the grantor(s) therein:

The West 200 feet of the Northwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M., EXCEPT the North 250 feet thereof, AND ALSO EXCEPT the South 215 feet thereof, AND FURTHER EXCEPT the State Highway right-of-way along the West line thereof.

The above described property will be recombined or reaggregated as a single contiguous property owned by the Grantee. This boundary line adjustment is not for the purposes of creating an additional building lot.

This boundary line adjustment is approved by  
The Mount Vernon City Engineer.

  
7/17/2007

This conveyance is subject to matters of record.

Dated this 27<sup>th</sup> day of June, 2007.

Christel Osborne  
Christel L. Osborne, Individually

Christel Osborne  
Christel L. Osborne, Trustee

STATE OF WASHINGTON, }  
County of Skagit } ss.

ACKNOWLEDGMENT - Individual

On this day personally appeared before me Christel L. Osborne  
\_\_\_\_\_ to me known

to be the individual(s) described in and who executed the within and foregoing instrument, and acknowledged that she  
signed the same as her free and voluntary act and deed, for the uses and purposes therein mentioned.

GIVEN under my hand and official seal this 27th day of June, 2007



John S. Milnor  
Notary Public in and for the State of Washington,  
residing at Mount Vernon

My appointment expires 12/05/2010

STATE OF WASHINGTON, }  
County of Skagit } ss.

ACKNOWLEDGMENT - Representative Capacity

I certify that I know or have satisfactory evidence that Christel L. Osborne  
is the person who appeared before me, and said person acknowledged that he/she signed this instrument, on oath stated that he/she  
was authorized to execute the instrument and acknowledged it as the Trustee

\_\_\_\_\_ of  
the Wayne E Osborne Testamentary Trust (94-4-00210-4)  
to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument

GIVEN under my hand and official seal the day and year last above written.



John S. Milnor  
Notary Public in and for the State of Washington,  
residing at Mount Vernon

My appointment expires 12/05/2010

SKAGIT COUNTY WASHINGTON  
REAL ESTATE EXCISE TAX  
3399  
JUL 18 2007

Amount Paid  
Skagit Co. Treasurer  
By mem Deputy



200707180074  
Skagit County Auditor



200707180074

Skagit County Auditor

7/18/2007 Page 1 of 3 12:50PM

Name: Christel L. Osborne

Address: 2428 Old Highway 99 South

City and State: Mount Vernon, WA 98273

Tax Account Number: P28198 and P28200

Escrow #: JM-1375

### QUIT CLAIM DEED

THE GRANTOR Christel L. Osborne, individually, and as Trustee of the Wayne E. Osborne, Testamentary Trust per Skagit County Probate Cause No. 94-4-00210-4,

for and in consideration of boundary line adjustment to self without monetary consideration

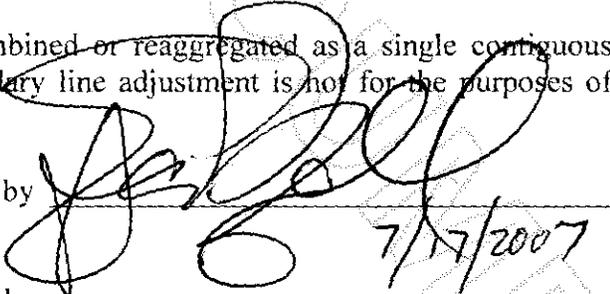
conveys and quit claims to Christel L. Osborne as Trustee of the Wayne E. Osborne Testamentary Trust per Skagit County Probate No. 94-4-00210-4,

the following described real estate, situated in the County of Skagit State of Washington together with all after acquired title of the grantor(s) therein:

The West 200 feet of the Northwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M., EXCEPT the North 250 feet thereof, AND ALSO EXCEPT the South 215 feet thereof, AND FURTHER EXCEPT the State Highway right-of-way along the West line thereof.

The above described property will be recombined or reaggregated as a single contiguous property owned by the Grantee. This boundary line adjustment is not for the purposes of creating an additional building lot.

This boundary line adjustment is approved by  
The Mount Vernon City Engineer.

  
7/17/2007

This conveyance is subject to matters of record.

Dated this 27<sup>th</sup> day of June, 2007.

Christel Osborne  
Christel L. Osborne, Individually

Christel Osborne  
Christel L. Osborne, Trustee

STATE OF WASHINGTON, }  
County of Skagit } ss.

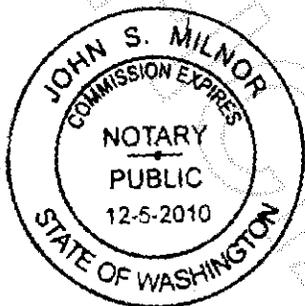
ACKNOWLEDGMENT - Individual

On this day personally appeared before me Christel L. Osborne

to me known

to be the individual(s) described in and who executed the within and foregoing instrument, and acknowledged that she  
signed the same as her free and voluntary act and deed, for the uses and purposes therein mentioned.

GIVEN under my hand and official seal this 27<sup>th</sup> day of June, 2007



John S. Milnor  
Notary Public in and for the State of Washington,  
residing at Mount Vernon

My appointment expires 12/05/2010

STATE OF WASHINGTON, }  
County of Skagit } ss.

ACKNOWLEDGMENT - Representative Capacity

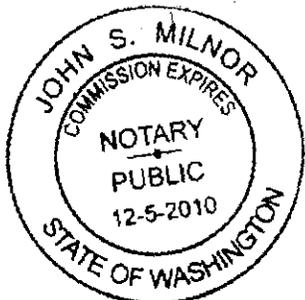
I certify that I know or have satisfactory evidence that Christel L. Osborne

is the person who appeared before me, and said person acknowledged that he/she signed this instrument, on oath stated that he/she  
was authorized to execute the instrument and acknowledged it as the Trustee

of the Wayne E Osborne Testamentary Trust (94-4-00210-4)

to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument

GIVEN under my hand and official seal the day and year last above written.

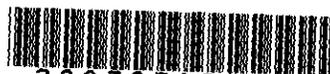


John S. Milnor  
Notary Public in and for the State of Washington,  
residing at Mount Vernon

My appointment expires 12/05/2010

SKAGIT COUNTY WASHINGTON  
REAL ESTATE EXCISE TAX  
3399  
JUL 18 2007

Amount Paid 0  
Skagit Co. Treasurer  
By mem Deputy



200707180074  
Skagit County Auditor

**APPENDIX B  
PLANNING STUDY ON ADULT USES**

**SITE 57**

910 Cleveland Avenue  
Mount Vernon, WA  
98273

# City Of Mount Vernon Building Inspection Record

For Inspection call: (360)  
336-6243 24 Hour notice  
required

Owner Name KIM YOUNG-SOO

Site Address 2224 S Old Hwy 99

Lot

Parcel Number P28105

Contractor Owner

( ) -

Permit Number: S10-025

F.I.R.M Designation:

Date Issued 08/23/2010

Street Setback Front:

Street Setback Rear:

Size of Building:

Size of Deck

Street Setback Left:

Street Setback Right

Size of Garage:

Size of Porch

Work Description:

Sewer Cap.

Type of Permit:

Building

No

Plumbing

No

Type of Const

Mechanical

No

Sign

No

### 1. FOUNDATION

Property lines must be staked

Inspection:	Date	By
Temp Erosion Control	_____	_____
Setbacks	_____	_____
Footing Reinforcement	_____	_____
Wall & Reinforcement	_____	_____
Slab w/ insulation	_____	_____
Ground Work Plumbing	_____	_____
Hold Downs	_____	_____

### 2. UNDERFLOOR FRAMING Before Floor Sheathing is Placed

Underfloor	_____	_____
Perimeter Drainage	_____	_____

### 3. SHEARWALL/BRACING PANELS

Shear Wall Nailing	_____	_____
Bracing Panels	_____	_____

### 4. PLUMBING/HEAT/VENTILATION Prior to Framing

Rough Plumbing	_____	_____
Rough Heat & Vent Duct	_____	_____
Fireplace Chase	_____	_____
Exhaust Fan	_____	_____
Water Heater (electric)	_____	_____

### 5. FRAMING

All Prior Corrections to Be Made  
WA St Electrical Approval Required

Framing	_____	_____
---------	-------	-------

### 6. INSULATION

All Framing Corrections Must Be Done

Attic - Ceiling	_____	_____
Floor	_____	_____
Wall Insulation	_____	_____

### OTHER INFORMATION ( ) -

Special site considerations  
Variance information  
Inspector Notes

Conditions: \_\_\_\_\_

### 7. DRYWALL

Inspection:	Date	By
Interior Shear Walls	_____	_____
Wall Board Nailing	_____	_____
Rated Separation Walls	_____	_____

### 8. FIRE INSPECTIONS

Fire Suppression System	_____	_____
Fire Alarm Acceptance Test	_____	_____
Hood/Duct Acceptance Test	_____	_____

### 9. MECHANICAL

Gas Fireplace	_____	_____
Gas Furnace	_____	_____
Gas Hot Water Heater	_____	_____
Gas Piping	_____	_____

### 10. IMPROVEMENTS

Water Line	_____	_____
Sewer Line	9-24-10	17
Driveway	_____	_____
Irrigation System (back flow)	_____	_____
Siding Final	_____	_____
Parking Striping / Signage	_____	_____
Sidewalk / Curb Cut	_____	_____

### 11. FINAL

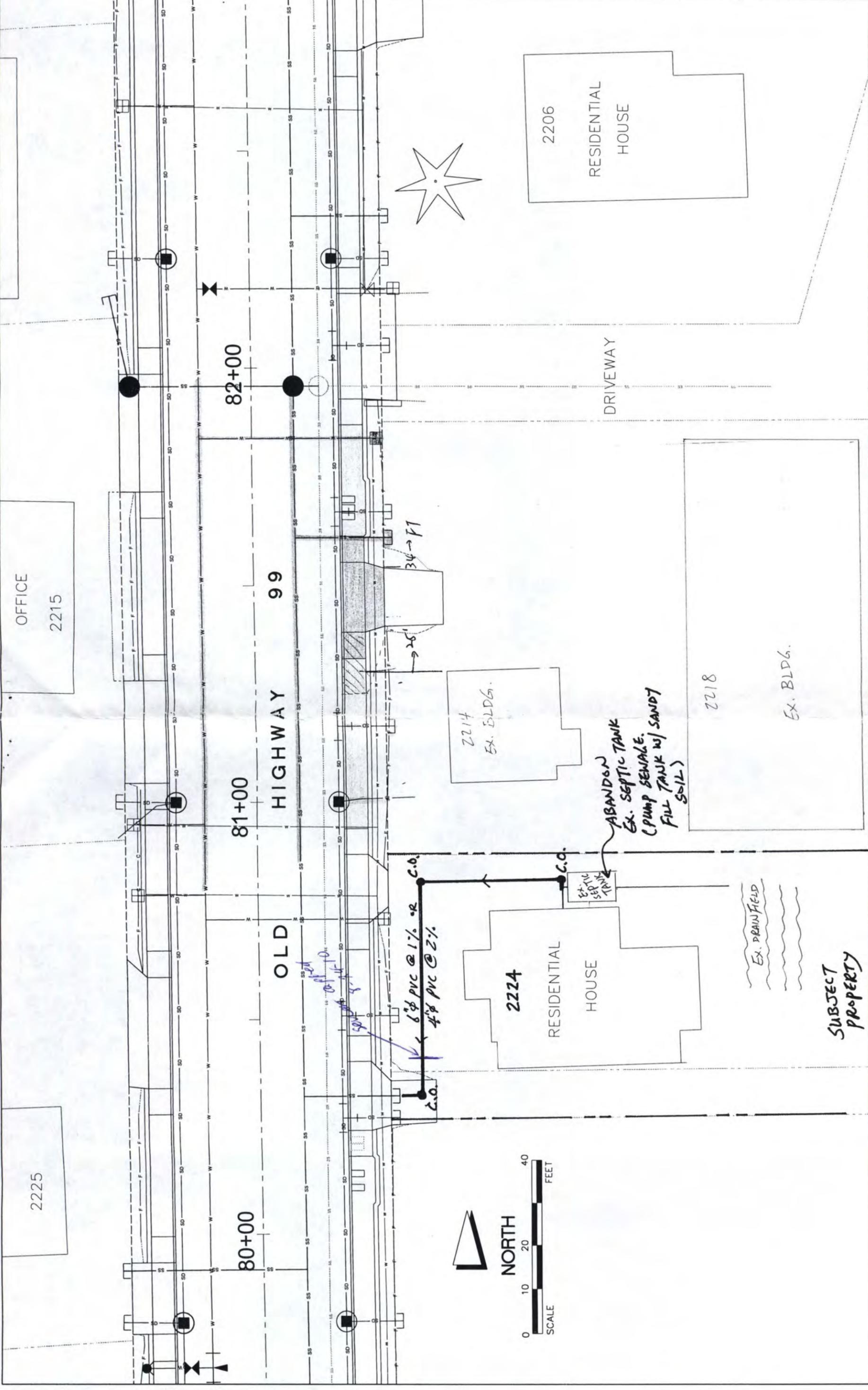
All Corrections Must Have been Made

Insulation Certification	_____	_____
Final Mechanical - NREC	_____	_____
Engineering Dept. Final	_____	_____
Fire Dept. Final	_____	_____
Architect/Engineer sign off	_____	_____
Flood Certification	_____	_____
Landscaping (street trees)	_____	_____
Roofing Final	_____	_____
Final For Occupancy	_____	_____

Plans: None Pulled Attached Unable to locate Be

*sewer capped, house will be torn down*





C:\Users\Young-S00\My Documents\Projects\Highway 99\Highway 99.dwg Mon Jun 04 11:22:23 2001

<p>Leonard, Boudinot &amp; Skodje Inc.          PROFESSIONAL ENGINEERS &amp; LAND SURVEYORS          6003 1st Ave. SW, Suite 100, Box 12888          Seattle, WA 98148          TEL: 206-328-0751 FAX: 206-328-3881</p>	<p>CITY OF MOUNT VERNON, WASHINGTON          SECTION 32, TOWNSHIP 34, N. RANGE 4, E. W.M.</p>	<p>SCALE: 1" = 20'          DRAWING NAME: YOUNG-S00          JOB NUMBER: 00078          DATE: JUNE 2001</p>	<p>HIGHWAY 99/ANDERSON ROAD IMPROVEMENTS          KIM YOUNG-SOO PROPERTY</p>	<p>PARCEL NO. 42</p>
	<p>2225          OFFICE 2215          2224 RESIDENTIAL HOUSE          2214 EX. BLDG.          2206 RESIDENTIAL HOUSE          2218 EX. BLDG.          SUBJECT PROPERTY          EX. DRAIN FIELD</p>			

UNRECORDED



Skagit County Auditor  
8/29/2014 Page 1 of 1 \$73.00  
2:12:48PM

**AFTER RECORDING MAIL TO:**

Young-Soo Kim  
2218 Old Highway 99 So.  
Mount Vernon, WA 98273

Filed for Record at Request of  
Young-Soo Kim

**QUIT CLAIM DEED**

**Grantor(s):** Double Creek Company, LLC  
**Grantee(s):** Young-Soo Kim  
**Abbreviated Legal(s):** Ptn. NW1/4, SE1/4, S22-T34N-R4E, Ptn. NW1/4, SW1/4, S29-T34N-R4E

**Assessor's Tax Parcel Number(s):** P27568, P124370, P28105, P28203 and P28167

**THE GRANTOR** Double Creek Company, LLC a Washington Limited Liability Company for and in consideration of **TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION** in hand paid, conveys and warrants to **Young-Soo Kim** the following described real estate, situated in the County of **Skagit**, State of **Washington**, together with all after acquired title of the grantor(s) therein:

See Exhibit "A"

**Change of Identity**

Dated: 8/29/14

Double Creek Company, LLC  
Young-Soo Kim, Manager

SKAGIT COUNTY WASHINGTON  
REAL ESTATE EXCISE TAX

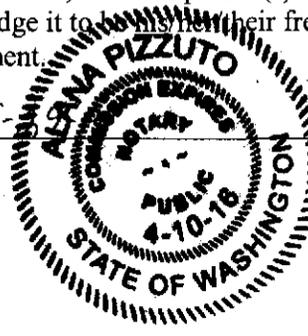
2014 319  
AUG 29 2014

Amount Paid \$ 0  
Skagit Co. Treasurer  
By mem Deputy

State of Washington )  
County of Skagit ) SS:

I certify that I know or have satisfactory evidence that Young-Soo Kim, the person(s) who appeared before me, and said person(s) acknowledged that he/she/they signed this instrument and acknowledge it to be his/her/their free and voluntary act for the uses and purposes mentioned in this instrument.

Date: 8-



Alana Pizzuto  
Notary Public in and for the State of Washington  
Residing at Mount Vernon  
My appointment expires: 4-10-2016

## Exhibit "A"

### P27568

LOT 1 OF SKAGIT COUNTY, KIM SHORT PLAT/CaRD PL06-0054 RECORDED UNDER AF#200604270130, BEING A PORTION LOCATED IN THE NORTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 22, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M..

### P124370

LOT 2 OF SKAGIT COUNTY, KIM SHORT PLAT/CaRD PL06-0054 RECORDED UNDER AF#200604270130, BEING A PORTION LOCATED IN THE NORTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 22, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M..

### P28105

THAT PORTION OF THE NORTHWEST ¼ OF THE SOUTHWEST ¼ OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 450 FEET NORTH OF THE INTERSECTION OF THE EAST OF PACIFIC HIGHWAY (ALSO KNOWN AS OLD HIGHWAY 99 SOUTH) WITH THE SOUTH LINE OF SAID NORTHWEST ¼ OF THE SOUTHWEST ¼; THENCE EAST AT RIGHT ANGLE A DISTANCE OF 76.80 FEET; THENCE SOUTH 61.00 FEET; THENCE WEST AT RIGHT ANGLES 76.80 FEET; THENCE NORTH TO THE POINT OF BEGINNING.

### P28203

THAT PORTION OF THE NORTHWEST ¼ OF THE SOUTHWEST ¼ OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 450 FEET NORTH OF THE INTERSECTION OF THE EAST OF PACIFIC HIGHWAY (ALSO KNOWN AS OLD HIGHWAY 99 SOUTH) WITH THE SOUTH LINE OF SAID NORTHWEST ¼ OF THE SOUTHWEST ¼; THENCE EAST AT RIGHT ANGLE A DISTANCE OF 76.80 FEET TO THE TRUE POINT OF BEGINNING; THENCE EAST A DISTANCE OF 123.20 FEET; THENCE SOUTH 61.00 FEET; THENCE WEST AT RIGHT ANGLES 123.20 FEET; THENCE NORTH TO THE TRUE POINT OF BEGINNING.

### P28167

THAT PORTION OF THE NORTHWEST ¼ OF THE SOUTHWEST ¼ OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., DESCRIBED AS FOLLOWS:

THE WEST 140 FEET OF THE FOLLOWING DESCRIBED TRACT:

BEGINNING AT A POINT ON THE EAST SIDE OF THE PACIFIC HIGHWAY 550 FEET NORTH OF THE SOUTH LINE OF SAID NORTHWEST ¼ OF THE SOUTHWEST ¼; THENCE EAST AT RIGHT ANGLES 871.2 FEET; THENCE SOUTH 100 FEET; THENCE WEST AT RIGHT ANGLE 871.2 FEET; THENCE NORTH 100 FEET TO THE PLACE OF BEGINNING.



