

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITES 32 & 33

Permit Application

City of Mount Vernon
Development Services Department
360-336-6214

RECEIVED
CITY OF MOUNT VERNON

JAN 14 2009

C.E.D. DEPARTMENT

Site Address: 2017-2115 OLD HIGHWAY 99 S BY, MOUNT VERNON WA	
Parcel number:	Lot No.: Plat Name:
Owner Name: SCOTT & JACKIE WALTNER	
Address: 17302 BRITT RD MT VERNON WA 98273	
Phone: 360.416.6960 Cell phone: 360.770.7800 E-mail: SSWALTNER@COMCAST.NET	
Contractor Business Name: CHERRYHOLMES CONSTRUCTION	
Labor & Industries License number and expiration date: CHERRC 94301 9/21/2010	
City Business License: 7053	
Contact Name: CRAIG CHERRYHOLMES	Address: 20377 CHRISTIE PL, BURLINGTON WA
Phone: 360.707.2710 Cell Phone: 360.661.4652 E-mail: CHERRYHOLMESCC@COMCAST.NET	
Valuation of Project: \$45,000	Flood Zone?:
Detailed Project Description: REMODEL OF EXISTING BUILDING - OFFICE SPACE, TREATMENT SPACE	
Total:	Notified:
Comments:	

BUILDING DEPARTMENT APPLICATION POLICIES

1. Whenever plans have been submitted for review in connection with an application for a building permit, the applicant shall be responsible for payment of plan review or "plan check" fees. Such fees shall be payable whether or not a building permit is issued.
2. Plan check fees shall be calculated by the method set forth in the Uniform Building Code, 1997 Edition.
3. The applicant shall be notified by the Building Department upon completion of the plan check. Applicant must pay for and pick up a building permit or in the alternative, pay plan check fees only, within 60 days of such notification. Failure to do so will result in the matter being referred to the City Attorney for collection of plan check fees.
4. Where a plan check has been conducted, but no building permit is issued, a plan check for which fees have been paid in a timely manner shall be valid for a period of 30 days from the date of payment. Such plan check may be used to support a subsequent application for a building permit for the same project within that 30 day period without additional plan check fees; PROVIDED, HOWEVER, in the event of a change in building code requirements during such 30 day period, the validity of such plan check will terminate, and a new plan check, with appropriate payment of fees, must accompany any subsequent application.
5. No plan check will be valid following the expiration of the 30 day period noted above. An application for a building permit made after such 30 day period, including applications for identical projects on the same parcel of property, will require a new plan check and the applicant will be responsible for the new plan check fees.
6. Where a plan check has been conducted, but no building permit is issued, it shall be the applicant's responsibility to pick up all submitted plans and documents within 6 weeks following payment of the plan check fees. Following such 6 week period, the plans and documents may be discarded or destroyed by the Building Department.

By signature hereunder I certify I have read and understand the policies set forth above. I certify that I am the owner, or am acting as the Owner's authorized agent, and that the application and documents contained with this submittal are complete and accurate to the best of my knowledge and abilities.

Signature: [Signature] Date: 12/4/08

Jacquelyn & Scott Waltner
17302 Britt Rd
Mount Vernon, WA 98273
(360) 416-6960

RE: Traffic Concurrency
2115 Old Highway 99 S, Mount Vernon, WA
P29214

This building used to house the LAE Auto Parts Store. The proposed use of the building, after the internal remodel is complete, will be for a large animal veterinary practice. Expected occupancy of the building will be March or April 2009.

Most of the work of this practice is done on-farm, so traffic to the building will be minimal, comprised primarily of staff reporting to work on a daily basis. This would be between two to four vehicles per day. Clients coming to the office would potentially account for another one or two vehicles per day. This vehicle load should be significantly less than the previous occupant of the property.

Please feel free to contact either Scott or Jackie if you have further questions regarding this matter.

$$\begin{array}{r} 4 \\ 2 \\ \hline 6 \end{array} \times 12$$

Permit Application
 City of Mount Vernon
 Development Services Department
 360-336-6214

Routing # RECEIVED
 CITY OF MOUNT VERNON
 09-004

JAN 14 2009

C.E.D. DEPARTMENT

Site Address: 2017-2115 OLD HIGHWAY 99 S BY MOUNT VERNON WA	
Parcel number:	Lot No.: Plat Name:
Owner Name: SCOTT & JACKIE WALTNER	
Address: 17302 BRITT RD MT VERNON WA 98273	
Phone: 360-416-6960 Cell phone: 360-770-7800 E-mail: SSWALTNER@COMCAST.NET	
Contractor Business Name: CHERRYHOLMES CONSTRUCTION	
Labor & Industries License number and expiration date: CERRC 94301 9/21/2010	
City Business License:	
Contact Name: CRAIG CHERRYHOLMES	Address: 20377 CHRISTIE PL, BURLINGTON WA
Phone: 360-707-2710 Cell Phone: 360-661-4652 E-mail: CHERRYHOLMESCC@COMCAST.NET	
Valuation of Project: \$45,000	Flood Zone?:
Detailed Project Description: REMODEL OF EXISTING BUILDING - OFFICE SPACE, TREATMENT SPACE	
Total:	Notified:
Comments:	

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By signature hereunder I certify I have read and understand the policies set forth above. I certify that I am the owner, or am acting as the Owner's authorized agent, and that the application and documents contained with this submittal are complete and accurate to the best of my knowledge and abilities.

Signature: [Handwritten Signature] Date: 12/4/08



RECEIVED
CITY OF MOUNT VERNON

09-004

JAN 14 2009

Development Services

C.E.D. DEPARTMENT

BY _____

910 Cleveland Avenue
Post Office Box 809
Mount Vernon, WA 98273

Phone (360) 336-6214
FAX (360) 336-6283
E-Mail DS@ci.mount-vernon.wa.us
www.ci.mount-vernon.wa.us

FLOOD AREA DEVELOPMENT PERMIT

Owner: SCOTT & JACQUELYN (JACKIE) WALTNER

Address: 17302 BRITT RD, MT VERNON

Contractor: CHERRYHOLMES CONSTRUCTION

Address: 20377 CHRISTIE PL, BURLINGTON

Description of Work: INTERIOR REMODEL

Address of Project: 2115 OLD HWY 99 S, MT VERNON

Legal Description: P29214;

Type of Construction:

- Commercial Structure
- Residential structure
- Accessory structure (non-habitable)
- Other (explain in remarks section)
- Addition/Renovation/Remodel is Less Than 50% of Market Value of Existing Structure
- Encroachment in floodway

F.I.R.M. Designation:

Required Minimum Floor Elevation:

Elevation of Benchmark (If Required):

SEPA: Exempt Non Exempt:

Remarks:

PROPERTY IS NOT IN FLOOD ZONE (SEE ATTACHED)

Applicant's Signature: Jacquelyn K. Waltner Date: 1/7/09

DEPARTMENT OF HOMELAND SECURITY - FEDERAL EMERGENCY MANAGEMENT AGENCY
STANDARD FLOOD HAZARD DETERMINATION

See the attached
instructions

O.M.B. No. 1660-0040
Expires October 31, 2008

SECTION I - LOAN INFORMATION

1. LENDER NAME AND ADDRESS: Account Number: 100-0073-418 Address: BUSINESS BANK OF SKAGIT COUNTY 1854 S BURLINGTON BLVD BURLINGTON, WA 98233 Phone: (360) 707-2272 Fax: (360) 707-2375 Loan Officer/Processor: ROSE MARY HILL Delivery Method: FDR-COM - FDRSend		2. COLLATERAL (Building/Mobile Home/Personal Property) PROPERTY ADDRESS (Legal description may be attached): Borrower: CARLSON Determination Address: 2115 OLD HIGHWAY 99 S RD MOUNT VERNON, WA 98273 SKAGIT COUNTY APN/Tax ID: Lot: _____ Block: _____ Phase: _____ Subdivision: _____ Section: _____ Township: _____ Range: _____ Requested Address: 2115 OLD HWY 99 SOUTH ROAD MOUNT VERNON, WA 98273- SKAGIT	
3. LENDER I.D. NUMBER: 57978	4. LOAN IDENTIFIER: 1900606720	5. AMOUNT OF FLOOD INSURANCE REQUIRED (optional):	

SECTION II

A. NATIONAL FLOOD INSURANCE PROGRAM (NFIP) COMMUNITY JURISDICTION			
1. NFIP Community Name SKAGIT COUNTY *	2. County(ies) unincorporated areas	3. State WA	4. NFIP Community Number 530151

B. NATIONAL FLOOD INSURANCE PROGRAM (NFIP) DATA AFFECTING BUILDING / MOBILE HOME				
1. NFIP Map Number or Community-Panel Number (Community Name, if not the same as "A") 5301510025C	2. NFIP Map Panel Effective / Revised Date January 3, 1985	3. LOMA / LOMR Yes _____ Date _____	4. Flood Zone X	5. No NFIP Map

C. FEDERAL FLOOD INSURANCE AVAILABILITY (Check all that apply)

1. Federal flood insurance is available (community participates in NFIP). Regular Program Emergency Program of NFIP

2. Federal flood insurance is not available because community is not participating in the NFIP.

3. Building / Mobile Home is in a Coastal Barrier Resources Area (CBRA) or Otherwise Protected Area (OPA). Federal flood insurance may not be available.
CBRA/OPA designation date: _____

D. DETERMINATION

IS BUILDING / MOBILE HOME IN A SPECIAL FLOOD HAZARD AREA (ZONES CONTAINING THE LETTERS "A" OR "V")? YES NO

If yes, flood insurance is required by the Flood Disaster Protection Act of 1973.
If no, flood insurance is not required by the Flood Disaster Protection Act of 1973.

E. COMMENTS (Optional) RECHECK REVISED PER JB 01-05-09 LIFE OF LOAN DETERMINATION	HMDA Information	Compliance Quick Check
	State: 53 County: 057 MSA/MD: 34580 CT: 9526.00	Is Flood Insurance Required? NO Is NFIP Insurance Available? YES

This flood determination is provided solely for the use and benefit of the entity named in Section I, Box 1 in order to comply with the 1994 Reform Act and may not be used or relied upon by any other entity or individual for any purpose, including, but not limited to deciding whether to purchase a property or determining the value of a property.

This determination is based on examining the NFIP map, any Federal Emergency Management Agency revisions to it, and any other information needed to locate the building / mobile home on the NFIP map.

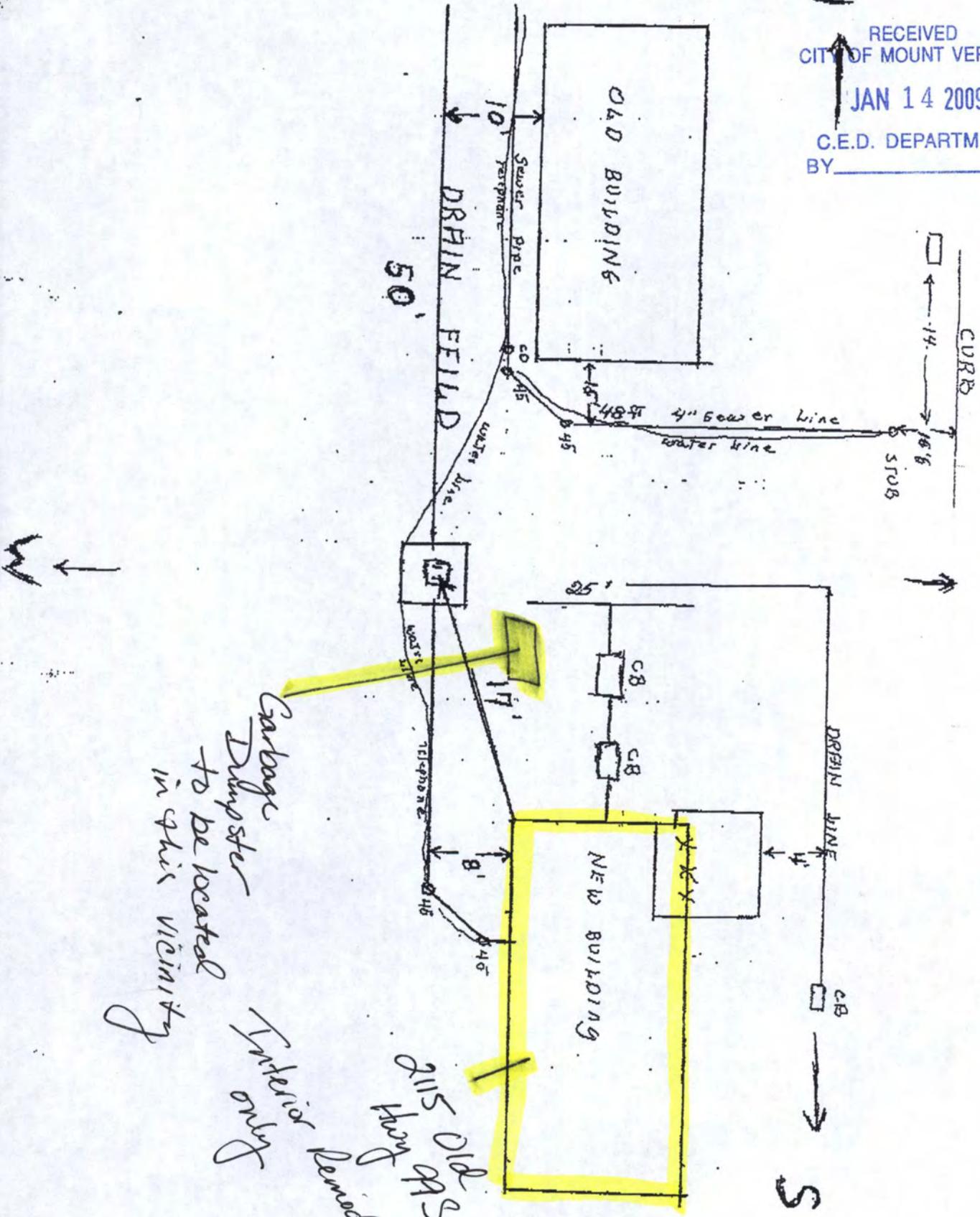
F. PREPARER'S INFORMATION (If other than Lender): NAME, ADDRESS, TELEPHONE NUMBER:  LPS National Flood 1521 N Cooper St Fourth Floor Arlington, TX 76011-5942 Phone: 1.800.833.6347 Fax: 1.800.662.6347	ORDER NUMBER: 207-5917-624 DATE OF DETERMINATION: December 31, 2008
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D 09-004