201408290133

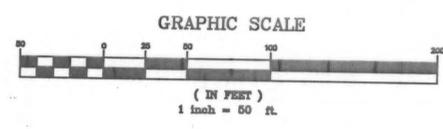
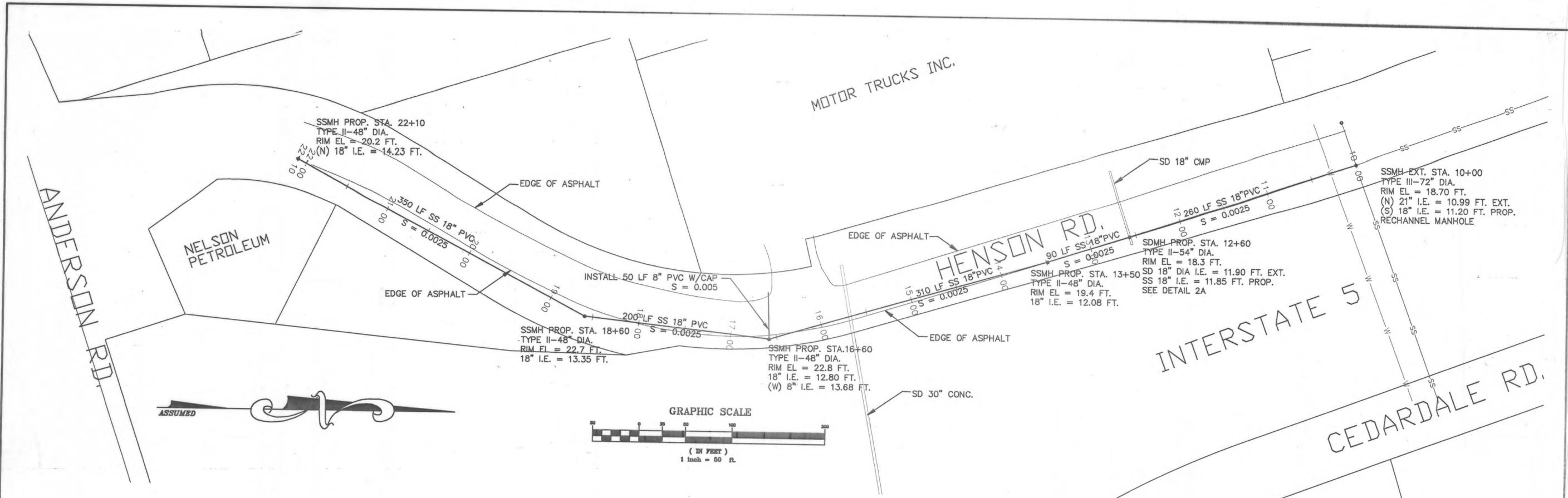
**APPENDIX B  
PLANNING STUDY ON ADULT USES**

# **SITES**

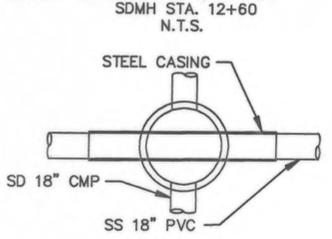
**ALONG HENSON ROAD**

**(PRO 98-18)**

SH1061  
 PLAN & PROFILE PR 98-18A  
 SOUTH MOUNT VERNON SEWER IMPROVEMENTS  
 (A-2 LINE) HENSON RD

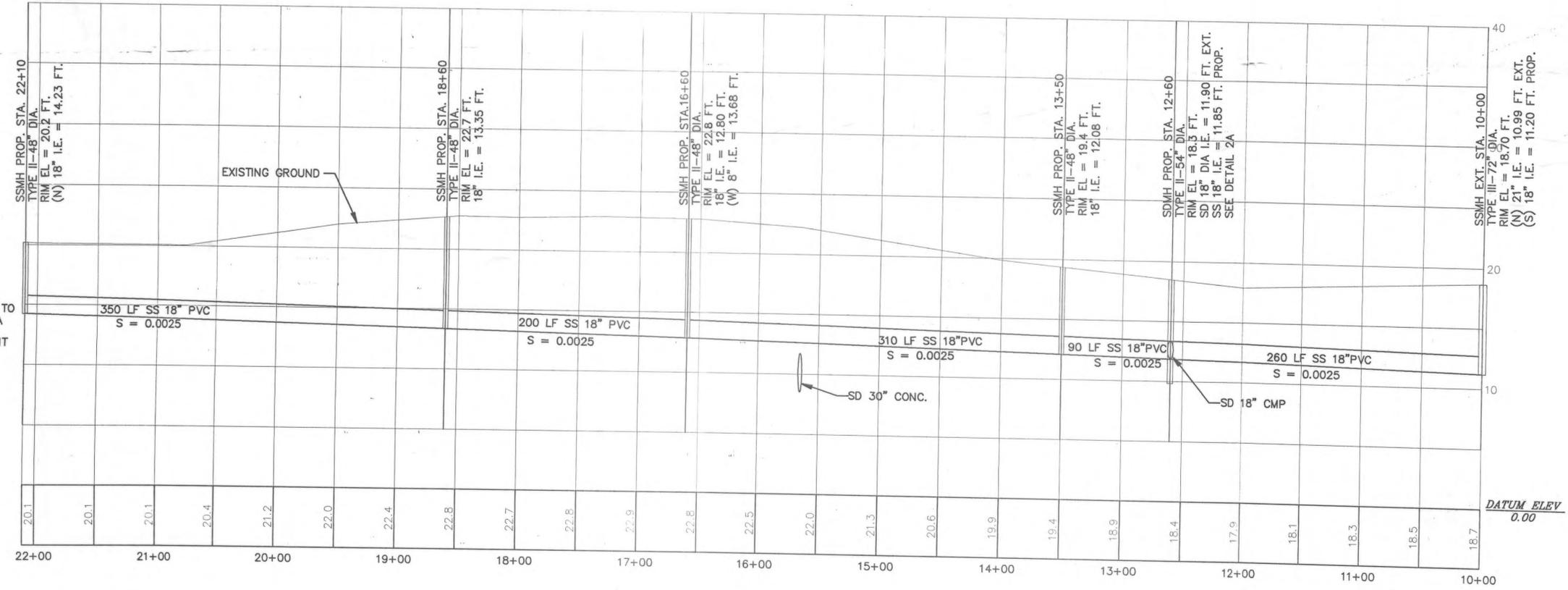


**DETAIL 2A**



**NOTES:**

ALL TRENCH CONSTRUCTION SHALL CONFORM TO CITY OF MOUNT VERNON STANDARD PLAN #4A  
 T.B.M.: TOP OF NORTH BOLT OF FIRE HYDRANT BASE SOUTH OF MOTOR TRUCK ENTRANCE ELEV. = 20.07 FT.



NO.	DATE	BY	REVISION

Designed By  
 M. LOVE  
 Drawn By  
 D. ANDERSON  
 Checked By  
 XXXX  
 Dwg. Filename  
 98HENSEW.DWG

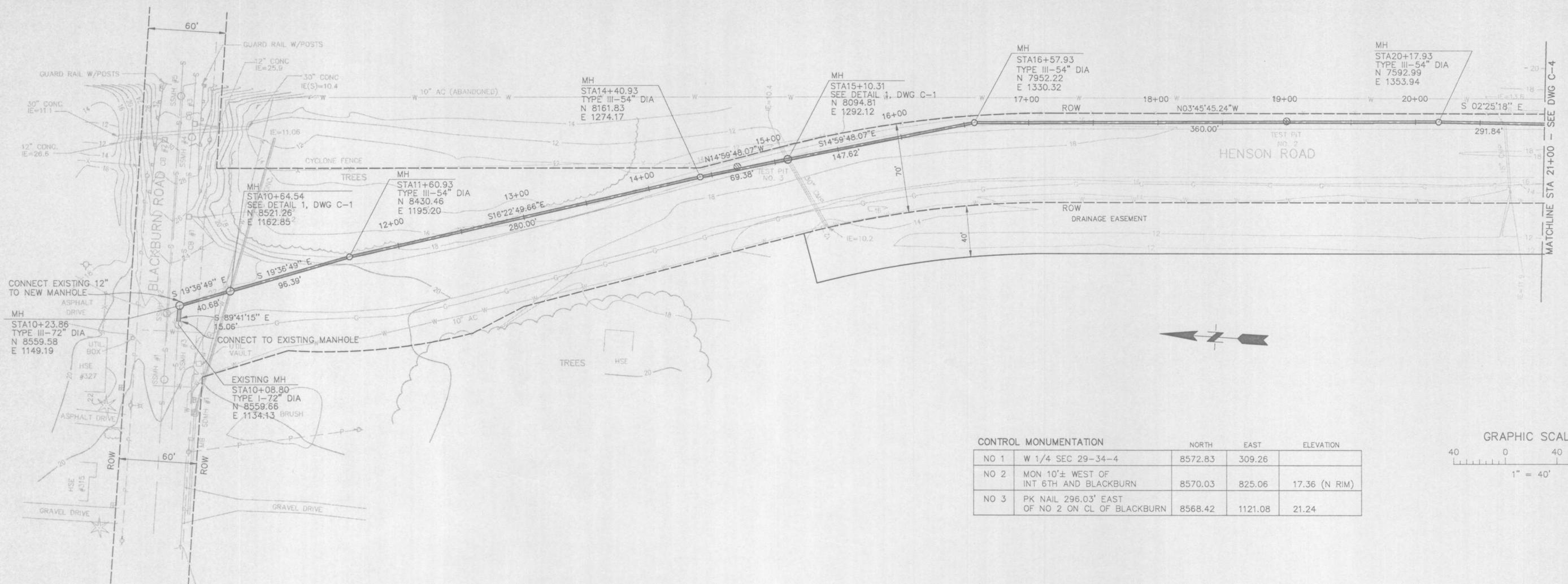
Scale:  
 Horiz: 1" = 50'  
 Vert: 1" = 5'  
 PROJECT NO.  
 98-18  
 Date  
 9-15-98

ENGINEERING DEPARTMENT  
 Post Office Box 809  
 Washington 98273  
 (360) 336-6204

SOUTH MOUNT VERNON  
 SEWER EXTENSION

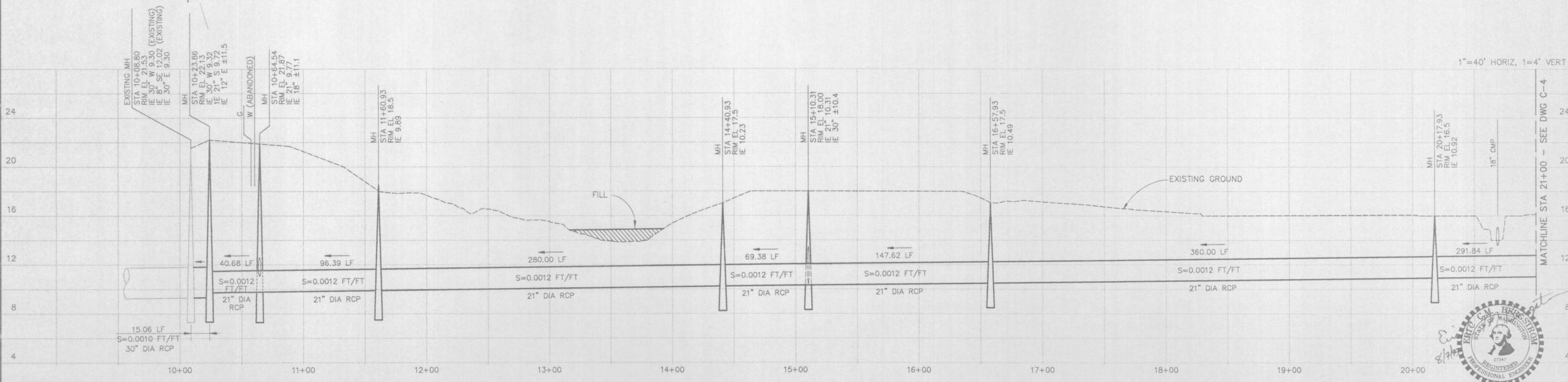
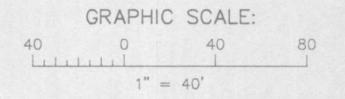
PLAN AND PROFILE  
 HENSON ROAD

Sheet  
 1  
 of  
 1



CONTROL MONUMENTATION

		NORTH	EAST	ELEVATION
NO 1	W 1/4 SEC 29-34-4	8572.83	309.26	
NO 2	MON 10'± WEST OF INT 6TH AND BLACKBURN	8570.03	825.06	17.36 (N RIM)
NO 3	PK NAIL 296.03' EAST OF NO 2 ON CL OF BLACKBURN	8568.42	1121.08	21.24



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SCS K:\MAA11\MAA11004 B-07-95 @ 14:42

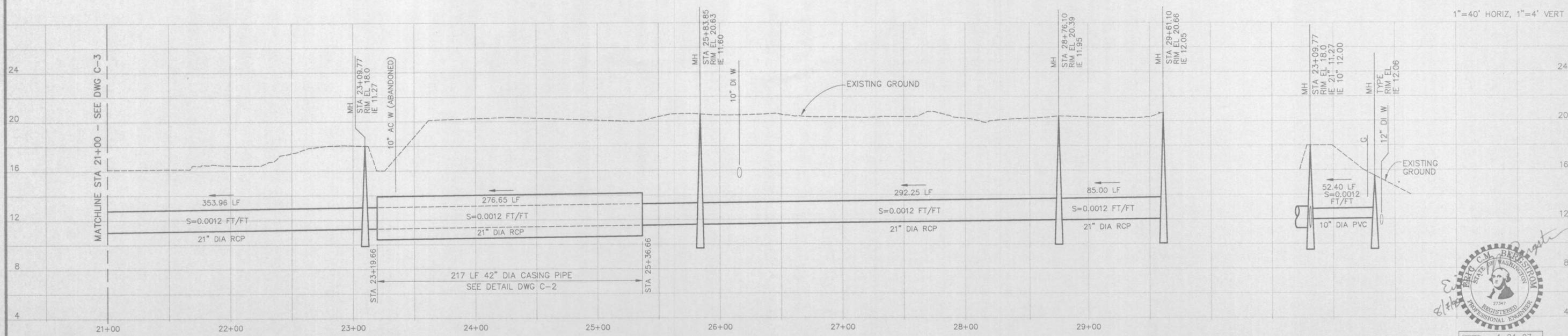
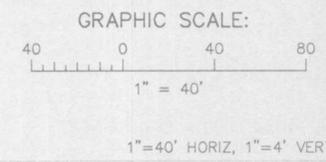
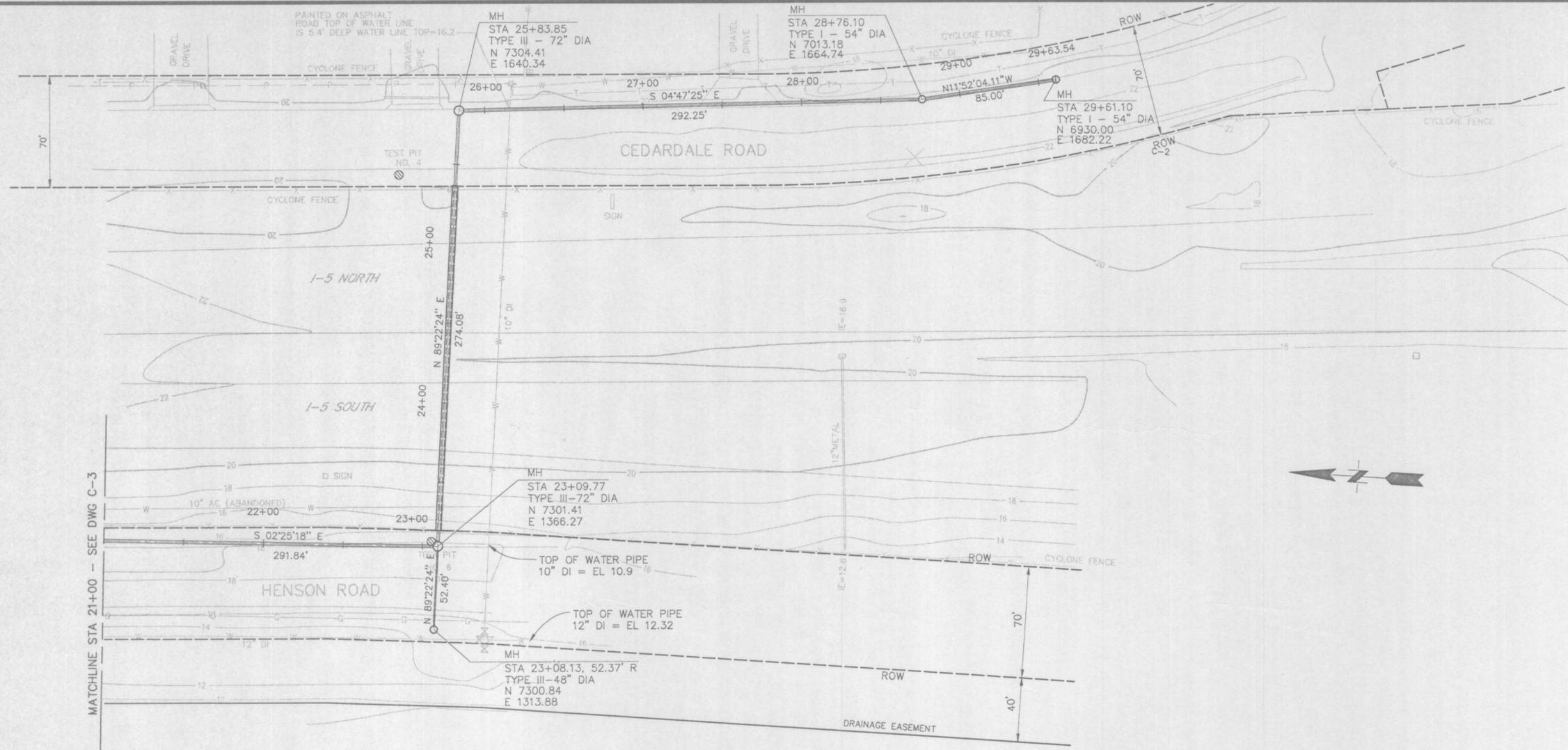
REV	DATE	DES	CK'D	APPROVALS	DESCRIPTION
0	8-7-95	ECMB	-		ISSUED FOR BIDS



CITY OF MOUNT VERNON, WASHINGTON  
SOUTH INTERCEPTOR  
PLAN AND PROFILE



FILE NO	MAA11004
W/O	WW-1279-AA1-AB
DWG NO	962-C-3.0



SCS K:\MAA11\MAA11005 8-07-95 @ 14:50

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REV	DATE	DES	CK'D	APPROVALS	DESCRIPTION
0	8-7-95	ECMB	RLC		ISSUED FOR BIDS
DRAWING REVISION RECORD					

DES	ECMB	CIVIL	ELEC
		REV	REV
DWN	CAD	MECH	STRUC
CK'D	RLC	APPD	DATE
			8-7-95



CITY OF MOUNT VERNON, WASHINGTON  
 SOUTH INTERCEPTOR  
 PLAN AND PROFILE

FILE NO. MAA11005  
 W/S WW-1279-AA1-AB  
 DWG NO. 962-C-4.0

# SOUTH INTERCEPTOR

FOR THE CITY OF MOUNT VERNON:

MAYOR: Raymond T. Reep, Jr

CITY ENGINEER: John C. Wiseman, P.E.

WASTE WATER SUPERINTENDENT: Walt Enquist

COUNCIL: Joe Best  
Donald Bottles  
Charles Cass  
John Cheney  
Bob Fiedler  
Pat Parker  
April Walker



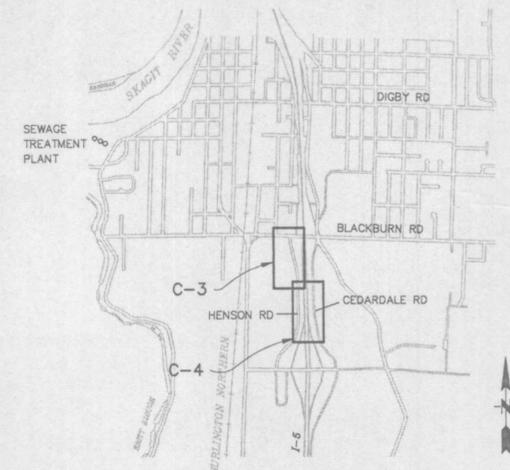
LOCATION MAP

## LEGEND - EXISTING UTILITIES

	MONUMENT - ANGLE POINT		ECCb	ELECTRICAL CABLE (BURIED)
	PAVEMENT		Ecd	ELECTRICAL CONDUIT (AERIAL)
	CONCRETE SIDEWALK		ECd	ELECTRICAL CONDUIT (BURIED)
	8" S		ED	ELECTRICAL DUCT (AERIAL)
	SS		ED	ELECTRICAL DUCT (BURIED)
	12" D		TCb	TELEPHONE CABLE (AERIAL)
	CATCH BASIN/PIPE CONNECTION		TCb	TELEPHONE CABLE (BURIED)
	36" CMP		TCa	TELEPHONE CONDUIT (AERIAL)
	8" W		TCa	TELEPHONE CONDUIT (BURIED)
	GATE VALVE		TD	TELEPHONE DUCT (AERIAL)
	THRUST BLOCK		TD	TELEPHONE DUCT (BURIED)
	BLOW-OFF		X-X-X	FENCE
	FIRE HYDRANT		IRR	UNDERGROUND SPRINKLERS
	2-NOZZLE		☐	TREE
	3-NOZZLE		⊕	SHRUB
	PLUG OR CAP		SS	SIGN
	2" G		BH-8	SOILS BORING LOCATION AND NUMBER
	UTILITY POLE		B-15B	BORING
	UTILITY POLE W/ ANCHOR		TP-3	TEST PIT
	LUMINARE		□	TELEPHONE RISER
	TRAFFIC SIGNAL			

## LEGEND - IMPROVEMENTS

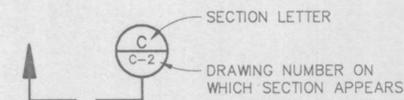
	RIGHT OF WAY - STREET MARGIN
	EASEMENT (PERMANENT)
	CENTERLINE
	SANITARY SEWER W/ MANHOLE



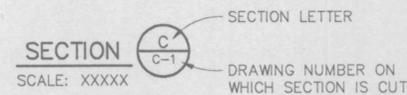
DRAWING INDEX MAP

## SECTION INDICATOR

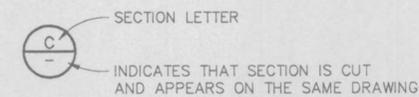
DRAWING ON WHICH SECTION IS CUT



DRAWING ON WHICH SECTION APPEARS



DRAWING ON WHICH SECTION IS CUT AND APPEARS



## DRAWING INDEX

962-G-1	COVER, LOCATION MAP, VICINITY MAP, LEGEND AND DRAWING INDEX
962-C-1	TYPICAL MANHOLE DETAILS
962-C-2	MISCELLANEOUS DETAILS
962-C-3	PLAN AND PROFILE
962-C-4	PLAN AND PROFILE

## ABBREVIATIONS

AC	ASBESTOS CEMENT	MAX	MAXIMUM
BH	BORE HOLE	MH	MANHOLE
CCP	CONCRETE CYLINDER PIPE	MIN	MINIMUM
CL	CENTERLINE	MON	MONUMENT
CMP	CORRUGATED METAL PIPE	N	NORTH
CONC	CONCRETE	NO	NUMBER
DI	DUCTILE IRON	OC	ON CENTER
DIA	DIAMETER	OD	OUTSIDE DIAMETER
DWG	DRAWING	PSI	POUNDS PER SQUARE INCH
E	EAST	R	RIGHT
EL	ELEVATION	RCP	REINFORCED CONCRETE PIPE
ETC	ETCETERA	RD	ROAD
FT	FOOT, FEET	ROW	RIGHT OF WAY
FT/FT	FOOT PER FOOT	S	SOUTH, SLOPE
HORIZ	HORIZONTAL	SEC	SECTION
HSE	HOUSE	SQ	SQUARE
ID	INSIDE DIAMETER	SS	SANITARY SEWER
IE	INVERT ELEVATION	STA	STATION
IN	INCH	UTIL	UTILITY
INT	INTERSECTION	VERT	VERTICAL
LF	LINEAR FOOT	W	WEST
		W/	WITH

SCS K:\MAA11\MAA11002 8-07-95 @ 10:31

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DWN	CAD	MECH REV	STRUC REV
CK'D	RLC	APPD	DATE
			8-7-95

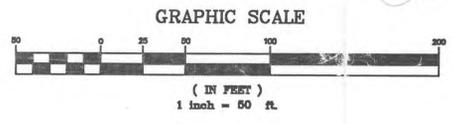
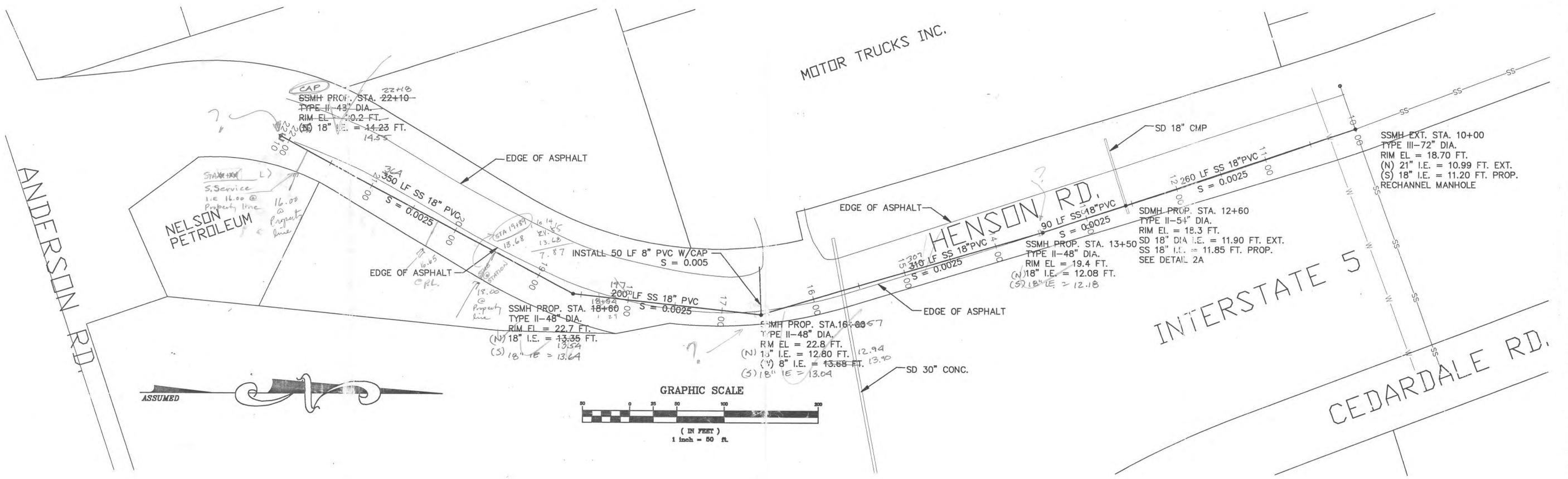


**John W.**  
CITY OF MOUNT VERNON, WASHINGTON  
SOUTH INTERCEPTOR  
COVER, LOCATION AND VICINITY MAPS,  
LEGEND AND DRAWING INDEX

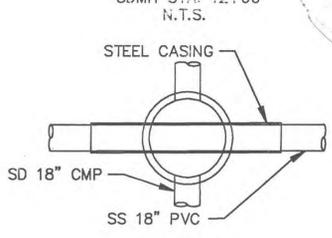


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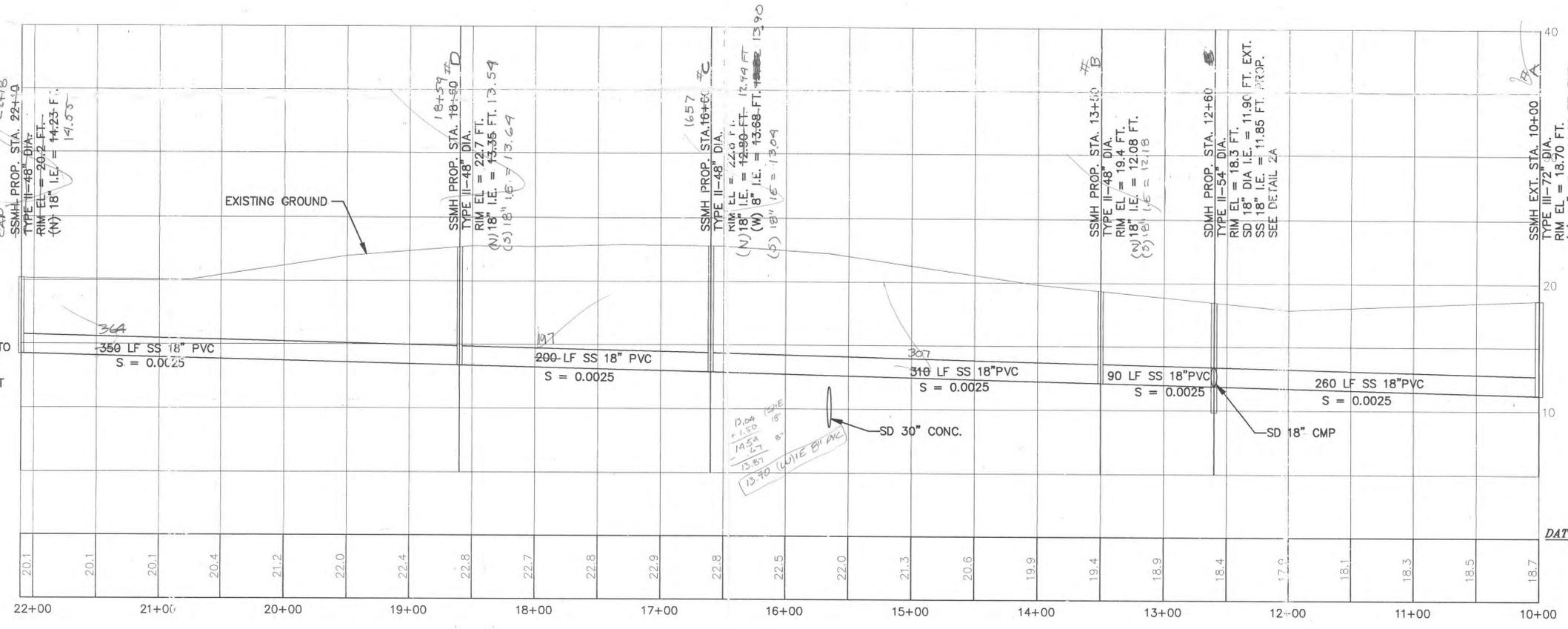
PR 98-018A



DETAIL 2A



NOTES:  
ALL TRENCH CONSTRUCTION SHALL CONFORM TO CITY OF MOUNT VERNON STANDARD PLAN #4A  
T.B.M.: TOP OF NORTH BOLT OF FIRE HYDRANT BASE SOUTH OF MOTOR TRUCK ENTRANCE ELEV. = 20.07 FT.



NO.	DATE	BY	REVISION

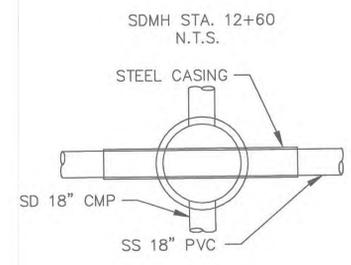
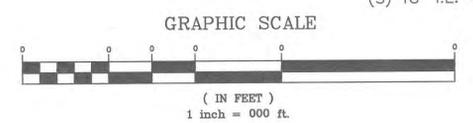
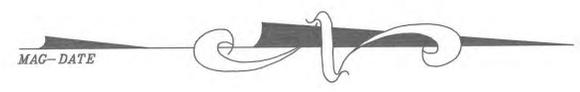
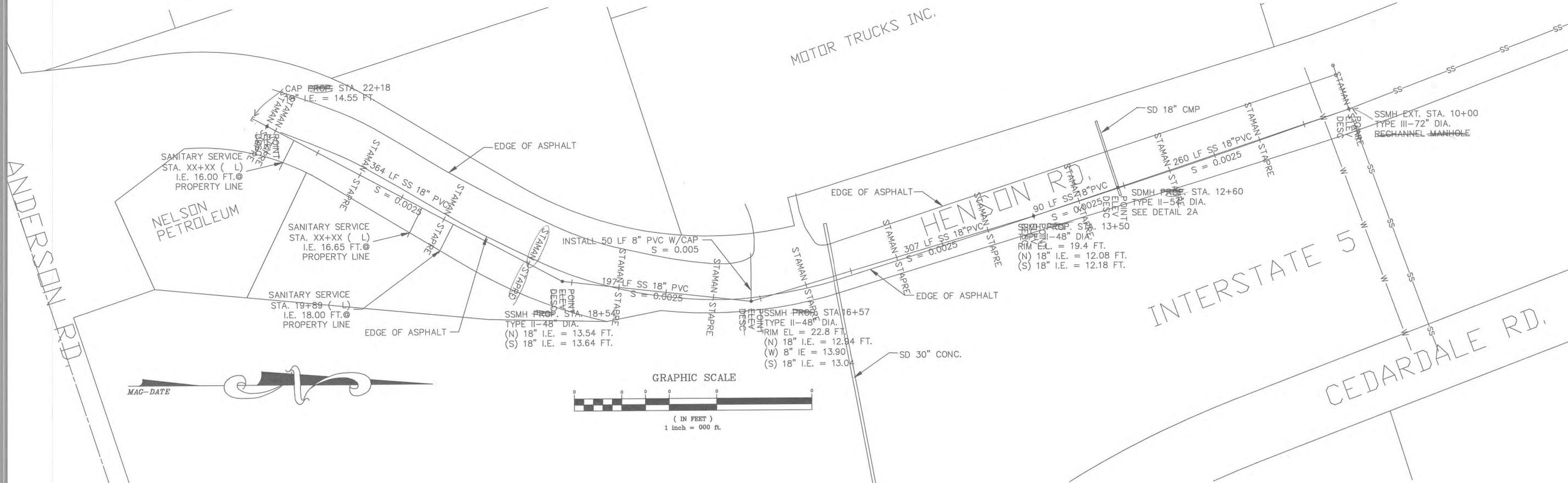
Designed By M. LOVE	Scale: 1" = 50' 1" = 5'
Drawn By D. ANDERSON	PROJECT NO. 98-18
Checked By XXXX	Date 9-15-98
Dwg. Filename 98HENSEW.DWG	

City of Mount Vernon  
ENGINEERING DEPARTMENT  
Post Office Box 809 Washington 98273  
(360) 336-6204

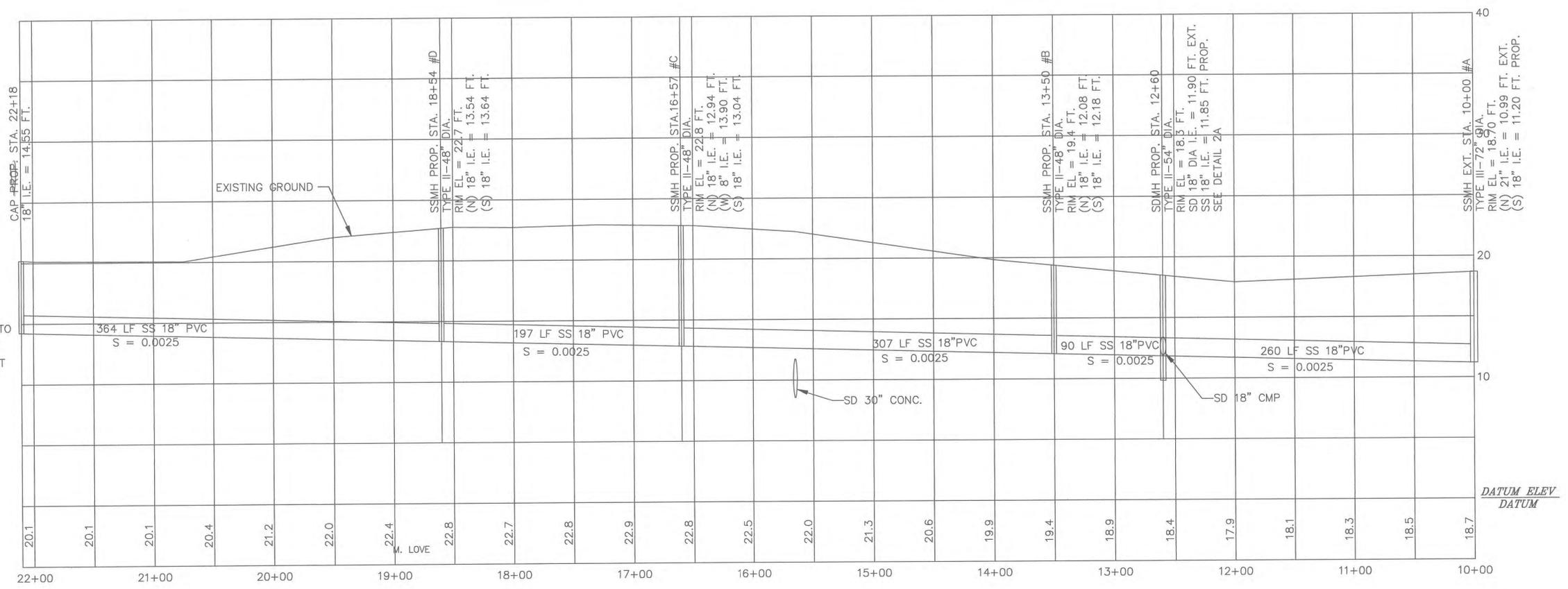
SOUTH MOUNT VERNON  
SEWER EXTENSION

PLAN AND PROFILE  
HENSON ROAD  
AS-BUILT

Sheet  
1  
1



ALL TRENCH CONSTRUCTION SHALL CONFORM TO CITY OF MOUNT VERNON STANDARD PLAN #4A  
 T.B.M.: TOP OF NORTH BOLT OF FIRE HYDRANT BASE SOUTH OF MOTOR TRUCK ENTRANCE ELEV.= 20.07FT.



*Needs Redlining*

NO.	DATE	BY	REVISION
1	4-7-99	LS	AS BUILT

Designed By  
M. LOVE  
 Drawn By  
D. ANDERSON  
 Checked By  
XXXX  
 Dwg. Filename  
98HENSEW.DWG

Scale:  
Horiz: 1"=50'  
Vert: 1"=5'  
 PROJECT NO.  
98-18  
 Date  
9-15-98

City of **Mount Vernon** ENGINEERING DEPARTMENT  
 Post Office Box 809 Washington 98273  
 (360) 336-6204

SOUTH MOUNT VERNON  
SEWER EXTENSION

PLAN AND PROFILE  
HENSON ROAD

**APPENDIX B  
PLANNING STUDY ON ADULT USES**

# **SITE 58 to 61**

ESCROW NO. 01-49666

FILED FOR RECORD AT REQUEST OF

FIRST AMERICAN TITLE COMPANY

P.O. Box 1667 1301-B Riverside Drive  
Mount Vernon, WA 98273

WHEN RECORDED RETURN TO

G.C. BOOKEY, Trustee for NATIONAL FOOD

CORPORATION 401K RETIREMENT PLAN  
P.O. BOX 33745  
SEATTLE, WA 98133

LEAVE SPACE PROVIDED FOR RECORDER'S USE:

SKAGIT

96 SEP 20 P3:30

RECORDED \_\_\_\_\_ FILED \_\_\_\_\_  
REQUEST OF \_\_\_\_\_

6319

9609200065

FIRST AMERICAN TITLE CO.

Statutory Warranty Deed

49666

THE GRANTOR RHETT D. DIXON and AMY R. DIXON, husband and wife

for and in consideration of: TEN DOLLARS AND OTHER VALUABLE CONSIDERATION

in hand paid, conveys and warrants to G.C. BOOKEY, Trustee for NATIONAL FOOD  
CORPORATION 401K RETIREMENT PLAN

the following described real estate, situated in the County of SKAGIT, State of  
Washington:

SEE ATTACHED EXHIBIT A WHICH IS MADE A PART HEREOF BY THIS REFERENCE

SUBJECT TO PARAGRAPH A OF SCHEDULE B OF FIRST AMERICAN TITLE COMPANY'S  
PRELIMINARY COMMITMENT NO. 49666.