RECEIVED
CITY OF MOUNT VERNON

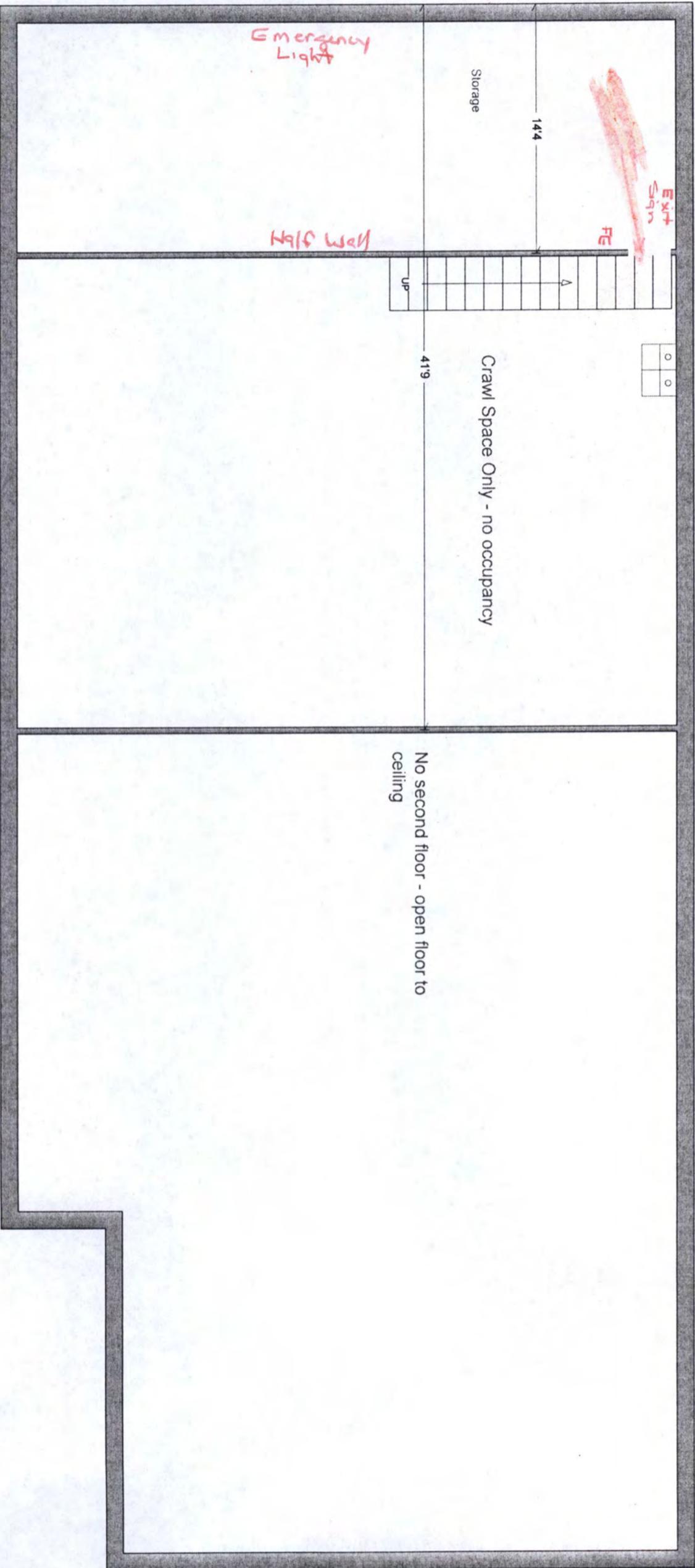
JAN 14 2009

C.E.D. DEPARTMENT
BY _____



*Garbage
Dumpster
to be located
in this vicinity*

*Interior
only
Remodel
Old
Appl
21115*



LIVING AREA
3479 sq ft

When recorded return to:

Bellrene, LLC
17302 Britt Road
Mount Vernon, WA 98273



200901130067
Skagit County Auditor

1/13/2009 Page 1 of 2 3:47PM

Filed for Record at Request of
Land Title and Escrow
Escrow Number: 131727-SE

Grantor: Leonard Carlson and Gail Carlson
Grantee: Bellrene, LLC, a Washington Limited Liability Company
LAND TITLE OF SKAGIT COUNTY

Statutory Warranty Deed

THE GRANTOR Leonard Carlson and Gail Carlson, husband and wife for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid, conveys and warrants to Bellrene, LLC, a Washington Limited Liability Company, the following described real estate, situated in the County of Skagit, State of Washington:

Abbreviated Legal: Ptn NE 1/4 Of SE 1/4, 3-34-4 E W.M. *Jan JW*

SEE ATTACHED EXHIBIT "A" HERETO FOR LEGAL DESCRIPTION

Tax Parcel Number(s): 340430-4-001-0001, P29214

Subject to all covenants, conditions, restrictions, reservations, agreements and easements of record including, but not limited to, those shown on Schedule "B-1" of Land Title Company's Preliminary Commitment No. 131727-SE.

Dated December 24, 2008

Leonard Carlson
Leonard Carlson

Gail Carlson
Gail Carlson

797
SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

JAN 13 2009

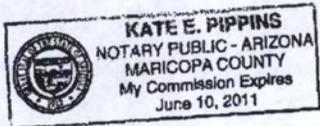
STATE OF Arizona
COUNTY OF Maricopa) SS:

Amount Paid \$ 11,299.00
Skagit Co. Treasurer
By *SKA* Deputy

I certify that I know or have satisfactory evidence that Leonard Carlson and Gail Carlson the person(s) who appeared before me, and said person(s) acknowledged that they signed this instrument and acknowledge it to be their free and voluntary act for the uses and purposes mentioned in this instrument.

Dated: Jun 5, 2009

Kate E. Pippins



Notary Public in and for the State of Arizona
Residing at Buckeye, AZ
My appointment expires: June 10, 2011

EXHIBIT A

The North 543 feet of that portion of the Northeast $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 3, Township 34 North, Range 4 East, W.M., lying East of the East line of the Great Northern Railway Company right of way, EXCEPTING the following described tract:

Beginning at the Northeast corner of the Southeast $\frac{1}{4}$ of Section 30, Township 34 North, Range 4 East, W.M.;

thence in a Southerly direction along the East line of said Section 30, a distance of 252.1 feet;

thence in a Westerly direction and at right angles to said East line of said Section 30 a distance of 30 feet to the West right of way line of the Alfred Johnson Road and to the true point of beginning of this description;

thence in a Northerly direction along the said West right of way line of the Alfred Johnson Road a distance of 222.3 feet to the South right of way line of the Blackburn Road;

thence in a Westerly direction along said South right of way line of the Blackburn Road, a distance of 38.7 feet to an intersection with the East right of way line of the Great Northern Railway;

thence in a Southerly direction along said East right of way line of the Great Northern Railway a distance of 109.9 feet;

thence in an Easterly direction and at right angles to the East right of way line of the Great Northern Railway 23 feet;

thence in a Southeasterly direction along a curve to the right with a radius of 289.6 feet a distance of 115 feet to an intersection with the West right of way line of the Alfred Johnson Road, and to the true point of beginning.

Situate in the City of Mount Vernon, County of Skagit, State of Washington.



200901130067
Skagit County Auditor

When recorded return to:

Bellrene, LLC
17302 Britt Road
Mount Vernon, WA 98273



200901130067
Skagit County Auditor

1/13/2009 Page 1 of 2 3:47PM

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Grantee: Bellrene, LLC, a Washington Limited Liability Company
LAND TITLE OF SKAGIT COUNTY

Statutory Warranty Deed

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Abbreviated Legal: Ptn NE 1/4 Of SE 1/4, 3-34-4 E W.M. *Jan JW*

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Subject to all covenants, conditions, restrictions, reservations, agreements and easements of record including, but not limited to, those shown on Schedule "B-1" of Land Title Company's Preliminary Commitment No. 131727-SE.

Dated December 24, 2008

Leonard Carlson
Leonard Carlson

Gail Carlson
Gail Carlson

#97
SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

JAN 13 2009

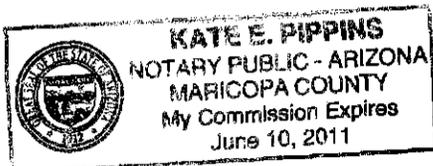
STATE OF Arizona }
COUNTY OF Maricopa } SS:

Amount Paid \$ 11,219.00
Skagit Co. Treasurer
By *[Signature]* Deputy

I certify that I know or have satisfactory evidence that Leonard Carlson and Gail Carlson the person(s) who appeared before me, and said person(s) acknowledged that they signed this instrument and acknowledge it to be their free and voluntary act for the uses and purposes mentioned in this instrument.