#15125  
SKAGIT COUNTY WASHINGTON  
Real Estate Excise Tax  
PAID

SEP 20 1996

Amount Paid \$1392<sup>30</sup>  
By: Skagit County Treasurer  
Deputy

DATED : 09/16/1996

RHETT D. DIXON

AMY R. DIXON

STATE OF WASHINGTON )  
                                  ) ss  
COUNTY OF SKAGIT     )

On this day personally appeared before me RHETT D. DIXON and AMY R. DIXON to  
me known to be the individual(s) described in and who executed the within and  
foregoing instrument, and acknowledged that he/she/they signed the same as  
his/her/their free and voluntary act and deed, for the uses and purposes  
therein mentioned.

GIVEN under my hand official seal this 16 day of September, 1996.



Notary Public in and for the State of  
Washington residing at Mt. Vernon

My appointment expires 12/15/1997

9609200065

BK1587PG0011

EXHIBIT A - LEGAL DESCRIPTION.

THAT PORTION OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29,  
TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF THE RIGHT OF WAY OF THE PACIFIC  
HIGHWAY, 50 FEET NORTH OF THE INTERSECTION OF SAID EAST LINE WITH THE  
SOUTH LINE OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29,  
TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., THENCE RUNNING EAST, 217.8 FEET  
PARALLEL WITH THE SOUTH LINE OF SAID NORTHWEST 1/4; THENCE NORTH, 50 FEET  
PARALLEL WITH SAID EAST LINE OF RIGHT OF WAY OF PACIFIC HIGHWAY; THENCE  
WEST, 217.8 FEET PARALLEL WITH SAID SOUTH LINE OF SAID NORTHWEST 1/4 OF A  
POINT OF INTERSECTION OF SAID EAST LINE OF SAID RIGHT OF WAY OF PACIFIC  
HIGHWAY; THENCE SOUTH ALONG SAID EAST LINE OF SAID PACIFIC HIGHWAY RIGHT  
OF WAY TO POINT OF BEGINNING.

9609200065

BK1587PG0012

**APPENDIX B  
PLANNING STUDY ON ADULT USES**

**SITE 62**

When recorded return to:

Mark Hansen  
211 Anderson Road  
Mount Vernon, WA 98273



Skagit County Auditor \$73.00  
5/16/2013 Page 1 of 2 8:51AM

Filed for Record at Request of  
Land Title and Escrow  
Escrow Number: 146469-OE

Grantor: John B. Frey and Michelle Frey  
Grantee: Mark Hansen

146469-OE

LAND TITLE OF SKAGIT COUNTY Statutory Warranty Deed

THE GRANTOR JOHN B. FREY and MICHELLE FREY, husband and wife for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid, conveys and warrants to MARK HANSEN, a single person the following described real estate, situated in the County of Skagit, State of Washington:

Abbreviated Legal: Ptn SW 1/4 Of SW 1/4, 29-34-4 E W.M.

SEE ATTACHED EXHIBIT "A" HERETO FOR LEGAL DESCRIPTION

Tax Parcel Number(s): 340429-3-023-0206, P28095

Subject to all covenants, conditions, restrictions, reservations, agreements and easements of record including, but not limited to, those shown on Schedule "B-1" of Land Title Company's Preliminary Commitment No. 146469-OE.

Dated May 14, 2013

John B. Frey  
John B. Frey

Michelle Frey  
Michelle Frey

SKAGIT COUNTY WASHINGTON  
REAL ESTATE EXCISE TAX  
20131794  
MAY 16 2013

STATE OF Washington }  
COUNTY OF Skagit } SS:

Amount Paid \$ 3,743.<sup>00</sup>  
Skagit Co. Treasurer  
By Deputy

I certify that I know or have satisfactory evidence that John B. Frey and Michelle Frey the person(s) who appeared before me, and said person(s) acknowledged that they signed this instrument and acknowledge it to be their free and voluntary act for the uses and purposes mentioned in this instrument.

Dated: May 15, 2013

Karen Ashley  
Karen Ashley  
Notary Public in and for the State of Washington  
Residing at Sedro-Woolley  
My appointment expires: 9/11/2014



**EXHIBIT A**

**PARCEL "A":**

That portion of the Southwest ¼ of the Southwest ¼ of the Southwest ¼ of Section 29, Township 34 North, Range 4 East, W.M., described as follows:

Beginning at a point on the South line of said subdivision that is 464.68 feet East of the Southwest corner thereof;

thence North 88°37' East along said South line, 100 feet;

thence North 0°30' West parallel to the East line of said subdivision, 217.8 feet;

thence South 88°37' West 100 feet;

thence South 0°30' East, 217.8 feet to the point of beginning;

EXCEPT County Road right-of-way along the South line thereof;

EXCEPT that portion, if any, lying within the East 100 feet of the South 544.5 feet of said subdivision;

AND EXCEPT that portion condemned by the State of Washington in Judgment and Decree of Appropriation entered March 23, 1973 under Skagit County Superior Court Cause No. 33040.

Situate in the City of Mount Vernon, County of Skagit, State of Washington.

**PARCEL "B":**

That portion of the Southwest ¼ of the Southwest ¼ of the Southwest ¼ of Section 29, Township 34 North, Range 4 East, W.M., described as follows:

The South 217.8 feet of the East 100 feet of the East 200 feet of the Southwest ¼ of the Southwest ¼ of the Southwest ¼ of Section 29, Township 34 North, Range 4 East, W.M.

EXCEPT that portion acquired by the State of Washington by Judgment and Decree of Appropriation filed February 15, 1973 under SC#33040, Item 1.

Situate in the City of Mount Vernon, County of Skagit, State of Washington.

LPB 11-05(i-1)



**APPENDIX B  
PLANNING STUDY ON ADULT USES**

**SITE 63**

Filed for Record at the Request of:  
BETTS AUSTIN JOHNSON, P.L.L.C.  
1616 Cornwall Avenue, Suite 209  
Post Office Box 2788  
Bellingham, WA 98227-2788



200508120059  
Skagit County Auditor

8/12/2005 Page 1 of 3 10:39AM

**Document Title(s): Statutory Warranty Deed**  
**Reference No. of Documents Released/Assigned: N/A**  
**Grantors: TERRY L. DAWN and KAREN RENEE DAWN, husband and wife**  
**Grantees: MV LEASING, L.L.C., a Washington limited liability company**  
**Abbreviated Legal: THAT PORTION OF THE SE ¼ OF THE SW ¼ OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M.**  
**(Full Legal Description Attached as Exhibit "A" to Statutory Warranty Deed)**

**Parcel ID: #P28084 Xref ID: 340429-0-013-0107**

### STATUTORY WARRANTY DEED

The GRANTORS, TERRY L. DAWN and KAREN RENEE DAWN, husband and wife, for and in consideration of transfer to a limited liability company, convey and warrant to MV LEASING, L.L.C., a Washington Limited Liability Company, all of their interest [100%] in the following described real estate, situated in the County of Skagit, State of Washington, including any after acquired title:

See legal description attached hereto as Exhibit "A".

DATED: 8-5-05

SKAGIT COUNTY WASHINGTON  
REAL ESTATE EXCISE TAX

# 4338

AUG 12 2005

Amount Paid \$  
Skagit Co. Treasurer  
By *[Signature]* Deputy

*[Signature]*  
TERRY L. DAWN, Grantor

*[Signature]*  
KAREN RENEE DAWN, Grantor

STATE OF WASHINGTON )  
 )  
 ) ss.  
COUNTY OF WHATCOM )

On this day personally appeared before me TERRY L. DAWN, to me known to be the individual described in and who executed the within and foregoing instrument, and acknowledged that he signed the same as his free and voluntary act and deed for the uses and purposes therein mentioned.

Given under my hand and official seal this 5<sup>th</sup> day of August, 2005.



Christie Rector  
Name: Christie Rector  
NOTARY PUBLIC in and for the State of  
Washington, residing at Blaine.

STATE OF WASHINGTON )  
 )  
 ) ss.  
COUNTY OF WHATCOM )

On this day personally appeared before me KAREN RENEE DAWN, to me known to be the individual described in and who executed the within and foregoing instrument, and acknowledged that she signed the same as her free and voluntary act and deed for the uses and purposes therein mentioned.

Given under my hand and official seal this 5<sup>th</sup> day of August, 2005.



Christie Rector  
Name: Christie Rector  
NOTARY PUBLIC in and for the State of  
Washington, residing at Blaine.

EXHIBIT A

**Site Address: 2414 Cedardale Road, Mount Vernon, WA 98273**

**Parcel ID: P28084**

**Xref ID: 340429-0-013-0107**

That portion of the Southeast  $\frac{1}{4}$  of the Southwest  $\frac{1}{4}$  of Section 29, Township 34 North, Range 4 East, W.M, described as follows:

Beginning at the Northeast corner of said Southeast  $\frac{1}{4}$  of the Southwest  $\frac{1}{4}$ ;  
Thence North 89 degrees 09'18" West along the North line thereof, for 850.20 feet to the centerline of an existing drainage ditch and the true point of beginning;  
Thence South 42 degrees 31'22" East along centerline of said ditch, for 132.69 feet;  
Thence continuing South 44 degrees 14'09" East, along said centerline of drainage ditch for 298.58 feet;  
Thence South 6 degrees 35'07" East, being along said centerline of drainage ditch, for 14.81 feet to the South line of the North  $\frac{1}{2}$  of the North  $\frac{1}{2}$  of the Southeast  $\frac{1}{4}$  of the Southwest  $\frac{1}{4}$ ;  
Thence North 89 degrees 21'56" West to the East margin of that parcel conveyed to the State of Washington, under Auditor's File No. 754333, records of Skagit County, Washington;  
Thence Northerly, along said East margin to the North line of said Southeast  $\frac{1}{4}$  of the Southwest  $\frac{1}{4}$ ;  
Thence South 89 degrees 09'18" East, along said North line, to the true point of beginning.

Situate in the County of Skagit, State of Washington.



200508120059  
Skagit County Auditor

LU07-070

## Wetland Delineation and Stream Classification

RECEIVED  
CITY OF MOUNT VERNON

AUG 24 2007

C.E.D. DEPARTMENT  
BY \_\_\_\_\_

Staff copy

**Applicant:**

Doug Dyer  
Western Forest Products  
2414 Cedardale Road  
Mount Vernon, WA 98273

**Project Engineer:**

Young-Soo Kim, PE  
Summit Engineers  
2218 Old Hwy 99 South  
Mount Vernon, WA 98273



**Prepared by:**

Graham-Bunting Associates  
Environmental & Land Use Services  
3643 Legg Road  
Bow, WA 98232

Phone: 360.766.4441

Fax: 360.766.4443

**Date:** July 13, 2007

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### List of Attachments

- Attachment A: Aerial Site Plan
- Attachment B: Photos
- Attachment C: Corrected Page 24 of 29, Waters/Wetland Ecosystem Conditions & Functions
- Attachment D: DNR Activity Map and WDFW Salmonscape
- Attachment E: Critical Areas Site Plan
- Attachment F: Data Forms



## Graham-Bunting Associates

Environmental & Land Use Services

3643 Legg Road, Bow, WA 98232, Ph.360.766.4441, Fx. 360.766.4443

July 2, 2007

Young-Soo Kim, P.E.  
Summit Engineers  
2218 Old Hwy 99 South  
Mount Vernon, WA 98273

**RE: Wetland Reconnaissance and Stream Classification on P28084,**  
**Applicant: Doug Dyer**  
**Subject: Western Forest Products**

Dear Young-Soo:

Graham-Bunting Associates (GBA) have prepared a wetland reconnaissance and stream identification and classification in support of the building permit for Western Forest Products parcel # P28084 located at 2414 Cedardale Road, Mount Vernon. We have reviewed the Pre-application Memorandum from Christina Shell, Senior Planner dated May 15, 2007, requesting, at a minimum a wetland reconnaissance and stream identification.

### Property Location and Proposed Project

The subject property is located in the southeast corner of Section 29, Township 34, and Range 4 East, WM. It is on the east side of Cedardale Road in south Mount Vernon. It is bordered on the south by New Holland equipment sales and the north by a mobile home sales lot. On the west boundary is Cedardale Road and Interstate 5. The property is bordered by a mowed pasture on the eastern boundary.



Plate 1: USGS: Mount Vernon Quad. Photo Revised 1981

The proposed project consists of a 6000 square foot warehouse with a 1560 square foot office area. The new building will be located near Cedardale Road in the southwest corner of the site where the current use consists of a graveled surfaced storage area with pole buildings. The proposed building site is approximately seven-hundred feet to the west of the ditch.

### **Existing Conditions**

The site is an existing commercial sales yard for timber products. The westerly four-fifths of the site consists of an existing office located in a manufactured building with associated parking, covered storage buildings and open storage areas on compacted gravel surface. The easterly one-fifth of the site consists of a remnant pasture and a ditched stream on the westerly property line. The site is relatively flat with an approximate 2-5 % slope to the ditch. (**Attachment A: Aerial Photo**)

#### Vegetation

The grassy area consists predominantly of a mix of pasture grasses including; tall fescue (*Festuca arundinacea*), orchard grass (*Dactylis glomerata*), perennial rye (*Lolium perenne*), and fowl bluegrass (*Poa palustris*). Other plants in the field are creeping buttercup (*Ranunculus repens*) and to a lesser degree in the lower remnant wetter areas is Carolina meadow foxtail (*Alopecurus carolinianus*). The grassy area is used for equipment test mowing on a periodic basis.

The ditch has been historically shaped by mechanical machines, most likely for drainage purposes when the area was used for pasture. The flow in the ditch during our site investigations was undetectable. Reed canary grass (*Phalaris arundinacea*) is in the process of establishing a dense thicket of growth in the ditch channel and along the banks of the ditch. Watercress (*Nasturtium officinale*), cat-tail (*Typha latifolia*) and duck weed (*Lemna minor*) are also found growing inside the ditch. (**Attachment B: Photo #1**)

#### Soils

The soils in the pasture area consist mainly of dark brown silt loams for approximately 16-18 inches deep. They are not listed on the hydric soils list and do not display redoximorphic features. The ditch has a deep, silty, mucky bottom.

#### Hydrology

The only observable hydrology on site is in the ditch. Standing, somewhat stagnant water in the ditch was approximately five inches deep in most of the channel. The drainage to the ditch is either from a ground seep just north of the property or a combination of nearby runoff and seep. Ground water was below twenty inches during the dry season but indicators show that it may be as high as 12 inches below surface in the low lying areas. There are no other drainages or streams on this site. The existing ditch flows to the south under two culverts into an offsite stream channel known as Flowers Creek.

## Existing Information Review

The subject property has been addressed under a number of existing studies. These information sources have been reviewed and synthesized to assist GBA in characterizing the subject property. The sources are summarized below.

### National Wetland Inventory

The National Wetland Inventory (NWI) is compiled by the U.S. Department of Interior's Fish and Wildlife Service. NWI relies upon visual aerial photo interpretation of wetland indicators including hydrologic, vegetation and topographic signatures. NWI identifies one single wetland (Palustrine, emergent, seasonally flooded (PEMC)) on site in the southwest corner of the site near Cedardale Road. This part of the site is currently developed as a roadside grass strip with underground sanitary and storm sewer systems. Please see Photo Number 2 on the photo page. GBA utilize NWI only as a generalized map indication of the possible presence and extent of wetlands. GBA's reconnaissance and delineation procedures are always based on the site analysis.



Plate 2: USFWS NWI Mount Vernon Quad 1989

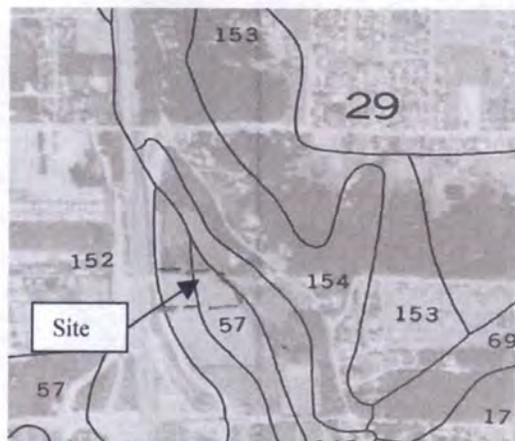


Plate 3: Soil Survey of Skagit County

### Soil Survey of Skagit County Area, Washington

The soil survey of Skagit County is compiled by the Natural Resource Conservation Service and includes mapped soil units registered to detailed descriptions of soil characteristics. The survey indicates two soil unit within the property boundaries, they are described below.

#96 Mount Vernon very fine sandy loam; This soil is a moderately well drained soil on 0-3% slopes. Typically the surface layer is a very dark brown, fine sandy loam, 10 inches thick. Permeability is moderate, water table has been lowered by drainage. This soil is mapped on the west side of the site along Cedardale Road and no longer exists in its natural state. It is currently covered with a mix of gravel and paved storage areas.

#57 Field silt loam, protected, 0-3%; This soil is very deep, moderately well drained. Typically, the surface layer is dark brown silt loam 13 inches thick. The upper 8 inches of the underlying layer is olive silt loam. Permeability is moderate and available water capacity is high. Seasonal high water table is approximately 36 to 48 inches from

November to May. The water table has been lowered through drainage practices on low lands. The Field silt loam is not on the local hydric soil list. This soil is mapped on the east side of the site where the test pits were dug in the remnant field.

#### City of Mount Vernon Wetland and Stream Inventories

The City of Mount Vernon has compiled several wetland and stream inventories to assist the City in planning and development processes. Consultation with City planning staff indicates that the inventory and maps are utilized as a review tool in determining areas, which require site-specific analysis in conjunction with development proposals.

GBA reviewed the Assessment of Waters/Wetland Ecosystem Conditions & Functions (Lee 2007) which incorporates the Shannon & Wilson City of Mount Vernon Stream Inventory (2002) and was prepared as Appendix J to the City's newly adopted Critical Areas Ordinance effective March 14, 2007. The subject property is located on Sheet 24 of 29. The inventory and guidelines were compiled utilizing existing resource information including NWI, Skagit Soil Survey, aerial photos, and selected areas for on-site visual analysis.

The eastern portion of the subject property is mapped as a potential wetland utilizing the Cowardin method for identification. The field portion of the site indicates a palustrine, emergent wetland (PEMC). There is a stream indicated on the site along the south property boundary. The existing ditch is not indicated on the aerial photo. The wetland and streams are discussed further in the Field Investigation and Findings section of this report. **(Attachment C: Lee 2007)**

#### City of Mount Vernon Comprehensive Surface Water Management Plan

The City's 1995 Surface Water Management Plan prepared by RW Beck depicts the most accurate layout of the steams, pipes and ditches with regards to the subject property. All of the existing documents show potential restoration opportunities and fish habitat in Flowers Creek and do not indicate the ditch on the subject property for fish habitat.

#### Washington State Department of Natural Resources (DNR) Stream Type Activity Maps

DNR has created a mapping data base that identifies stream types as defined in WAC 222-16-030 and 031, Interim Water Typing System. The subject ditch is identified as a "Type N" stream on the activity map. A "Type N" stream means that there are not fish in the stream. The Interim Water Typing System defines Type N streams further as Np (no fish-perennial) or Ns (no fish-seasonal). We agree with the Type Np for the subject stream/ditch. Our discussion on the subject stream/ditch is found in the Field Investigation and Findings section of this report. **(Attachment D: Plate 1)**

#### Washington State Department of Fish and Wildlife's SalmonScape Web Application

Washington Department of Fish and Wildlife (WDFW) has compiled a data base of existing knowledge from field biologists which is posted on their web site. This data is not exhaustive and is used by GBA as reference material only. On-site investigations are performed to confirm or identify existing conditions. SalmonScape does not identify the subject ditch on their map. They have identified Flowers Creek as having "total and

partial barriers” for fish passage. One barrier is downstream at the large culvert near I-5 and the other is at Blodgett Road. Flowers creek is identified as having “potential fish habitat”. (**Attachment D: Plate 2**)

## **Methodology**

### Wetlands

GBA utilized the 1987 Corps of Engineers Wetland Delineation Manual (Technical Report Y-87-1) and the Washington State Department of Ecology 1997 Washington State Wetland Identification and Delineation Manual in the preparation of this report. These Manuals represent the accepted standard for identifying and delineating wetlands for jurisdictional purposes under the Clean Water Act and for use in the City of Mount Vernon’s Critical Areas Ordinance. Guidance provided by the Corps to supplement the use of the manual within the Northwest Region was also considered. The Manual and the City incorporate the Clean Water Act Definition of Wetlands as follows:

“Those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support and that under normal circumstances do support a prevalence of vegetation typically adapted for life in saturated soil conditions.”

The Mount Vernon Municipal Code stipulates additional defining elements as follows:

“Wetlands generally include swamps, marshes, bogs and similar areas. Wetlands do not include those artificial wetlands created from non-wetland sites, including but not limited to, irrigation and drainage ditches, grass lined swales, canals, detention facilities, wastewater treatment facilities, farm ponds, and landscape amenities, or those wetlands created after July 1, 1990, that were unintentionally created as a result of the construction of a road, street or highway. Wetlands may include those artificial wetlands intentionally created from non-wetland areas created to mitigate conversion of wetlands.”

The definition requires that three interrelated defining elements or parameters be established when identifying wetlands. These parameters are wetland hydrology, hydric soils and hydrophytic vegetation.

### Wetland Hydrology

Water is the driving force, which creates and sustains wetlands. The 1987 Manual and subsequent Corps guidance identifies wetlands as areas where soils are inundated or continuously saturated for a minimum of 5% of the growing season (approximately 12.5 days for Western Washington). When direct observation of the water table cannot be made, hydrology is determined by relying upon hydrologic indicators such as hydric soil characteristics, water marks, drift lines, sediment deposits or drainage patterns.

### Hydric Soils

Wetlands exhibit hydric soils. These are soils which are saturated, flooded or ponded long enough during the growing season to develop anaerobic conditions. These are conditions where no free oxygen is present in the upper soil horizons. Typical field

indicators of hydric soils are the presence of a thick organic layer, or in predominantly mineral soils such as found on this site, a low chroma matrix (gray color) and/or bright mottling. Soil chromas are determined by comparing soil samples with color chips in the Munsell Color Charts.

#### Hydrophytic Vegetation

The U.S. Fish and Wildlife Service has classified wetland vegetation according to its frequency of occurrence in wetlands:

- Obligate wetland species (OBL) occur in wetlands greater than 99% of the time.
- Facultative wetland species (FACW) occur in wetlands greater than 67% of the time.
- Facultative species (FAC) occur in wetlands 34%-66% of the time.
- Facultative upland species (FACU) occur in wetlands less than 34% of the time.
- Upland species (UPL) occur in wetlands less than 1% of the time.

Generally the hydrophytic vegetation parameter is satisfied when greater than 50% of the species present at an observation point have an indicator status of OBL, FACW and/or FAC; when two or more dominant species have observed morphological or known physiological adaptations for occurrence in wetlands; or when other indicators of hydrophytic vegetation are present.

#### Stream Typing System WAC 222-16-030, 031

The MVMC 15.40.090 has adopted the State Department of Natural Resources Stream Typing System to classify streams. GBA utilized the interim water typing system which, is in the process of being converted to the permanent water typing and is described in general below.

**Table 1: Water Type Conversion Table**

<u>Permanent Water Typing</u>	<u>Interim Water Typing</u>
Type "S"	Type 1 Water
Type "F"	Type 2 and 3 Water
Type "Np"	Type 4 Water
Type "Ns"	Type 5 Water

- Type S: "Shorelines of the state"
- Type F: Natural Waters not classified as Type "S" and have a high fish, wildlife or human use and segments of natural waters that have a moderate to slight fish, wildlife or human use.
- Type "Np": Segments of natural waters within the bankfull width that are perennial non-fish habitat streams.
- Type "Ns": All segments of natural waters within the bankfull width of the defined channels that are seasonal, nonfish habitat streams in which surface flow is not present for at least some portion of the year.

## Site Investigation and Findings

### Wetlands

The site investigations were conducted on June 22 and 27, 2007. A transect for wetland data points was performed in the grassy field along the ditch in a north/south direction. The property was also traversed along the perimeter boundaries. The subject ditch and Flowers Creek downstream of the subject property were also traversed until reaching underground piping.

A total of five data points were dug approximately fifty feet apart and twenty to thirty feet from the ditch. No surface hydrology or obligate vegetation species were observed. Soil test pits were dug to a depth of 20 inches and hydrology, soil and vegetation were assessed at each data point. Data collected is summarized in the following table and the associated data points are indicated on the attached site plan. (**Attachments D & E**)

Table 2: Data Point Summary

DP	Hydrology	Soil	Vegetation	Status
1	No indicators	10 YR 3/2	* <i>Ranunculus repens</i> FACW <i>Poa palustris</i> FAC <i>Festuca arundinacea</i> FAC-	Up
2	No indicators	10 YR 3/2	* <i>Ranunculus repens</i> FACW <i>Poa palustris</i> FAC <i>Festuca arundinacea</i> FAC-	Up
3	No indicators	10 YR 3/2	<i>Festuca arundinacea</i> FAC- <i>Poa palustris</i> FAC (not dominant) <i>Dactylis glomerata</i> FACU (not dom.)	Up
4	No indicators	7.5 YR 2.5/2	<i>Festuca arundinacea</i> FAC- <i>Poa palustris</i> FAC	Up
5	No indicators	7.5 YR 2/2	* <i>Poa palustris</i> FAC <i>Alopecurus aequalis</i> FAC+	Up

\* Wetland Parameter Satisfied (Field data forms attached)

No jurisdictional wetlands were identified on the transect, however, the area along the top of the ditched stream has been identified as a line where the OHWM & the wetland edge co-exist. While several areas of the site were observed to exhibit hydrophytic vegetation, no test pits had redoximorphic features, hydric soils or hydrology indicators present. Soils are very dark olive brown but are not black or very dark with a chroma of 1. GBA surmise that the ditched stream was historically dug through a wetland for drainage practices before regulations and the historic wetland is predominantly the ditched stream.

### Stream Classification and Wildlife Habitat

GBA found one stream/ditch on site located on the east property boundary. We walked the ditch and measured it at intervals of 50 feet. The aerial photo known as Sheet 24 of 29 in the Assessment of Waters/Wetland Ecosystem Conditions & Functions, (Lee 2007) incorrectly indicates a stream course on the south property boundary. GBA walked this area and found no such stream course. We photographed the site and that photo is

attached on the photo page. We also attached a corrected copy of sheet 24. (**Attachment B: Photo #2**)

The stream on site consists of a mucky, silty substrate void of gravel material. A flow in the ditch during our site visit was undetectable. The water was standing still and aquatic plants typical of slow moving water are growing in the ditch. No trees or shrubs are located on the majority of the ditch banks with the exception of Himalyan blackberry (*Rubus discolor*) thickets located at the northend of the site where the channel disappears and/or terminates. We believe that historic drainage practices have kept the stream cleared of vegetation and the channel open. One 12 inch culvert under an existing crossing is located at the northend of the stream. Two 24 inch culverts exist at the southend of the stream which connects the stream/ditch to a system of drainage and stream channels downstream south of the subject property. The channel then turns west at a "T" where it is joined by an unnamed channel further to the south. After the channel turns west it travels approximately 1000 feet before entering the piped system under the freeway and associated roads. Here the stream is further interrupted by an extended, very long culvert system (600 plus linear feet) under I-5 and adjacent access ramps where a fish barrier is indicated (Lee 2007) under Cedardale road. Flowers Creek is located upstream of the subject ditch/stream connection and is known to have potential fish habitat above another long culverted segment and a partial barrier at Blodgett Road.

No fish were observed in the ditch during our site visit. We observed 2 leeches moving on the bottom of the ditch. The soil type (mucky silt), slow moving warm water with no shade and lack of instream habitat does not make this ditch a desirable place for fish to be especially during the summer. We suspect that without riffles and pools, lack of habitat, lack of spawning gravel, the ditch/stream may not be favorable for fish, particularly in the summer. With the extensive piping system downstream of the ditch/stream and the documented fish barriers, we believe that if fish were able to survive the journey to the site, Flowers Creek is a more desirable place for fish to forage and spawn. **Therefore, it is our conclusion to agree with the DNR stream type map and Salmonscape data that this ditch does not contain fish and the classification of the on-site ditched stream is a Type "Np" which is a nonfish stream that has a year round flow.**

### **Impacts and Mitigation**

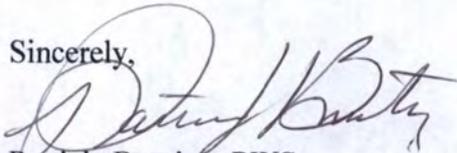
The proposed project is located approximately 700 feet west of the ditch. There are no impacts proposed to the ditch or its associated buffer from the proposed project.

MVMC 15.40.090 Table A, Water Type Buffer Standards require a 50-foot buffer to be placed on Type "Np" streams. The standard 50 foot buffer is measured from the ordinary high water mark and is indicated on the attached site plan. A portion of the existing storage yard on the northend of the site is located within the 50-foot buffer. The storage yard is pre-existing to this project and is located near the existing crossing.

GBA utilized currently accepted methods of identifying wetlands and streams. The findings and conclusions rendered in this report represent our professional opinion and use of best available science. Concurrence should be obtained from agencies of

jurisdiction prior to initiating land use actions or construction. Thank you for contacting us with your project. Please feel free to call me if you have any questions relating to this report.

Sincerely,



Patricia Bunting, PWS  
Wetland Ecologist

#### REFERENCES

Cowardin L., V. Carter, F. Golet, E. LaRoe, 1979. Classification of Wetlands and Deepwater Habitats of the United States. U.S. Department of the Interior, Fish and Wildlife Service.

Environmental Laboratory. 1987 Corps of Engineers Wetlands Delineation Manual. Technical Report Y-87-1, U.S. Army Corps of Engineers, Waterways Experiment Station, Vicksburg, Mississippi, 100 pp. + appendices.

Guard J.B, 1995. Wetland Plants of Oregon and Washington. Lone Pine Publishing, Vancouver B.C., 238pp.

Hitchcock C.L. and A Cronquist, 1973. Flora of the Pacific Northwest. University of Washington Press, Seattle, 730 pp.

Klungland M. W. and M. McArthur. 1989. Soil Survey of Skagit County Area, Washington. U.S.D.A. Soil Conservation Service, 372 pp. + maps.

Munsell Color. 1994 revised. Munsell Soil Color Charts. Kollmorgen Instruments Corp., Baltimore, MD.

Petrides, George A. and O. Petrides, 1998. A Field Guide to Western Trees, The Peterson Field Guide Series, Houghton Mifflin Company, Boston, MA, 428 pp.

Pojar J. and A. MacKinnon, 1994. Plants of the Pacific Northwest Coast Washington, Oregon, British Columbia & Alaska. Lone Pine Publishing, Vancouver B. C., 528 pp.

Reed, PB, Jr. National List of Plant Species that occur in Wetlands; Northwest (Region 9) National Wetlands Inventory, U.S. Fish and Wildlife Service Biological Report 88 (26.9) 89 pp.

RW Beck, City 9of Mount Vernon Comprehensive Surface Water Management Plan, Appendix Vol. 1, A through C, 47 pp plus attachments.

Shannon & Wilson Inc., Wetland and Stream Inventory for the City of Mount Vernon & Urban Growth Area; January 2000.

U.S. Fish and Wildlife Service. Mount Vernon WA, 1989, 7.5 minute series sheet, National Wetlands Inventory.

U.S. Soil Conservation Service. 2001. Skagit County Area Hydric Soils List. U.S. Department of Agriculture, 35 pp.

Washington State Department of Ecology, March 1997, Washington State Wetlands Identification and Delineation Manual

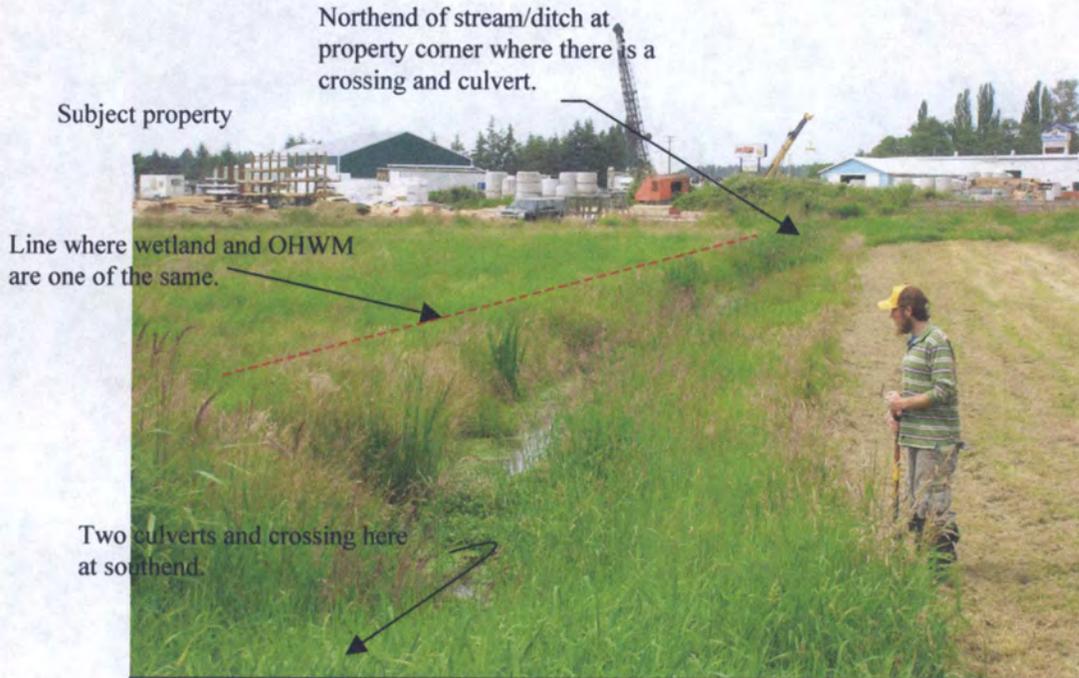


**Aerial Photo:** Courtesy of Skagit County GIS Division; iMap

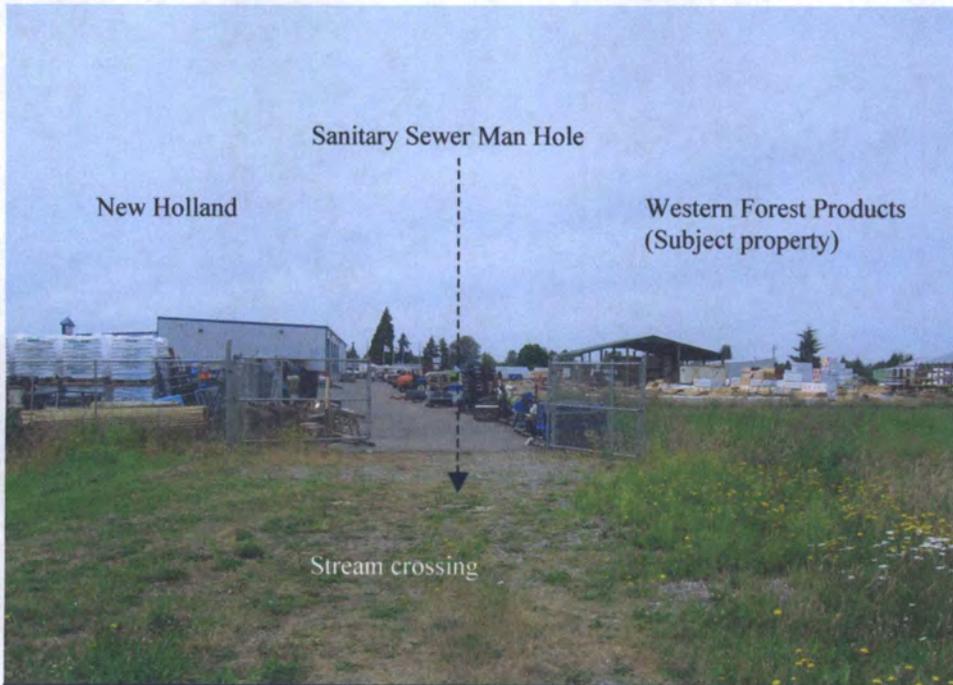
Graham-Bunting Associates added information to indicate existing channels.

Note: The scale is not accurate. The yellow lines indicate underground piped stream.

**Attachment A**



**Photo 1:** View looking north along the property line and ditch/stream, the subject property is on the left side of the picture.



**Photo 2:** View looking west along adjacent property boundary to the south in the area where steam course is incorrectly mapped. In the forefront is the southend stream crossing noted above.

**Photo  
Page**

**Attachment B**

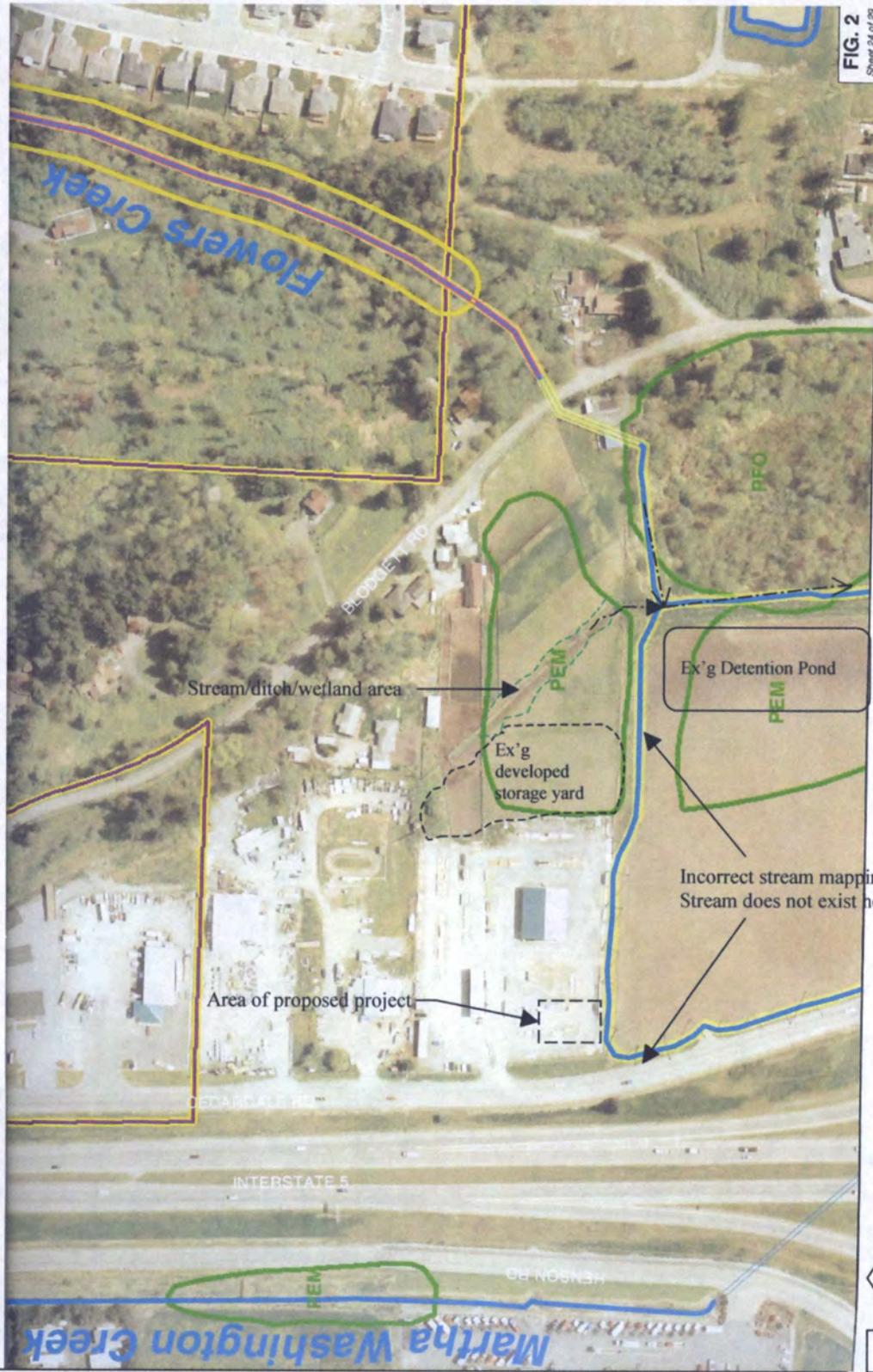


FIG. 2  
Sheet 24 of 29

Edited by Graham-Bunting Associates July 2007  
 Page 24 of 29 in Assessment of Waters/Wetland Ecosystem  
 Conditions & Functions (Lee 2007)