Dated: Jan 5, 2009

[Signature]



Notary Public in and for the State of Arizona
Residing at Buckeye, AZ
My appointment expires: June 10, 2011

EXHIBIT A

The North 543 feet of that portion of the Northeast $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 3, Township 34 North, Range 4 East, W.M., lying East of the East line of the Great Northern Railway Company right of way, EXCEPTING the following described tract:

Beginning at the Northeast corner of the Southeast $\frac{1}{4}$ of Section 30, Township 34 North, Range 4 East, W.M.;

thence in a Southerly direction along the East line of said Section 30, a distance of 252.1 feet;

thence in a Westerly direction and at right angles to said East line of said Section 30 a distance of 30 feet to the West right of way line of the Alfred Johnson Road and to the true point of beginning of this description;

thence in a Northerly direction along the said West right of way line of the Alfred Johnson Road a distance of 222.3 feet to the South right of way line of the Blackburn Road;

thence in a Westerly direction along said South right of way line of the Blackburn Road, a distance of 38.7 feet to an intersection with the East right of way line of the Great Northern Railway;

thence in a Southerly direction along said East right of way line of the Great Northern Railway a distance of 109.9 feet;

thence in an Easterly direction and at right angles to the East right of way line of the Great Northern Railway 23 feet;

thence in a Southeasterly direction along a curve to the right with a radius of 289.6 feet a distance of 115 feet to an intersection with the West right of way line of the Alfred Johnson Road, and to the true point of beginning.

Situate in the City of Mount Vernon, County of Skagit, State of Washington.



200901130067
Skagit County Auditor

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 35

Improvements for Parcel: P28897

Improvement Number	Description	Building Style	Values	Total Living Area
1	BIRCH EQUIPMENT	F1	\$62,300.00	3060 Square Feet

Improvement 1 , Segment 1

Description: EQUIPMENT (SHOP) BLDG
Quality/Class: *
Condition: *
Area: 3060 Square Feet
Year Built: 1979

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 36

When Recorded Please Return To:
Lawrence A. Pirkle
321 West Washington, Suite 300
Mt. Vernon, WA 98273



Kathy Hill, Skagit County Auditor
12/30/1999 Page 1 of 1 3:37:45PM

This Space For Recorder's Use Only

QUIT CLAIM DEED

THE GRANTOR, MARTIN BOER and TONNIE BOER, husband and wife, and BOYD R. BODE and VIRGINIA E. BODE, husband and wife, for and in consideration of transfer to a Limited Liability Company pursuant to IRC 721, conveys and quit claims to **GRANTEES**, ARMONY GROUP, a Washington Limited Liability Company the following described real estate, situated in the County of Skagit, State of Washington, together with all after acquired title of the grantor therein.

Assessor's Parcel No. 340430-0-081-0002

That portion of the Southeast 1/4 of the Southeast 1/4 of Section 30, Township 34 North, Range 4 East, W.M., described as follows:

Beginning at a point on the West line of the Pacific Highway 431.8 feet North of the South line of said Section; thence North along the West line of said highway, 100 feet; thence due West to the East line of said Great Northern Railway Company right of way; thence Southerly along said right of way line to a point West of the point of beginning; thence East along a line drawn parallel to the South line of said Section, a distance of 184.4 feet, more or less, to the point of beginning.

Situate in the County of Skagit, State of Washington

Dated 1st day of April, 1999

Martin Boer

Boyd R. Bode

Tonnie Boer

Virginia E. Bode

State of Washington)
)ss.
County of Skagit)

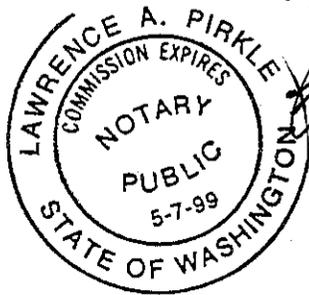
On this day personally appeared before me MARTIN BOER, TONNIE BOER, and BOYD R. BODE and VIRGINIA E. BODE to me known to be the individuals described in and who executed the within and foregoing instrument, and acknowledged that they signed the same as their free and voluntary act and deed, for the uses and purposes therein mentioned.

GIVEN under my hand and official seal this 1st day of April, 1999

33206
SKAGIT COUNTY WASHINGTON
Real Estate Excise Tax
PAID

DEC 30 1999

Amount Paid \$
By: Skagit County Treasurer Deputy



LAWRENCE A. PIRKLE

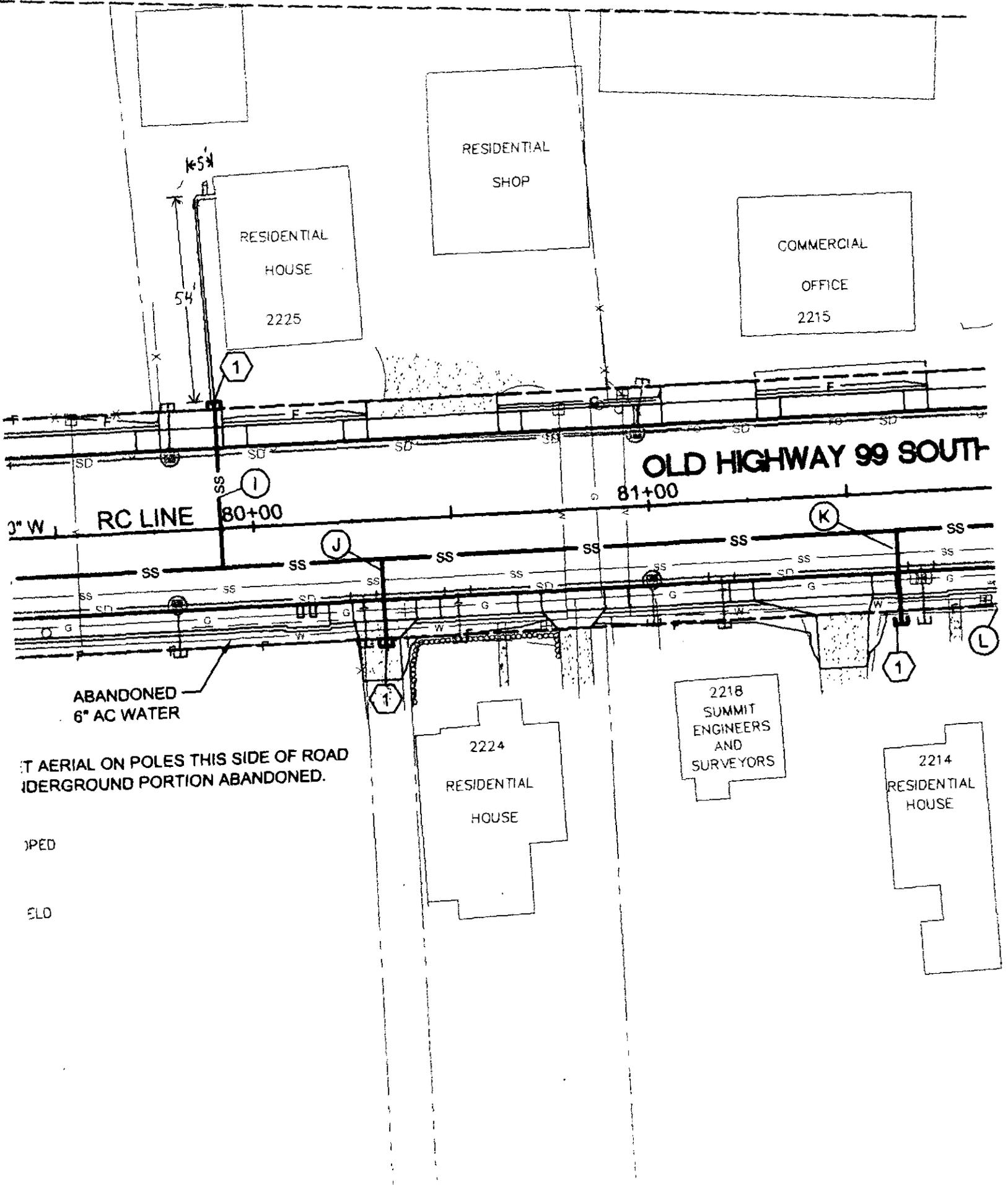
Notary Public in and for the State of Washington
Residing at: Mt. Vernon
My Commission Expires: 5-7-99

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITES 37 & 38

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 39



OPED

ELD

When Recorded Please Return To:
LAWRENCE A. PIRKLE
P.O. Box 1788
Mount Vernon, WA 98273
(360) 336-6587



Skagit County Auditor \$73.00
6/2/2014 Page 1 of 2 1:20PM

This space for Recorder's use only

QUIT CLAIM DEED

THE GRANTOR, SCOTT R. STRICKERT, a single person, for and in consideration of transfer to wholly owned Limited Liability Company, (mere change in form of ownership WAC (458-61A-211(2a)), conveys and quit claims to GRANTEE, SCOTT'S STUFF, LLC, a Washington Limited Liability Company, the following described real estate, situated in the County of Skagit, State of Washington, together with all after acquired title of the grantor therein.