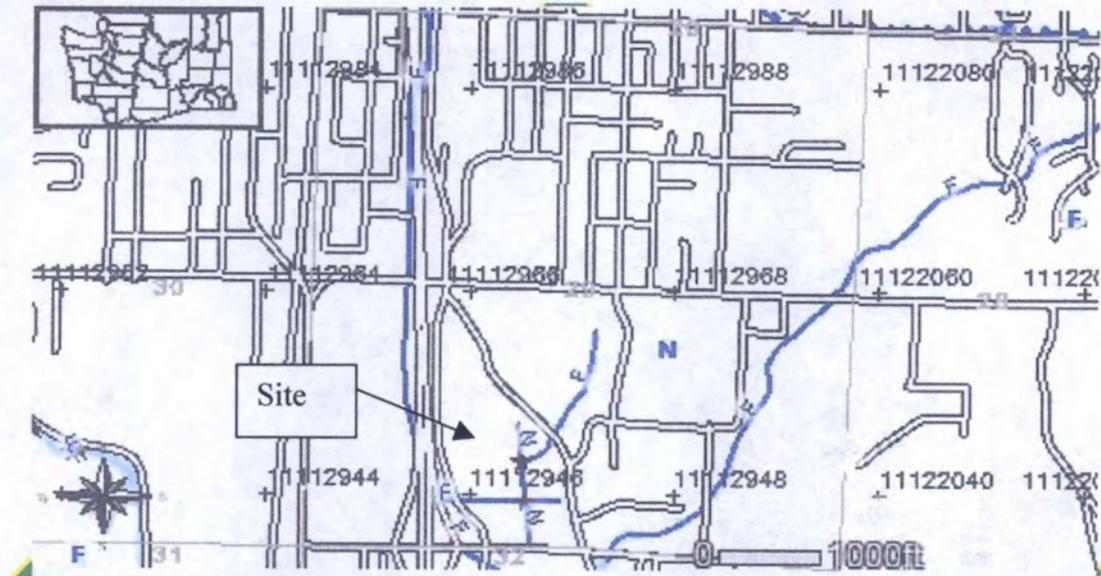


Plate 1: DNR Activity Map: www3.wadnr.gov ---July 2007

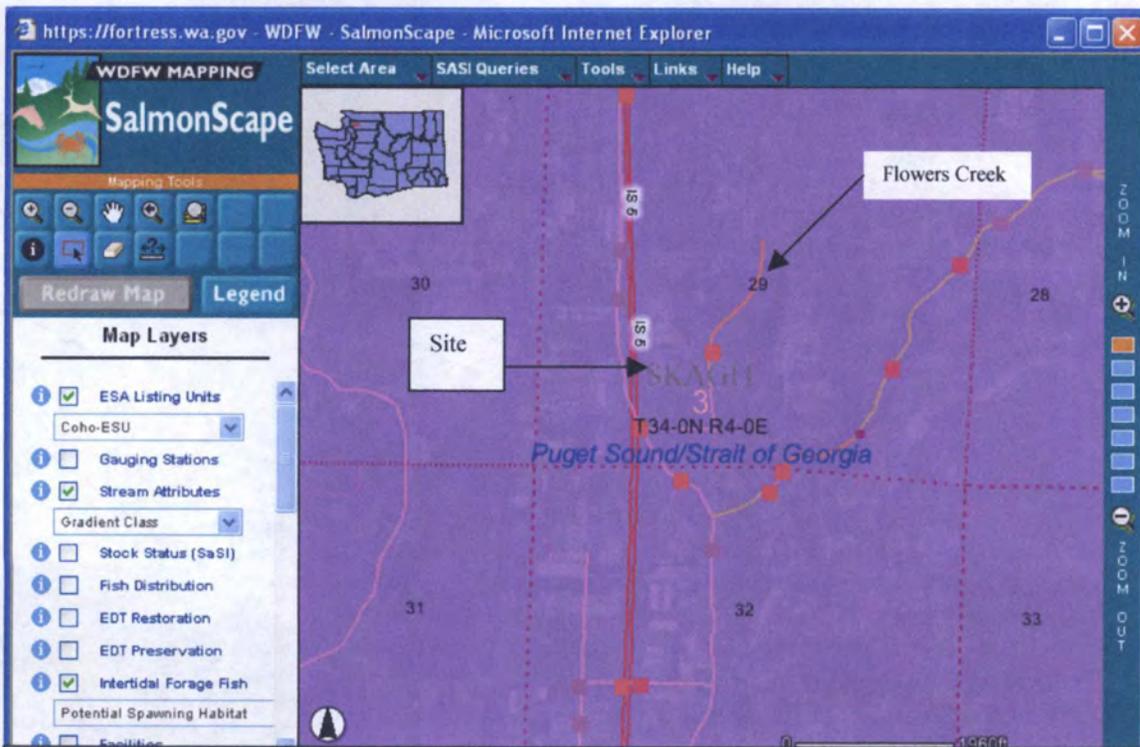


Plate 2: WDFW SalmonScape: Squares indicate varying degrees of fish barriers. The site stream is not mapped. The dark gray squares are fish bearing.

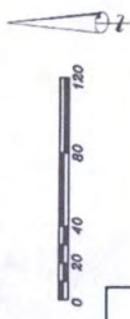
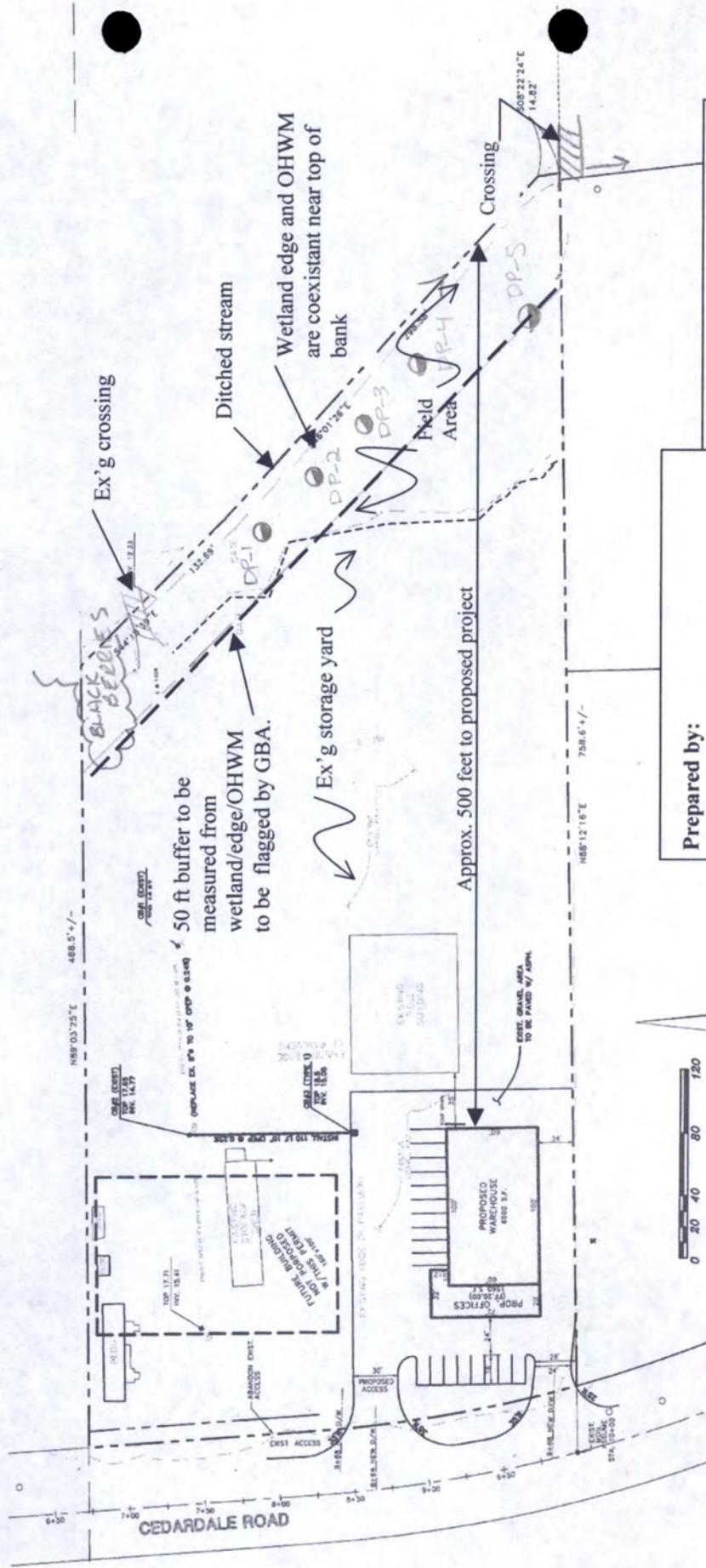
Note: Both DNR and WDFW have disclaimers regarding accuracy of data.

**Attachment D**

**Note:** This map was prepared by utilizing a base map from survey prepared by Summit Engineers. GBA have added information.

**Legend**

-  Dp= Data Point
-  50 foot buffer
-  Approx. edge of field



**Critical Areas/Mitigation**  
**Site Plan**  
 Date: July 13, 2007

**Prepared by:**  
 Graham-Bunting & Associates  
 Environmental & Land Use Services  
 3643 Legg Rd.  
 Bow, WA 98232  
 Phone: 360.766.4441

**Project Engineer/Surveyor:**  
 Summit Engineers

**Applicant:**  
 Western Forest Products  
 2414 Cedardale Road  
 Mount Vernon, WA

**Attachment E**

**Field Data Forms**

**Attachment F**

DATA FORM

ROUTINE WETLAND DETERMINATION  
(1987 COE Wetlands Delineation Manual)

Project/Site <i>Western Forest Products</i>	Date <i>6/22/07</i>
Applicant / Owner <i>Doug Oyer</i>	County <i>SK</i>
Investigator <i>Pat / Fin</i>	State <i>WA</i>
Do Normal Circumstances exist on the site? <input checked="" type="radio"/> YES <input type="radio"/> NO	Community ID <i>FIELD</i>
Is the site significantly disturbed (Atypical Situation)? <input type="radio"/> YES <input checked="" type="radio"/> NO	Transect ID
Is the area a potential Problem Area? (If needed, explain on reverse) <input type="radio"/> YES <input checked="" type="radio"/> NO	Plot ID <i>DP-1</i> <i>10 ft from ditch/stream</i>

VEGETATION

Dominant Plant Species	Stratum	Indicator	Dominant Plant Species	Stratum	Indicator
1 <i>Ranunculus repens</i> 50%	H	FACW			
2 <i>Festuca arundinacea</i> 20%	H	FAC-			
3 <i>Poa palustris</i> 20%	H	FAC			
4 <i>Dactylis glomerata</i> 10%	H	FACU			
5 <i>Lolium perenne</i> 5%	H	FACU			
6					
7					
8					

Percent of Dominant Species that are OBL, FACW, or FAC (excluding FAC-)  $2/3 = 66\%$

Remarks  
*\* indicates non-dominants*  
*>50% indicators met*

HYDROLOGY

<input type="checkbox"/> Recorded Data (Describe in Remarks) <input type="checkbox"/> Stream, Lake, or Tide Gauge <input checked="" type="checkbox"/> Aerial Photographs <input type="checkbox"/> Other  <input type="checkbox"/> No Recorded Data Available	<b>WETLAND HYDROLOGY INDICATORS</b> Primary Indicators: <input type="checkbox"/> Inundated <input type="checkbox"/> Saturated in Upper 12 Inches <input type="checkbox"/> Water Marks <input type="checkbox"/> Drift Lines <input type="checkbox"/> Sediment Deposits <input type="checkbox"/> Drainage Patterns in Wetlands Secondary Indicators (2 or more Required): <input type="checkbox"/> Oxidized Root Channels in Upper 12 Inches <input type="checkbox"/> Water-Stained Leaves <input type="checkbox"/> Local Soil Survey Data <input type="checkbox"/> FAC-Neutral Test <input type="checkbox"/> Other (Explain in Remarks)
FIELD OBSERVATIONS	
Depth of Surface Water	(in)
Depth to Free Water in Pit	<i>&gt;20"</i> (in)
Depth to Saturated Soil	<i>&gt;20"</i> (in)

notes: wetland hydrology indicators are not met.

#57

SOILS

Map Unit Name (Series and Phase): *Field silt loam, protected* Drainage Class: *mod. well*

Taxonomy (Subgroup): *mesic Aquic Xerofluvents* Field Observations Confirm Mapped Type? YES  NO

*moderately sandy* PROFILE DESCRIPTION *same color, diff chroma*

Depth (inches)	Horizon	Matrix Color (Munsell Moist)	Mottle Colors (Munsell Moist)	Mottle Abundance/Contrast	Texture, Concretions, Structure, etc.
0-19		10YR 3/2	—	—	SL
19+		7.5YR 5/1			CL

HYDRIC SOIL INDICATORS:

- Histosol
- Histic Epipedon
- Sulfidic Odor
- Aquic Moisture Regime
- Reducing Conditions
- Gleyed or Low-Chroma Colors
- Concretions
- High Organic Content in Surface Layer in Sandy Soils
- Organic Streaking in Sandy Soils
- Listed on Local Hydric Soils List
- Listed on National Hydric Soils List
- Other (Explain in Remarks)

NO

Remarks: *hydric soil indicator, chroma of 2 or less is not met.*

WETLAND DETERMINATION

Hydrophytic Vegetation Present?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	Is this Sampling Point Within a Wetland? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
Wetland Hydrology Present?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
Hydric Soils Present?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
Remarks		

ROUTINE WETLAND DETERMINATION  
(1987 COE Wetlands Delineation Manual)

Project/Site	Western Forest	Date	6-22-07
Applicant / Owner	Doug Dyer	County	SK
Investigator	Pat / Fin	State	WA
Do Normal Circumstances exist on the site?	YES NO	Community ID	FIELD
Is the site significantly disturbed (Atypical Situation)?	YES NO	Transect ID	
Is the area a potential Problem Area? (If needed, explain on reverse)	YES NO	Plot ID	DP-2

VEGETATION

Dominant Plant Species	Stratum	Indicator	Dominant Plant Species	Stratum	Indicator
1 Ranunculus repens 40	H	FACW	9		
2 Poa palustris 40	H	FAC	10		
3 Festuca arundinacea 15	H	FAC-	11		
4 Taraxacum officinale 2% H		FACU	12		
5 Alopecurus carolinensis 2% H		FACT	13		
6			14		
7			15		
8			16		

Percent of Dominant Species that are OBL, FACW, or FAC (excluding FAC-)  $2/3 = 66\%$

Remarks Hydrophytic veg. indicator 75% FAC or greater is met.

HYDROLOGY

<input type="checkbox"/> Recorded Data (Describe in Remarks) <input type="checkbox"/> Stream, Lake, or Tide Gauge <input checked="" type="checkbox"/> Aerial Photographs <i>Dry season</i> <input type="checkbox"/> Other <input type="checkbox"/> No Recorded Data Available		<b>WETLAND HYDROLOGY INDICATORS</b> Primary Indicators: <del> <input type="checkbox"/> Inundated  <input type="checkbox"/> Saturated in Upper 12 Inches  <input type="checkbox"/> Water Marks  <input type="checkbox"/> Drift Lines  <input checked="" type="checkbox"/> Sediment Deposits  <input type="checkbox"/> Drainage Patterns in Wetlands                 </del> 21 feet to ditch thru upland	
FIELD OBSERVATIONS			
Depth of Surface Water		(in)	
Depth to Free Water in Pit		(in)	
Depth to Saturated Soil	> 20	(in)	
Secondary Indicators (2 or more Required): no <input type="checkbox"/> Oxidized Root Channels in Upper 12 Inches no <input type="checkbox"/> Water-Stained Leaves no <input type="checkbox"/> Local Soil Survey Data <input type="checkbox"/> FAC-Neutral Test <input type="checkbox"/> Other (Explain in Remarks)			

wet hydrology indicator, sat. soil & others above are not met.

SOILS

#57

Map Unit Name (Series and Phase): <i>Field S L protected</i>	Drainage Class: <i>mod well</i>
Taxonomy (Subgroup): <i>Aquic Xerofluents</i>	Field Observations Confirm Mapped Type? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

PROFILE DESCRIPTION

*darker*

Depth (inches)	Horizon	Matrix Color (Munsell Moist)	Mottle Colors (Munsell Moist)	Mottle Abundance/Contrast	Texture, Concretions, Structure, etc.
0-17		10YR 3/2	—	—	SL
17+		2.5Y 4/2		distinct	CL

HYDRIC SOIL INDICATORS:

- |  |   |
|--|---|
| <input type="checkbox"/> Histosol                    | <input type="checkbox"/> Concretions  |
| <input type="checkbox"/> Histic Epipedon             | <input type="checkbox"/> High Organic Content in Surface Layer in Sandy Soils |
| <input type="checkbox"/> Sulfidic Odor               | <input type="checkbox"/> Organic Streaking in Sandy Soils                     |
| <input type="checkbox"/> Aquic Moisture Regime       | <input checked="" type="checkbox"/> Listed on Local Hydric Soils List         |
| <input type="checkbox"/> Reducing Conditions         | <input type="checkbox"/> Listed on National Hydric Soils List                 |
| <input type="checkbox"/> Gleyed or Low-Chroma Colors | <input type="checkbox"/> Other (Explain in Remarks)                           |

*no*

Remarks: *Hydric soil indicators listed above are not met.*

WETLAND DETERMINATION

Hydrophytic Vegetation Present?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	Is this Sampling Point Within a Wetland? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
Wetland Hydrology Present?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
Hydric Soils Present?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	

Remarks: *Long term farming practices and historic devel. act, assisted w/ efficient site drainage*

DATA FORM

ROUTINE WETLAND DETERMINATION  
(1987 COE Wetlands Delineation Manual)

Project/Site	West. Forest. Prod	Date	6/22/07
Applicant / Owner	Doug Dyer	County	SK
Investigator	Pat Fin	State	WA
Do Normal Circumstances exist on the site?	YES	NO	Community ID
Is the site significantly disturbed (Atypical Situation)?	YES	NO	Transect ID
Is the area a potential Problem Area? (If needed, explain on reverse)	YES	NO	Plot ID
			Field OP-3

VEGETATION

0/0

Dominant Plant Species	Stratum	Indicator	Dominant Plant Species	Stratum	Indicator
1 Festuca arundinacea	70% H	FAC-			
2 Poa palustris	15% H	FAC			
3 Dactylis glomerata	15% H	FACU			
4 Ranunculus sp.	3% H	FACW			
5 Holcus lanatus	1% H	FAC			
6 Lolium perenne	1% H	FACU			
7					
8					

Percent of Dominant Species that are OBL, FACW, or FAC (excluding FAC-) 0%

Remarks  
Hydrophytic veg. indicator > 50% FAC criteria is not met.