Assessor's Parcel No: P28879 340430-0-067-0000

That portion of the South 115 feet of the North 978 feet of the Northeast 1/4 of the Southeast 1/4 of Section 30, Township 34 North, Range 4 East, W.M., lying Easterly of the Great Northern Railway right-of-way and West of the Old State Highway No. 99. Situate in the County of Skagit, State of Washington.

Dated 2nd day of June, 2014.



SCOTT R. STRICKERT

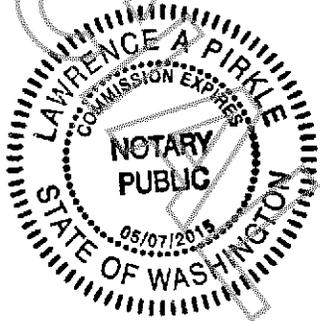
SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX
20141894
JUN 02 2014

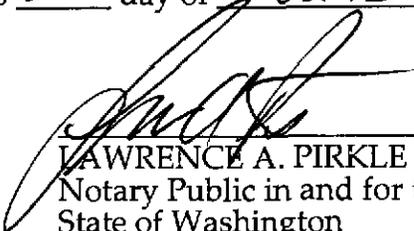
Amount Paid \$~~0~~
Skagit Co. Treasurer
By man Deputy

STATE OF WASHINGTON)
) ss.
COUNTY OF SKAGIT)

I certify that I know or have satisfactory evidence that SCOTT R. STRICKERT is the person who appeared before me and said person acknowledged that he signed this instrument and acknowledged it to be his free and voluntary act for the uses and purposes mentioned in the instrument.

GIVEN under my hand and official seal this 2ND day of June, 2014.




LAWRENCE A. PIRKLE
Notary Public in and for the
State of Washington
Residing at Mount Vernon
My Commission Expires: 5/7/15

DOCUMENT



201406020113
Skagit County Auditor
6/2/2014 Page 2 of 2 \$73.00
2 1:20PM

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 40

2303 Old Hwy 99 South

Kebbekus, Amy

From: Kebbekus, Amy
Sent: Friday, January 10, 2003 10:55 AM
To: Kimbriel, Lori
Subject: 2303 Old Hwy 99 South

This one hooked up to sewer in November. I should have had it on the December list.

Edith Benson

2303 Old Highway 99 South

Mount Vernon, WA 98273

Thanks, Amy

Kebbekus, Amy

From: Kebbekus, Amy
Sent: Friday, December 27, 2002 2:55 PM
To: Sprouse, Chrissy
Subject: South Mount Vernon stuff

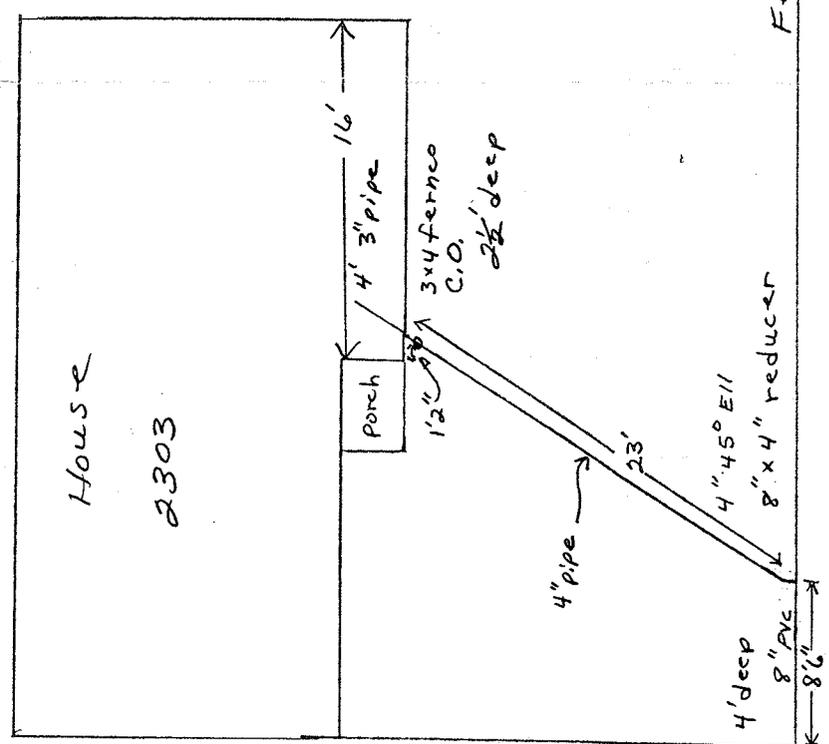
I have a residence that hooked up to sewer in November. There is an original agreement to annex in the file. Where do you think we should keep this document? A future annexation file? In the City Attorney's office in an annexation file? My feeble brain says no to keep it in the address file in the back inactive files where it seems like a good place to be overlooked. Let me know what you think.

Amy

11/21/02
Edith Benson
2303 Old Hwy 99 South
Mt. Vernon, WA 98273

ASBUILT
sanitary sewer
City of Mt. Vernon

Installed by:
Catapult Heavy Const, Inc
360-428-8811



RECEIVED
CITY OF MOUNT VERNON
DEC 02 2002
C.E.D. DEPARTMENT
BY _____

Old Hwy 99 South



Building Permit City of Mount Vernon

Permit S02-011

Site Address 2303 S Old Hwy 99

Legal Desc

Lot Block P# P28878 Plat

Owner's Name Benson Edith M

Address 2303 Old Hwy 99 S.

City Mount Vernon **Zip** 98273 **Phone** () -

Architect's Name

Address

City **Phone** () -

Lending Agency

Address

City **Phone** () -

Contractor's Name Catapult Heavy Construction

Address 1403 Highway 9

City Mount Vernon, WA 98273 **Phone** (360) 428-8811

City License 1122 **State License** CATAPHC169LF (6/5/2004)

Type of Permit Work Type 3

- Residential Application
- Building Permit
- Reroof/Dem
- Fill Permit
- Plumbing Permit
- Fence
- Sign Permit
- Mechanical Perr
- Other

Occupancy Use Single

Description of Work

Construct new side sewer.

NOTICE: This permit is issued by the Building Official and, under the provisions of the Uniform Building Code, shall expire by limitation and become null and void if the building or work authorized by such permit is not commenced within 180 days from the date of permit issuance, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days. By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not, including calls for inspections.

Edith Benson
Signature of Owner/Agent, Agent 11-5-02
Date

FOLLOWING FOR DEPARTMENT USE ONLY

Street Setback Side One Side Two Rear Yard Setback

Use Zone **Occ. Group** **Type of Const**

NREC Required? **Vacant Site?** **Dwelling Units** 1 **Stories**

FAD **ESU's** **Bedrooms**

Square Footage Bldg Porch Garage Deck

When signed and dated below, this is your permit. Permission is hereby given to do the above described work, according to the conditions hereon and according to the approved plans and specifications pertaining thereto, subject to compliance with the ordinances of the City of Mount Vernon.

C. Joe Natola, Jr.
Permit Issued By **Building Official** 11-5-02
C. Joe Natola, Jr. Date

Conditions/Comments
Per Engineering: No work to be done in the developed roadway.

Approved for Issuance		Land Use Approval	
Date	By	Date	By
			DNS
			CUP
			VAR
			SUP
			MISC
			REZ

Plumbing Information

Amount	Type of Fixture or Item	Fee
	Water Closet	
	Bathtub	
	Lavatory	
	Shower	
	Kitchen Sink	
	Dishwasher	
	Laundry Tray	
	Clothes Washer	
	Water Heater	
	Urinal/Bidet	
	Drinking Fountain	
	Floor Sink or Drain	
	Slop Sink	
	Grease Trap/Interceptor	
	Water Piping	
	Permit	
	Total Fees	

Mechanical Information

Gas? Electrical? Oil? Other?

Amount	Type of Fixture or Item	Fee
	Air Conditioning Unit	
	Refrigeration Unit	
	Boiler	
	Forced Air System	
	Floor Furnace	
	Wall Heater	
	Unit Heater	
	Clothes Dryer	
	Ventilation Fan	
	Range Hood	
	Air Handling Unit	
	Pre Manufactured Stove	
	Hot Water Tank	
	Gas Piping	
	Permit	
	Total Fees	

Fee Totals

Building Permit Fees	
Plan Review Fees	\$0.00
Plumbing Permit Fees	
Mechanical Permit Fees	
Sign Permit Fees	\$0.00
Impact Fees	
State Surcharge	\$0.00
Engineering Fees	\$2,750.00
Re-Inspection Fee	
Other	
Total Fees	\$2,750.00

Valuation Method

- Fees Based on \$ Value
- Calculated Using Square Footage
 - Contractor's Bid
 - Architect Estimate
 - Owner Provided

S02-011

CITY OF MOUNT VERNON
APPLICATION FOR SEWER CONNECTION IN
UNINCORPORATED URBAN GROWTH AREA

Mount Vernon Development Services Department (360) 336-6214

RECEIVED
 CITY OF MOUNT VERNON
 OCT 15 2002

ENG

PLUMBING

Site Address		
Owner <input checked="" type="checkbox"/> Tenant <input type="checkbox"/> Registered Agent <input type="checkbox"/>		
Name <u>Edith M. Benson</u>		
Address <u>2303 Old Hwy 99, S. Rd.</u>		
City <u>MT. Vernon</u> Zip <u>98273</u> Phone <u>424-8771</u>		
Contractor's Name <u>Catapult - Mike Creek</u>		
Address <u>14047 Hwy 9</u>		
City <u>Mount Vernon</u> Zip <u>98273</u> Phone <u>428-8811</u>		
Labor & Industries License/Exp. Date		City License
Property Tax Account Number (Required) ("P" #) <u>340430-0-066-0019 P28878</u>		
Type of Permit <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Non-Residential		
Occupancy Use <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Multi-Family <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Church <input type="checkbox"/> Restaurant <input type="checkbox"/> School <input type="checkbox"/> Storage <input type="checkbox"/> Manufacturing		
Square Footage of Structures Hooking Up to Sewer:		
Building 1:		
Building 2:		
Building 3:		
By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent, and that the application and documents contained with this submittal are complete and accurate to the best of my knowledge and abilities.		
Signature of Owner/Agent <u>Edith M. Benson</u>		Date <u>10-15-02</u>
Project Contact <u>Aelen Clemons</u>		Phone Number <u>848-7948</u>
Fax Number		E-mail Address
Conditions/Comments		

No.	Type of Fixture	Fixture Unit
	Water Closet	
	Bathtub	
	Lavatory	
	Shower	N/A
	Kitchen Sink	
	Dishwasher	
	Laundry Tray	
	Clothes Washer	
	Water Heater	
	Urinal/Bidet	
	Drinking Fountain	
	Floor Sink or Drain	
	Slop Sink	
	Grease Trap/Interceptor	

Application Checklist

Applicant	Item	Office
<input checked="" type="checkbox"/>	Application	K
<input checked="" type="checkbox"/>	Certified Legal Description	K
<input checked="" type="checkbox"/>	Certified Documentation of Ownership	K
<input checked="" type="checkbox"/>	Signed & Notarized Agreement to Annex	K
<input checked="" type="checkbox"/>	Site Plan to scale	K

FEEES

Engineering Fees	50	00
Capacity Charge	900	00
Expansion Charge	1800	00
TOTAL FEES	2750	00



200210250124

Skagit County Auditor

10/25/2002 Page 1 of 6 11:46AM

AGREEMENT TO ANNEX

THIS AGREEMENT is made and executed this 15th day of October, 2002, by and between the City of Mount Vernon, a municipal corporation, hereinafter referred to as "Mount Vernon" and Edith M. Benson, hereinafter referred to as the "Property Owner."

WHEREAS, the Property Owner is the recorded owner of the property located within Skagit County, Washington that is fully described in the attached **Exhibit "A,"** and Abbreviated legal 30-34-4 Parcel # 28878
NESE

WHEREAS, Skagit County has adopted a comprehensive plan which designated an Urban Growth Area adjacent to the southern boundary of the City of Mount Vernon, and

WHEREAS, the Property is situated in the Mount Vernon Urban Growth Area, and

WHEREAS pursuant to Washington's Growth Management Act, and as recognized by the Urban Growth Area Element of the Skagit County Comprehensive Plan, an Urban Growth Area defines where developments will be directed and supported with historical and typical urban public facilities and services, such as storm and sanitary sewer systems, domestic water systems, street cleaning services, fire and police protection services, and public transit services, and

WHEREAS, it is the intent of the Growth Management Act that a development situated in an Urban Growth Area will have public facilities and public services provided by cities, and

WHEREAS, it is the desire of the Property Owner that the Property be served with municipal services by Mount Vernon, and

WHEREAS, Section 13.32.050 of the Mount Vernon City Code requires that an Agreement be executed whereby the owner of the above described

property covenants that they would annex said property to Mount Vernon at such time as the property is eligible for annexation to Mount Vernon, and

WHEREAS, the Property is approximately ____ acres, and no electors reside thereon; and

WHEREAS, the Property Owner has expended substantial sums of money and has materially altered and will materially alter its positions in reliance upon the execution of this Agreement and the performance of its terms and provisions by Mount Vernon, and

WHEREAS, Mount Vernon has expended considerable resources in planning for the orderly annexation of property situated in the Urban Growth Area to the City, and has materially altered and will materially alter its positions in reliance upon the execution of this Agreement and the performance of its terms and provisions by the Property Owner, and

WHEREAS the parties understand and agree that as a result of the Washington Supreme Court's decision in *Grant County Fire Protection District No. 5 et. al. v. City of Moses Lake*, annexations may not be based upon petitions signed by property owners in the area proposed for annexation pursuant to Chapter 35A.14 RCW. The parties further understand and agree that the law in this area is unsettled and is subject to revision by the legislature by the courts. The parties agree that by executing this Agreement, it is their intent to take such actions as may be presently available, or become available at a later date upon further action by the Washington State Legislature, to accommodate the annexation of the Property to the City of Mount Vernon. Such action shall include, but shall not be limited to, the execution of a petition in favor of annexation pursuant to RCW § 35A.14.020 et. seq., or pursuant to any legislative enactment of the State of Washington.