HYDROLOGY

<input type="checkbox"/> Recorded Data (Describe in Remarks) <input type="checkbox"/> Stream, Lake, or Tide Gauge <input checked="" type="checkbox"/> Aerial Photographs <input type="checkbox"/> Other  <input type="checkbox"/> No Recorded Data Available		<b>WETLAND HYDROLOGY INDICATORS</b> Primary Indicators: <input type="checkbox"/> Inundated <input type="checkbox"/> Saturated in Upper 12 Inches <input type="checkbox"/> Water Marks <input type="checkbox"/> Drift Lines <input type="checkbox"/> Sediment Deposits <input type="checkbox"/> Drainage Patterns in Wetlands Secondary Indicators (2 or more Required): <input type="checkbox"/> Oxidized Root Channels in Upper 12 Inches <input type="checkbox"/> Water-Stained Leaves <input type="checkbox"/> Local Soil Survey Data <input type="checkbox"/> FAC-Neutral Test <input type="checkbox"/> Other (Explain in Remarks)	
FIELD OBSERVATIONS			
Depth of Surface Water		(in)	
Depth to Free Water in Pit		(in)	
Depth to Saturated Soil	720"	(in)	

Hydrology indicators are not met

SOILS

#57

DP-3

Map Unit Name (Series and Phase) <i>Field s.L. Protected</i>	Drainage Class: <i>macdowell</i>
Taxonomy (Subgroup) <i>Aquic xerochluvis</i>	Field Observations Confirm Mapped Type? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

PROFILE DESCRIPTION

Depth (inches)	Horizon	Matrix Color (Munsell Moist)	Mottle Colors (Munsell Moist)	Mottle Abundance/Contrast	Texture, Concretions, Structure, etc.
<i>0-15</i>		<i>10YR 3/2</i>	<i>2<sup>nd</sup> gray mottles below 12"</i>		<i>SL</i>
<i>15+</i>					

HYDRIC SOIL INDICATORS:

- |   |  |
|---|--|
| <input type="checkbox"/> Histosol<br><input type="checkbox"/> Histic Epipedon<br><input type="checkbox"/> Sulfidic Odor<br><input type="checkbox"/> Aquic Moisture Regime<br><input type="checkbox"/> Reducing Conditions<br><input type="checkbox"/> Gleyed or Low-Chroma Colors | <input type="checkbox"/> Concretions<br><input type="checkbox"/> High Organic Content in Surface Layer in Sandy Soils<br><input type="checkbox"/> Organic Streaking in Sandy Soils<br><input type="checkbox"/> Listed on Local Hydric Soils List<br><input type="checkbox"/> Listed on National Hydric Soils List<br><input type="checkbox"/> Other (Explain in Remarks) |
|---|--|

*NO*

Remarks: *hydric soil indicators low chroma w/ distinct mottles is not met.*

WETLAND DETERMINATION

Hydrophytic Vegetation Present?	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	Is this Sampling Point Within a Wetland? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
Wetland Hydrology Present?	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	
Hydric Soils Present?	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	

Remarks

DATA FORM

ROUTINE WETLAND DETERMINATION  
(1987 COE Wetlands Delineation Manual)

Project/Site <i>Northwest Forest</i>	Date <i>6/27/07</i>
Applicant / Owner <i>Doug Dyer</i>	County <i>SK</i>
Investigator <i>Pat / Donovan</i>	State <i>WA</i>
Do Normal Circumstances exist on the site? YES <input checked="" type="radio"/> NO <input type="radio"/>	Community ID <i>Field</i>
Is the site significantly disturbed (Atypical Situation)? YES <input type="radio"/> NO <input checked="" type="radio"/>	Transect ID
Is the area a potential Problem Area? (If needed, explain on reverse) YES <input type="radio"/> NO <input checked="" type="radio"/>	Plot ID <i>DP-4</i>

VEGETATION *no*

Dominant Plant Species	Stratum	Indicator	Dominant Plant Species	Stratum	Indicator
1 <i>Festuca arundinacea</i> 30	H	FAC-			
2 <i>Poa palustris</i> 50	H	FAC			
3 <i>Dactylis glomerata</i> 5	H	FACU			
4 <i>Lolium perenne</i> 5	H	FACU			
5 <i>Phleum pratense</i> 1-5	H	FAC-			
6					
7					
8					

Percent of Dominant Species that are OBL, FACW, or FAC (excluding FAC-)  $1/3 = 33\%$

Remarks

*Hydro. veg. indicator, > 50% FAC or greater is not met.*

HYDROLOGY

<input type="checkbox"/> Recorded Data (Describe in Remarks) <ul style="list-style-type: none"> <li><input type="checkbox"/> Stream, Lake, or Tide Gauge</li> <li><input checked="" type="checkbox"/> Aerial Photographs</li> <li><input type="checkbox"/> Other</li> </ul> <input type="checkbox"/> No Recorded Data Available		<b>WETLAND HYDROLOGY INDICATORS</b>	
FIELD OBSERVATIONS		Primary Indicators:	
Depth of Surface Water	(in)	<i>no</i>	<input type="checkbox"/> Inundated <input type="checkbox"/> Saturated in Upper 12 Inches <input type="checkbox"/> Water Marks <input checked="" type="checkbox"/> Drift Lines <input checked="" type="checkbox"/> Sediment Deposits <input type="checkbox"/> Drainage Patterns in Wetlands
Depth to Free Water in Pit	(in)		Secondary Indicators (2 or more Required):
Depth to Saturated Soil	<i>&gt; 20</i> (in)	<i>no</i>	<input type="checkbox"/> Oxidized Root Channels in Upper 12 Inches <input type="checkbox"/> Water-Stained Leaves <input type="checkbox"/> Local Soil Survey Data <input type="checkbox"/> FAC-Neutral Test <input type="checkbox"/> Other (Explain in Remarks)

*Wet. hydrology indicators are not met.*

SOILS

#57

Map Unit Name (Series and Phase): <i>Field S.L. Protected</i>	Drainage Class: <i>mod well</i>
Taxonomy (Subgroup) <i>Aquic Xero</i>	Field Observations Confirm Mapped Type? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

PROFILE DESCRIPTION

Depth (inches)	Horizon	Matrix Color (Munsell Moist)	Mottle Colors (Munsell Moist)	Mottle Abundance/Contrast	Texture, Concretions, Structure, etc.
<i>0-12</i>		<i>7.5YR 2.5/2</i>	<i>S.L.</i>		<i>S.L.</i>
<i>12+</i>					

HYDRIC SOIL INDICATORS:

- |   |  |
|---|--|
| <input type="checkbox"/> Histosol<br><input type="checkbox"/> Histic Epipedon<br><input type="checkbox"/> Sulfidic Odor<br><input type="checkbox"/> Aquic Moisture Regime<br><input type="checkbox"/> Reducing Conditions<br><input type="checkbox"/> Gleyed or Low-Chroma Colors | <input type="checkbox"/> Concretions<br><input type="checkbox"/> High Organic Content in Surface Layer in Sandy Soils<br><input type="checkbox"/> Organic Streaking in Sandy Soils<br><input type="checkbox"/> Listed on Local Hydric Soils List<br><input type="checkbox"/> Listed on National Hydric Soils List<br><input type="checkbox"/> Other (Explain in Remarks) |
|---|--|

*no*

Remarks: *Hydric soil indicators, low chroma and distinct mottles are met.*

WETLAND DETERMINATION

Hydrophytic Vegetation Present?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	Is this Sampling Point Within a Wetland? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
Wetland Hydrology Present?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
Hydric Soils Present?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	

Remarks

DATA FORM

ROUTINE WETLAND DETERMINATION  
(1987 COE Wetlands Delineation Manual)

Project/Site	Northwest Forest	Date	6/27/07
Applicant / Owner	Doug Dyer	County	SK
Investigator	Pat Conoran	State	WA
Do Normal Circumstances exist on the site?	YES NO	Community ID	FIELD
Is the site significantly disturbed (Atypical Situation)?	YES NO	Transect ID	
Is the area a potential Problem Area? (If needed, explain on reverse)	YES NO	Plot ID	DP-5

VEGETATION

do cover

Low spot

Dominant Plant Species	Stratum	Indicator	Dominant Plant Species	Stratum	Indicator
1 Poa palustris 40	H	FAC	9		
2 Phalaris arundinacea 10	H	FACN	10		
3 Alopecurus aridin 50	H	FAC+	11		
4 Lolium per. 1-5%	H	FACU	12		
5 Ranunculus rep. 41%	H	FACW	13		
6			14		
7			15		
8			16		

Percent of Dominant Species that are OBL, FACW, or FAC (excluding FAC-) 100%

Remarks Hydrophytic veg. indicator > 75% FAC or greater is met.

HYDROLOGY

<input type="checkbox"/> Recorded Data (Describe in Remarks) <ul style="list-style-type: none"> <li><input type="checkbox"/> Stream, Lake, or Tide Gauge</li> <li><input checked="" type="checkbox"/> Aerial Photographs</li> <li><input type="checkbox"/> Other</li> </ul> <input type="checkbox"/> No Recorded Data Available		<b>WETLAND HYDROLOGY INDICATORS</b> <p>Primary Indicators:</p> <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Inundated</li> <li><input type="checkbox"/> Saturated in Upper 12 Inches</li> <li><input checked="" type="checkbox"/> Water Marks</li> <li><input type="checkbox"/> Drift Lines</li> <li><input type="checkbox"/> Sediment Deposits</li> <li><input type="checkbox"/> Drainage Patterns in Wetlands</li> </ul> <p>Secondary Indicators (2 or more Required):</p> <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Oxidized Root Channels in Upper 12 Inches</li> <li><input type="checkbox"/> Water-Stained Leaves</li> <li><input type="checkbox"/> Local Soil Survey Data</li> <li><input type="checkbox"/> FAC-Neutral Test</li> <li><input type="checkbox"/> Other (Explain in Remarks)</li> </ul>	
FIELD OBSERVATIONS			
Depth of Surface Water		(in)	NO
Depth to Free Water in Pit		(in)	NO
Depth to Saturated Soil	70%	(in)	

Wet. hydrology indicators above are not met.

LU07-070

Subdivision Guarantee

Order No.: 92584	Guarantee No.: H-967658	Tax: \$ 16.00	Liability: \$ 1,000.00	Premium: \$ 200.00
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RECEIVED  
CITY OF MOUNT VERNON

AUG 24 2007

RE: MV Leasing LLC

C.E.D. DEPARTMENT  
BY \_\_\_\_\_

**FIRST AMERICAN TITLE INSURANCE COMPANY**, a California Corporation, herein called the Company, SUBJECT TO THE LIABILITY EXCLUSIONS AND LIMITATIONS SET FORTH BELOW AND IN SCHEDULE "A"

GUARANTEES

*Summit Engineers and Surveyors*

Herein called the Assured, against actual loss not exceeding the liability amount stated above which the Assured shall sustain by reason of any incorrectness in the assurances set forth in Schedule "A".

LIABILITY EXCLUSIONS AND LIMITATIONS

1. No guarantee is given nor liability assumed with respect to the validity, legal effect or priority of any matter shown herein.
2. The Company's liability hereunder shall be limited to the amount of actual loss sustained by the Assured because of reliance upon the assurance herein set forth, but in no event shall the Company's liability exceed the liability amount set forth above.
3. This guarantee is restricted to the use of the Assured for the purpose of providing title evidence as may be required when subdividing land pursuant to the provisions of Chapter 58.17, R.C.W., and the local regulations and ordinances adopted pursuant to said statute. It is not to be used as a basis for closing any transaction affecting title to said property.

Effective Date: **August 16, 2007 at 8:00 A.M.**

**FIRST AMERICAN TITLE INSURANCE COMPANY**

By: Richard Cole  
**Richard Cole, Title Officer**

RC / kms

SUBDIVISION GUARANTEE

Schedule "A"

The assurances referred to on the face page are:

A. Title is vested in:

*MV Leasing, L.L.C., a Washington Limited Liability Company*

B. That according to the Company's title plant records relative to the following described real property (including those records maintained and indexed by name), there are no other documents affecting title to said real property or any portion thereof, other than those shown below under record matters.

The following matters are excluded from the coverage of this guarantee:

1. Unpatented mining claims, reservations or exceptions in patents or in acts authorizing the issuance thereof.
2. Water rights, claims or title to water.
3. Tax Deeds to the State of Washington.
4. Documents pertaining to mineral estates.

Description: (As per attached Schedule "C")

## SUBDIVISION GUARANTEE

**Record Matters:**

## 1. GENERAL TAXES:

Year:	2007
Amount Billed:	\$ 15,642.91
Amount Paid:	\$ 7,821.46
Amount Due:	\$ 7,821.45
Tax Account No.:	340429-0-013-0107 (P28084)

Said taxes will not become delinquent if paid on or before October 31<sup>st</sup>.

## 2. Municipal assessments, if any, levied by the City of Mount Vernon.

This Company suggests that inquiry be made to the City of Mount Vernon for current assessment status; as a courtesy we believe that their fax number is (360)-336-0633.

## 3. DEED OF TRUST INCLUDING THE TERMS AND CONDITIONS THEREOF:

Grantor:	Terry Dawn and Karen R. Dawn, husband and wife
Trustee:	Land Title Company of Skagit County
Beneficiary:	Mark Norgard and Jean Norgard, husband and wife
Amount:	\$ 290,000.00, plus interest, if any
Dated:	January 13, 1995
Recorded:	January 13, 1995
Auditor's No.:	9501130065

## 4. For easements, restrictions or other exceptions, see Schedule "B-1", attached hereto.

NOTE #1.: According to the Skagit County Assessor's Rolls, the address for the subject property is:

2414 Cedardale Road  
Mount Vernon, WA 98273

NOTE #2.: In accordance with the Document Standardization Requirements becoming effective January 1, 1997, the Company recommends the following abbreviated legal description be used when the full legal description does not appear on the first page OR when a standardization cover sheet is required for recording:

Section 29, Township 34, Range 4; Ptn. SE SW

SUBDIVISION GUARANTEE

Schedule "B-1"

Exceptions:

A. Relinquishment of rights of access to State Highway and of light, view, and air under terms of Deed to the State of Washington:

Recorded: June 21, 1971
Auditor's No.: 754333

B. Possible easement rights for drainage ditch by reason of an existing drainage ditch.

C. Any question which may arise regarding the location of the drainage ditch or the center line thereof.

D. RESERVATION CONTAINED IN DEED:

Executed by: Willard W. Lyon
Recorded: October 22, 1984
Auditor's No.: 8410220026
As Follows: "The above described property will be combined or aggregated with contiguous property owned by the purchaser. This boundary adjustment is not for the purposes of creating an additional building lot."

E. EASEMENT, INCLUDING TERMS AND PROVISIONS THEREOF:

Grantee: City of Mount Vernon
Dated: April 30, 1997
Recorded: May 15, 1997
Auditor's No.: 9705150050
Purpose: Ingress and egress
Area Affected: Portion subject property

F. REGULATORY NOTICE/AGREEMENT THAT MAY INCLUDE COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING THE SUBJECT PROPERTY:

Executed By: Terry Dawn and Karen R. Dawn
Recorded: May 15, 1997
Auditor's No.: 9705150051
Regarding: Annexation Agreement

Reference is hereby made to the record for the full particulars of said notice/agreement. However, said notice/agreement may have changed or may in the future change without recorded notice.

SUBDIVISION GUARANTEE

**Schedule "C"**  
**Legal Description**

The land referred to herein is situated in the State of Washington, County of Skagit, and is described as follows:

That portion of the Southeast  $\frac{1}{4}$  of the Southwest  $\frac{1}{4}$  of Section 29, Township 34 North, Range 4 East, W.M., described as follows:

Beginning at the Northeast corner of said Southeast  $\frac{1}{4}$  of the Southwest  $\frac{1}{4}$ ; thence North  $89^{\circ}09'18''$  West along the North line thereof, for 850.20 feet to the centerline of an existing drainage ditch and the true point of beginning; thence South  $42^{\circ}31'22''$  East along centerline of said ditch, for 132.69 feet; thence continuing South  $44^{\circ}14'09''$  East, along said centerline of drainage ditch for 298.58 feet; thence South  $6^{\circ}35'07''$  East, being along said centerline of drainage ditch, for 14.81 feet to the South line of the North  $\frac{1}{2}$  of the North  $\frac{1}{2}$  of the Southeast  $\frac{1}{4}$  of the Southwest  $\frac{1}{4}$ ; thence North  $89^{\circ}21'56''$  West to the East margin of that parcel conveyed to the State of Washington, under Auditor's File No. 754333, records of Skagit County, Washington; thence Northerly, along said East margin to the North line of said Southeast  $\frac{1}{4}$  of the Southwest  $\frac{1}{4}$ ; thence South  $89^{\circ}09'18''$  East, along said North line, to the true point of beginning.

**APPENDIX B  
PLANNING STUDY ON ADULT USES**

**SITE 64**

**ELDRIDGE SHORT PLAT PL13-061**  
**NE 1/4, SE 1/4 OF SEC. 30, TWP. 34 N, RING. 4 E, W.M.**  
**CITY OF MOUNT VERNON,**  
**SKAGIT COUNTY, WASHINGTON**

**AUDITOR'S CERTIFICATE**  
 FILED FOR RECORD AT THE REQUEST OF SUMMIT ENGINEERS & SURVEYORS, INC.

201308260170 \$143.00  
 Skagit County Auditor 1 of 2 2:54PM  
 8/26/2013  
**J. Youngquist**  
 COUNTY AUDITOR  
**M. J. [Signature]**  
 BY DEPUTY

**SURVEY EQUIPMENT & PROCEDURE**  
 THIS SURVEY WAS COMPLETED AND ACCOMPLISHED BY FIELD TRAVERSE USING A NIKON DTM-520 TOTAL STATION MAY, 2013.

**BASES OF BEARING**  
 BEARING SHOWN IS BASED ON THE ASSUMPTION THAT THE EAST LINE OF SOUTHEAST QUARTER OF SECTION 30 TOWNSHIP 34N, RANGE 4E BEING N00°42'00"W.