NOW, THEREFORE, in consideration of the mutual promises and obligations hereinafter set forth, the parties hereto agree as follows:

1. **RECITALS:** The foregoing recitals are incorporated herein as if fully set forth herein.
2. **UTILITIES:** Mount Vernon agrees to permit the Property Owner to connect to the City operated sanitary and storm sewer lines in the right-of-way adjacent to the Subject Property if such connections are necessary, all in accordance with Title 13 of the Mount Vernon City Code.
3. **MUNICIPAL SERVICES.** Mount Vernon agrees to provide the Property Owner with municipal services on the same basis as other developments situated within the Urban Growth Area. The City will provide urban police and fire services at the time of annexation. However, until



annexation occurs, the Skagit County Sheriff's Department will provide police services and fire protection will be provided by Fire District No. 3.

4. **POWER OF ATTORNEY.** In consideration of Mount Vernon authorizing connection to the City's utility systems, the Property Owner hereby grants and conveys to the Public Works Director of Mount Vernon or his successor in interest or designee a Special Power of Attorney to exercise any and all rights of said Property Owner, their heirs or assigns and any successors in interest to said Property Owner, including any purchasers, mortgage holders, lien holders or other persons who may claim an interest in said property hereinafter referred to as "Successors in Interest" to accomplish the following:

(a) To petition Mount Vernon for annexation of any part or all of the property described above, which petition shall conform to the provisions of paragraph (b) herein.

(b) To accomplish all steps necessary or proper for the annexation of said property under RCW 35A.14 and the ordinances and regulations of the City of Mount Vernon for annexation of property to the City of Mount Vernon with zoning consistent with the ordinances of the City of Mount Vernon and with the condition that Property Owner or its Successors in Interest will be required to assume no more than a fair share of Mount Vernon's bonded indebtedness.

(c) To sign any and all letters, petition and other documents necessary to accomplish said annexation on behalf of any successors in interest as defined above.

This Power of Attorney shall be considered a power coupled with an interest and may not be terminated except at such time as the above described property is no longer served by sewer facilities through Mount Vernon or Mount Vernon's utility facilities.

5. **COVENANT NOT TO PROTEST.** If Mount Vernon resolves to annex the above-described property, the Property Owner or its Successor in Interest covenants not to challenge same by referendum or other methods. This Agreement and Power of Attorney touches and concerns the real property described above and so long as the said property is served by sewer service from the City of Mount Vernon through the Mount Vernon sewer system, shall bind the land and shall run with the land, binding the Property Owner's assigns, heirs, transferees, Successors in Interest and a
 ll who derive an interest therein.

6. **DEVELOPMENT STANDARDS.** The Development shall be constructed in accordance with the site plan as shown on Exhibit B and the site plan conditions of approval of the Skagit County Planning and Permit center.



200210250124
Skagit County Auditor

The Development shall meet urban development standards for fire flow, access, turning radiuses, and fire hydrant spacing.

7. **RECORDATION.** This Agreement shall be recorded in the Skagit County Auditor's Office and shall be referenced upon any deed or other instruments conveying an interest in said property.

8. **ENFORCEMENT.**

A. Either party may enforce this Agreement through any means available at law or equity, including by an action seeking specific performance.

B. Skagit County shall be the venue of any lawsuit arising out of this Agreement. Washington law shall govern the interpretation of this Agreement. This agreement shall not be subject to the provisions of Title 62A RCW, it being the intent of the parties that the common law of Washington shall be utilized to interpret this Agreement.

C. If one or more of the clauses of this Agreement is found to be unenforceable, illegal, or contrary to public policy, the Agreement will remain in full force and effect except for the clauses that are unenforceable, illegal, or contrary to public policy.

D. This Agreement constitutes the complete and final agreement of the parties and replaces and supersedes all oral and/or written proposals and agreements heretofore made on the subject matter and may be modified only by a writing signed by both parties.

X By: Edith M. Benson
Property Owner



200210250124
Skagit County Auditor

10/25/2002 Page 4 of 6 11:46AM

By: _____
Property Owner

Dated in Mount Vernon, Washington this day of, Oct 15, 2002

STATE OF WASHINGTON)
)ss
COUNTY OF SKAGIT)

I, the undersigned, a Notary Public, do hereby certify that on this 15 day of Oct, 2002, personally appeared before me,

Edith M. Benson to me known to be the individual described in and who executed the within instrument, and acknowledged that he signed and sealed the same as the free and voluntary act and deed of the

Department, for the purposes and uses therein mentioned, and on oath stated that he was duly authorized to execute said document. In Witness Whereof I have hereunto set my hand and affixed my official seal the day and year first above written.

MT. Vernon Ann Marie Berg
Notary Public in and for the State of Washington, residing

in MT. Vernon

My commission expires April 12, 2003



CITY OF MOUNT VERNON, a Municipal Corporation

By: [Signature]
Authorized Agent for the City of Mount Vernon

STATE OF WASHINGTON)
)ss
COUNTY OF SKAGIT)

I, the undersigned, a Notary Public, do hereby certify that on this 22nd day of OCTOBER, 2002, personally appeared before me, ROXANNE MICHAEL, Acting as an Authorized Agent for the City of Mount Vernon, a Municipal Corporation, to me known to be the individual described in and who executed the within instrument, and acknowledged that he signed and sealed the same as the free and voluntary act and deed of the Department, for the purposes and uses therein mentioned, and on oath stated that he was duly authorized to execute said document.

In Witness Whereof I have hereunto set my hand and affixed my official seal the day and year first above written.

[Signature]
Notary Public in and for the State of Washington,

residing in SKAGIT COUNTY

My commission expires 04-04-06



200210250124
Skagit County Auditor

All that portion of the Northeast quarter (NE1/4) of the Southeast quarter (SE1/4) of Section Thirty (30) Township Thirty-Four (34) North, Range Four (4) East of the Willamette Meridian, lying East of the Great Northern Railroad right of way and South of a line 978 feet South of and parallel to the North line of said Northeast quarter (NE1/4) of the Southeast quarter (SE1/4), except the South 250 feet thereof, and except right of way for Pacific Highway.

ALSO, an easement for ingress and egress over and across the South 16 feet of the North 978 feet of the Northeast quarter (NE1/4) of the Southeast quarter (SE1/4) of Section Thirty (30), Township Thirty-four (34) North, Range Four (4), East of the Willamette Meridian, lying Easterly of the Great Northern Railway right of way and West of old State Highway 99.



200210250124

Skagit County Auditor

10/25/2002 Page 6 of 6 11:46AM

S02-011

RECEIVED
CITY OF MOUNT VERNON

CITY OF MOUNT VERNON
APPLICATION FOR SEWER CONNECTION IN
UNINCORPORATED URBAN GROWTH AREA

OCT 15 2002

Mount Vernon Development Services Department (360) 336-6214

Site Address		
Owner <input checked="" type="checkbox"/> Tenant <input type="checkbox"/> Registered Agent <input type="checkbox"/>		
Name <u>Edith M. Benson</u>		
Address <u>2303 Old Hwy 99 S.Rd.</u>		
City <u>MT. Vernon</u> Zip <u>98273</u> Phone <u>424-8771</u>		
Contractor's Name <u>Catapult - Mike Cheek</u>		
Address <u>14047 Hwy 9</u>		
City <u>Mount Vernon</u> Zip <u>98273</u> Phone <u>428-8811</u>		
Labor & Industries License/Exp. Date		City License
Property Tax Account Number (Required) ("P" #) <u>340430-0-066-0019 P28878</u>		
Type of Permit		
<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Non-Residential		
Occupancy Use		
<input checked="" type="checkbox"/> Single Family	<input type="checkbox"/> Multi-Family	<input type="checkbox"/> Office
<input type="checkbox"/> Retail	<input type="checkbox"/> Church	<input type="checkbox"/> Restaurant
<input type="checkbox"/> School	<input type="checkbox"/> Storage	<input type="checkbox"/> Manufacturing
Square Footage of Structures Hooking Up to Sewer:		
Building 1:		
Building 2:		
Building 3:		
By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent, and that the application and documents contained with this submittal are complete and accurate to the best of my knowledge and abilities.		
Signature of Owner/Agent		Date
<u>Edith M. Benson</u>		<u>10-15-02</u>
Project Contact		Phone Number
<u>Helen Clemons</u>		<u>848-7948</u>
Fax Number		E-mail Address
Conditions/Comments		