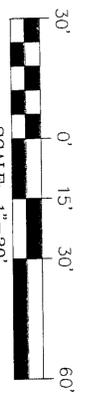
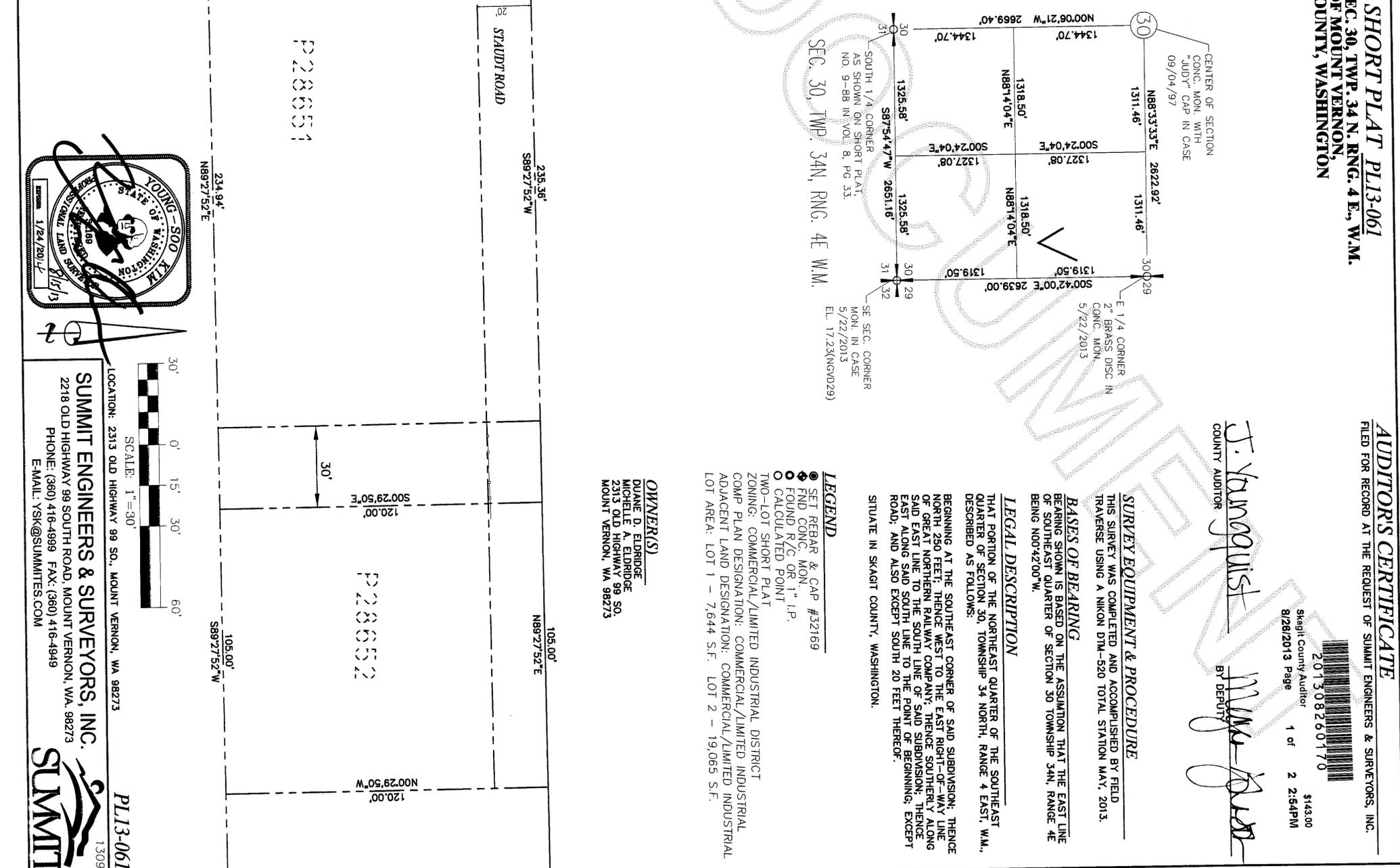
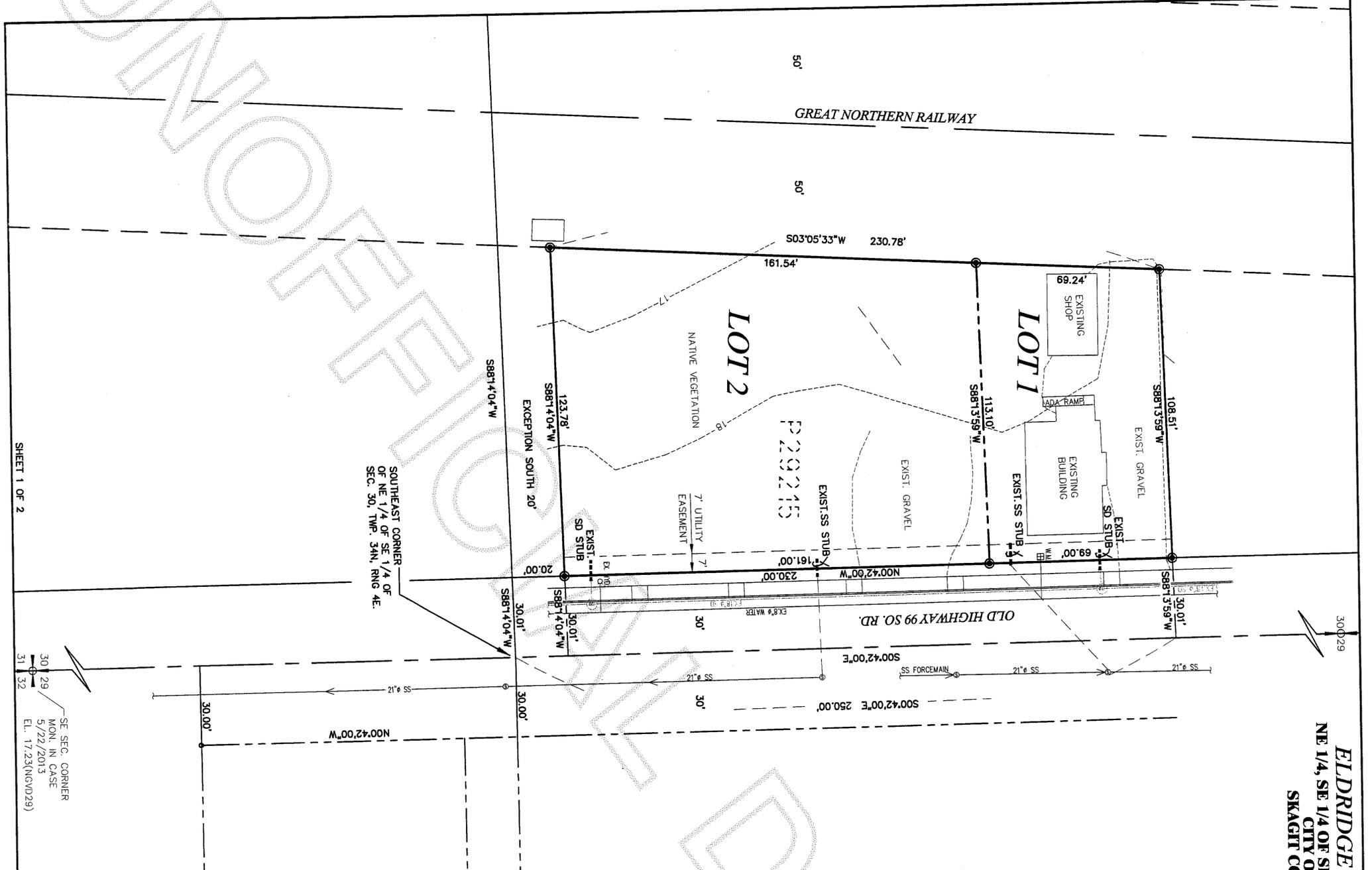
**LEGAL DESCRIPTION**  
 THAT PORTION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SUBDIVISION; THENCE NORTH 250 FEET; THENCE WEST TO THE EAST RIGHT-OF-WAY LINE OF GREAT NORTHERN RAILWAY COMPANY; THENCE SOUTHERLY ALONG SAID EAST LINE TO THE SOUTH LINE OF SAID SUBDIVISION; THENCE EAST ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING; EXCEPT ROAD; AND ALSO EXCEPT SOUTH 20 FEET THEREOF.  
 SITUATE IN SKAGIT COUNTY, WASHINGTON.

**LEGEND**

- SET REBAR & CAP #32169
- FND CONC. MON.
- FOUND R/C OR 1" I.P.
- CALCULATED POINT
- TWO-LOT SHORT PLAT
- ZONING: COMMERCIAL/LIMITED INDUSTRIAL DISTRICT
- COMP PLAN DESIGNATION: COMMERCIAL/LIMITED INDUSTRIAL
- ADJACENT LAND DESIGNATION: COMMERCIAL/LIMITED INDUSTRIAL
- LOT AREA: LOT 1 - 7,644 S.F. LOT 2 - 19,065 S.F.

**OWNER(S)**  
 DUANE D. ELDRIDGE  
 MICHELLE A. ELDRIDGE SO.  
 2313 OLD HIGHWAY 99 SO.  
 MOUNT VERNON, WA 98273



LOCATION: 2313 OLD HIGHWAY 99 SO., MOUNT VERNON, WA 98273  
**SUMMIT ENGINEERS & SURVEYORS, INC.**  
 2218 OLD HIGHWAY 99 SOUTH ROAD, MOUNT VERNON, WA, 98273  
 PHONE: (360) 416-4999 FAX: (360) 416-4949  
 E-MAIL: YSK@SUMMITES.COM



**ELDRIDGE SHORT PLAT PL13-061**  
**NE 1/4, SE 1/4 OF SEC. 30, TWP. 34 N. RNG. 4 E., W.M.**  
**CITY OF MOUNT VERNON,**  
**SKAGIT COUNTY, WASHINGTON**

**DECLARATION**

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS OF THE LAND INCLUDED WITHIN THIS SHORT PLAT DO HEREBY CERTIFY THAT THE DECISION TO MAKE THIS SHORT PLAT WAS THEIR FREE AND VOLUNTARY ACT AND DEED.

IN WITNESS WHEREOF WE HAVE HERE UNTO SET OUR HAND AND SEAL THIS 15 DAY OF August, 2013.

*Duane D. Eldridge*  
 Duane D. Eldridge  
 Michelle A. Eldridge  
 Michelle A. Eldridge  
 MICHELLE A. ELDRIDGE  
 WHOLEBY AND SINK

**ACKNOWLEDGEMENT**

STATE OF Washington  
 COUNTY OF Skagit  
 ON THIS 15th DAY OF Aug, 2013 BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC, PERSONALLY APPEARED Duane D. Eldridge

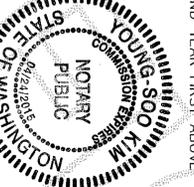
TO ME KNOWN TO BE THE INDIVIDUAL(S) DESCRIBED IN AND WHO EXECUTED THE DECLARATION HEREIN, AND ACKNOWLEDGED THAT THEY SIGNED AND SEALED THE SAME AS THEIR FREE AND VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN MENTIONED.

*Michelle A. Eldridge*  
 NOTARY PUBLIC IN AND FOR THE STATE OF Washington  
 RESIDING AT 14400 View  


**ACKNOWLEDGEMENT**

STATE OF Washington  
 COUNTY OF Skagit  
 ON THIS 15th DAY OF Aug, 2013 BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC, PERSONALLY APPEARED Michelle A. Eldridge

TO ME KNOWN TO BE THE INDIVIDUAL(S) DESCRIBED IN AND WHO EXECUTED THE DECLARATION HEREIN, AND ACKNOWLEDGED THAT THEY SIGNED AND SEALED THE SAME AS THEIR FREE AND VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN MENTIONED.

*Duane D. Eldridge*  
 NOTARY PUBLIC IN AND FOR THE STATE OF Washington  
 RESIDING AT 14400 View  


**IMPACT FEE NOTICE**

ALL LOTS WITHIN THIS SUBDIVISION WILL BE SUBJECT TO IMPACT FEES PAYABLE ON ISSUANCE OF A BUILDING PERMIT.

**NOTES**

ZONING: COMMERCIAL/LIMITED INDUSTRIAL DISTRICT  
 SEWAGE: CITY OF MOUNT VERNON  
 WATER: SKAGIT PUB. #1  
 POWER: PUGET SOUND ENERGY  
 PHONE: VERIZON/FRONTIER  
 GAS: CASCADE NATURAL GAS  
 GARBAGE COLLECTION: CITY OF MOUNT VERNON

**LOT ADDRESS**

LOT 1 — 2313 OLD HIGHWAY 99 SO.  
 LOT 2 — 2321 OLD HIGHWAY 99 SO.

**REPRESENTATIVE ACKNOWLEDGEMENT**

STATE OF WASHINGTON )  
 COUNTY OF SKAGIT ) SS

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT Michelle A. Eldridge IS THE PERSON WHO APPEARED BEFORE ME, AND SAID PERSON ACKNOWLEDGED THAT HE/SHE/THEY SIGNED THIS INSTRUMENT, ON OATH STATED THAT HE/SHE/THEY WAS/WERE AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE LEGAL REPRESENTATIVE OF Michelle A. Eldridge VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSE MENTIONED IN THE INSTRUMENT.

DATED: 8/15/13  
 SIGNATURE: *Michelle A. Eldridge*  
 (PRINT NAME) Michelle A. Eldridge  
 NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON  
 RESIDING AT 14400 View  
 ANY APPOINTMENT EXPIRES 12/31/2015



**EASEMENT PROVISIONS:**

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF MOUNT VERNON, PUBLIC UTILITY DISTRICT No. 1 OF SKAGIT COUNTY, PUGET SOUND ENERGY, CASCADE NATURAL GAS CORPORATION, FRONTIER COMMUNICATIONS, INC. AND COMCAST CABLEVISION, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS UNDER AND UPON THE EXTERIOR SEVEN (7) FEET OF FRONT BOUNDARY LINE OF ALL LOTS AND TRACTS AS SHOWN ON THE FACE OF THIS PLAT, IN WHICH TO INSTALL, LAY, CONSTRUCT, REPAIR, MAINTAIN AND REMOVE THE UTILITY SYSTEMS, PIPES, AND UTILITY SERVICES TO THE SUBDIVISION AND OTHER PROPERTIES, INCLUDING THE RIGHT TO ENTER UPON THE LOTS AND TRACTS AT ALL TIMES FOR THE PURPOSES STATED WITH THE UNDERSTANDING THAT ANY GRANTEE SHALL BE RESPONSIBLE FOR ALL UNNECESSARY DAMAGE IT CAUSES TO ANY REAL PROPERTY OWNER IN THE SUBDIVISION BY THE EXERCISE OF RIGHTS AND PRIVILEGES HEREIN GRANTED.

**NOTE:**

1. THIS SURVEY ILLUSTRATES EXISTING FENCE LINES AND OTHER OCCUPATIONAL INDICATORS IN ACCORDANCE WITH WAC 352.130. THESE UNWRITTEN LEGAL OWNERSHIP LEGAL OWNERSHIP BASED ON UNWRITTEN TITLE CLAIMS HAS NOT BEEN RESOLVED BY THIS LIMITED BOUNDARY SURVEY.
2. SURVEY DESCRIPTION IS FROM CHICAGO TITLE COMPANY SUBDIVISION/TITLE GUARANTEE/CERTIFICATE NUMBER 620019370, DATED JUNE 26, 2013.
3. SHORT PLAT NUMBER AND DATE OF APPROVAL SHALL BE INCLUDED IN ALL DEEDS AND CONTRACTS.

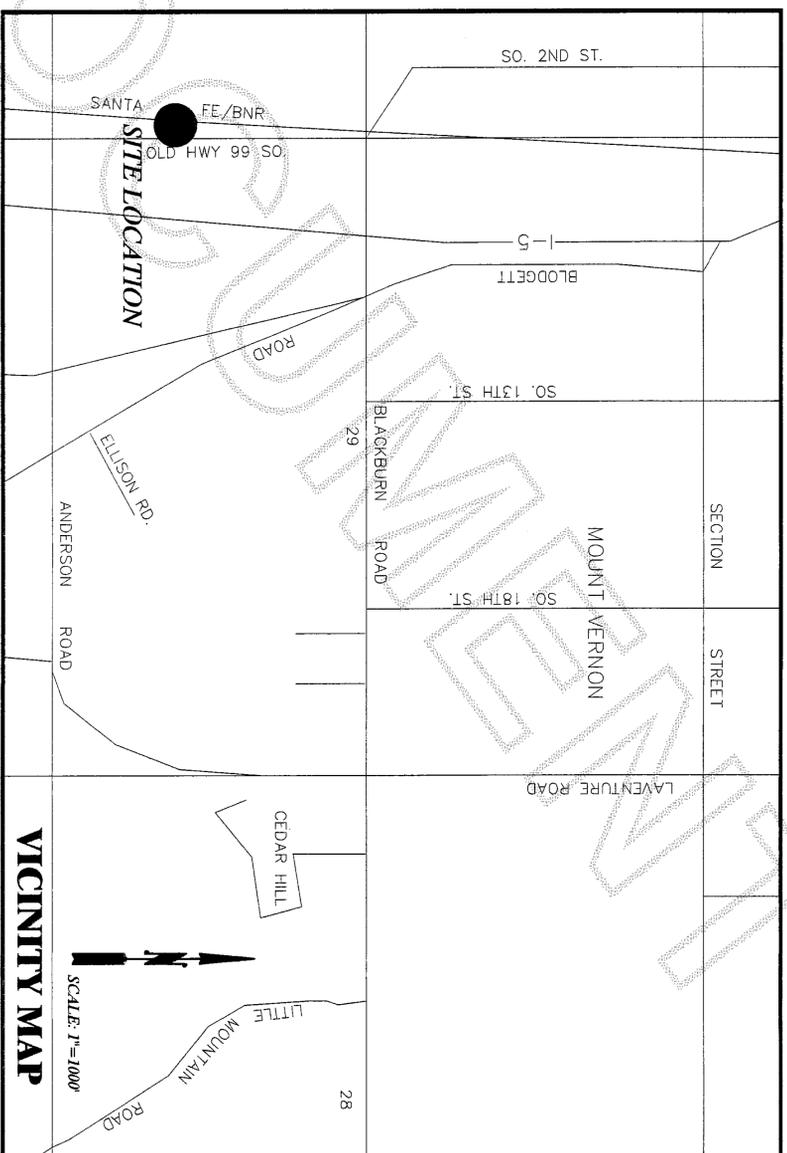
**TYPICAL BUILDING SETBACKS**

FRONT YARD: 10 FEET, BUILDING ON CORNER LOTS AND THROUGH LOTS SHALL OBSERVE THE MINIMUM SETBACK ON BOTH STREETS. FOR PROPERTIES THAT FRONT ON AN ARTERIAL, THE MINIMUM SETBACK FROM THE RIGHT-OF-WAY SHALL BE 25 FEET. THE COMMUNITY AND ECONOMIC DEVELOPMENT AND PUBLIC WORKS DIRECTORS CAN THROUGH A TYPE 1 DECISION PROCESS ADMINISTRATIVELY REDUCE, FOR GOOD CAUSE SHOWN, THIS SETBACK.  
 SIDE AND REAR YARD: NONE, EXCEPT ALONG ANY PROPERTY LINE ADJOINING A RESIDENTIALLY ZONED DISTRICT, WITH NO INTERFERING STREET OR ALLEY, THERE SHALL BE A SETBACK OF AT LEAST FIVE FEET (ORD. 3429 & 111, 2008)

**SURVEYORS CERTIFICATE**

I, YOUNG-SOO KIM, DO HEREBY CERTIFY THAT THIS SHORT PLAT, TITLED "ELDRIDGE SHORT PLAT" IS BASED UPON AN ACTUAL SURVEY AND SUBDIVISION OF SECTION 30, TOWNSHIP 34N, RANGE 4E, WM.; THAT THE COURSES AND DISTANCES ARE SHOWN CORRECTLY THEREON THAT THE MONUMENTS HAVE BEEN SET AND THE LOT CORNERS STAKED CORRECTLY ON THE GROUND; AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF THE STATUTES AND PLATTING REGULATIONS.

*Young-Soo Kim*  
 YOUNG-SOO KIM, P.L.S. #52169



**CITY FINANCE DIRECTORS CERTIFICATE**

I HEREBY CERTIFY THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS AND ALL SPECIAL ASSESSMENTS ON ANY OF THE PROPERTY HEREIN CONTAINED DEDICATED AS STREETS, ALLEY, OR FOR OTHER PUBLIC USE, ARE PAID IN FULL THIS 15th DAY OF Aug, 2013.

*Michelle A. Eldridge*  
 CITY FINANCE DIRECTOR

**APPROVALS**  
 EXAMINED AND APPROVED THIS 19th DAY OF AUGUST, 2013.  
 CITY ENGINEER  
*Angela*

APPROVED BY THE CITY OF MOUNT VERNON, WASHINGTON, THIS 19th DAY OF Aug, 2013.

MAJOR  
*Jim*

ATTEST: FINANCE DIRECTOR  
*Michelle A. Eldridge*

EXAMINED AND FOUND TO BE IN CONFORMITY WITH APPLICABLE ZONING AND OTHER LAND USE CONTROLS AND APPROVED THIS 19 DAY OF Aug, 2013.  
*Angela*

COMMUNITY AND ECONOMIC DEVELOPMENT DIRECTOR  
*Michelle A. Eldridge*

**TREASURERS CERTIFICATE**

THIS IS CERTIFY THAT ALL TAXES HERETOFORE LEVIED AND WHICH HAVE BECOME A LIEN ON THE LANDS HEREIN DESCRIBED HAVE BEEN FULLY PAID AND DISCHARGED ACCORDING TO THE RECORDS OF MY OFFICE UP TO AND INCLUDING THE YEAR 2013.

*Katie Dumont*  
 SKAGIT COUNTY TREASURER  
 DATE 8-26-2013



LOCATION: 2313 OLD HIGHWAY 99 SO., MOUNT VERNON, WA 98273

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**APPENDIX B  
PLANNING STUDY ON ADULT USES**

**SITE 65**