PLUMBING		
No.	Type of Fixture	Fixture Unit
	Water Closet	
	Bathtub	
	Lavatory	
	Shower	
	Kitchen Sink	
	Dishwasher	
	Laundry Tray	
	Clothes Washer	
	Water Heater	
	Urinal/Bidet	
	Drinking Fountain	
	Floor Sink or Drain	
	Slop Sink	
	Grease Trap/Interceptor	
Application Checklist		
Applicant	Item	Office
<input checked="" type="checkbox"/>	Application	K
<input checked="" type="checkbox"/>	Certified Legal Description	K
<input checked="" type="checkbox"/>	Certified Documentation of Ownership	K
<input checked="" type="checkbox"/>	Signed & Notarized Agreement to Annex	K
<input checked="" type="checkbox"/>	Site Plan to scale	K
FEES		
Engineering Fees	50	00
Capacity Charge	000	00
Expansion Charge	1800	00
TOTAL FEES	2750	00

S02-011

CATAPULT HEAVY CONSTRUCTION, INC.
14047 STATE ROUTE 9
MOUNT VERNON, WASHINGTON 98273-8048
360-428-8811, Fax 360-424-5466

RECEIVED
CITY OF MOUNT VERNON
OCT 15 2002
C.E.D. DEPARTMENT
BY _____



March 7, 2002
Revision September 30, 2002

Mrs. Benson
C/o Helen Clemons
2303 Old Hwy 99 S.
Mount Vernon, WA. 98273
848-7948

- Reason Listed
- Approved with Noted Conditions

by Don Z. [Signature] 10-17-02
Signature Date

CED DIRECTOR

We propose to connect 4" side sewer line stub, outside of City R/W (inside lot), and run approximately 25 lineal feet to front (East) side of house and connect to new plumbing under house that would re-direct sewer to East side of house.

- Approved
- Not Approved Reasons Listed
- Approved with Noted Conditions

Plumbing under house would consist of removal of old galvanized piping from below floor elevation only and replacing with A.B.S. pipe and direct to East side of house and connect to new 4" PVC pipe.

Signature _____ Date _____

Existing septic tank would then be pumped and filled in.

COMMENTS: No work in developed runway

Yard restoration would include general backfill and clean up.

BUILDING OFFICIAL

It is assumed in this estimate that the side sewer would be no deeper than six feet and that no other underground obstructions are located in the area of this work.

- Approved
- Not Approved; Reasons Listed
- Approved with Noted Conditions

Cost estimate \$2,515.00 plus tax add 10% \$251.50 = \$2,766.50 plus tax.

Permit, fees and easement costs are not included in this estimate.

Signature _____ Date _____

Respectfully,

FIRE MARSHAL

[Signature]
Mike Cheek

- Approved
- Not Approved Reasons Listed
- Approved with Noted Conditions

Signature _____ Date _____

COMMENTS: _____

502-011

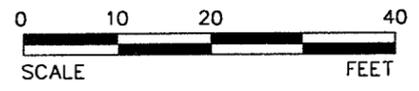
BURLINGTON NORTHERN RAILROAD

COMMERCIAL

RESIDENTIAL HOUSE



NORTH



RESIDENTIAL HOUSE

RESIDENTIAL SHOP

RESIDENTIAL HOUSE
2225

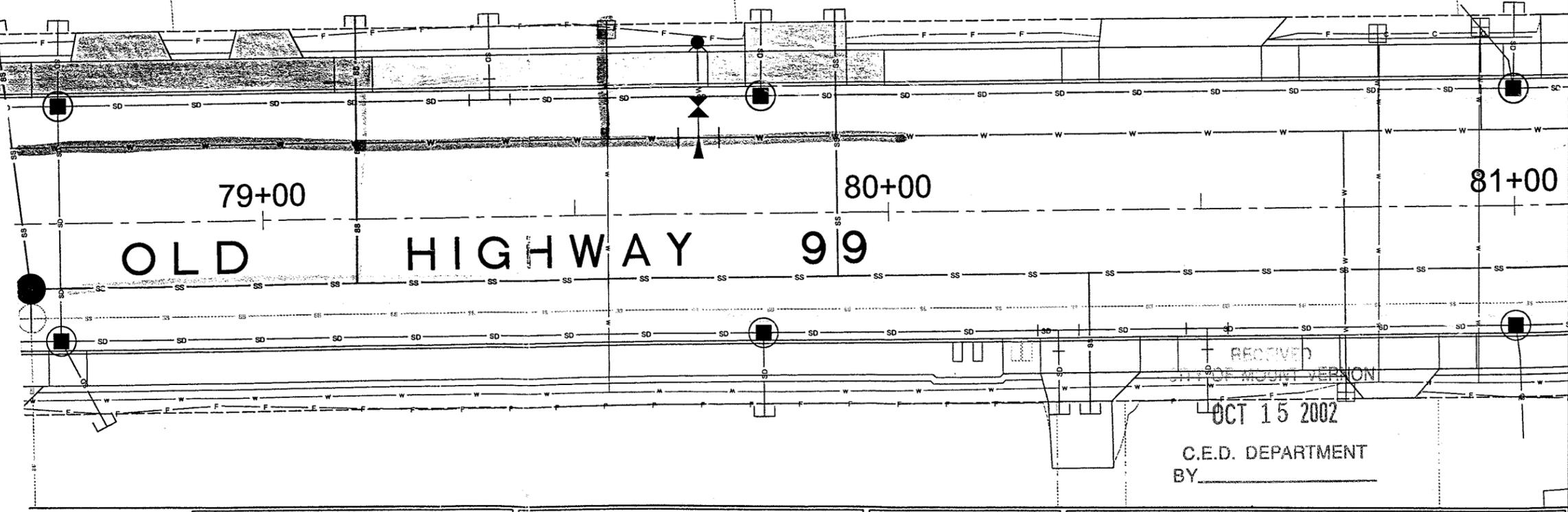
DB'S GENERAL STORE

2313

house + garage

2303

DN.dwg Thu May 31 11:09:18 2001



LEGEND

-  CURB CUT
-  SIDEWALK
-  WATER LINE AND STUB
-  STORM DRAIN AND STUB
-  SANITARY SEWER AND STUB

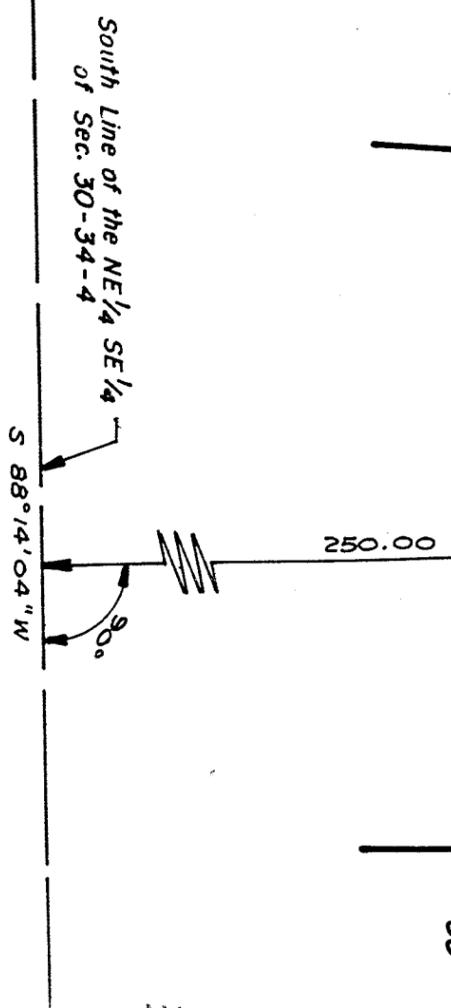
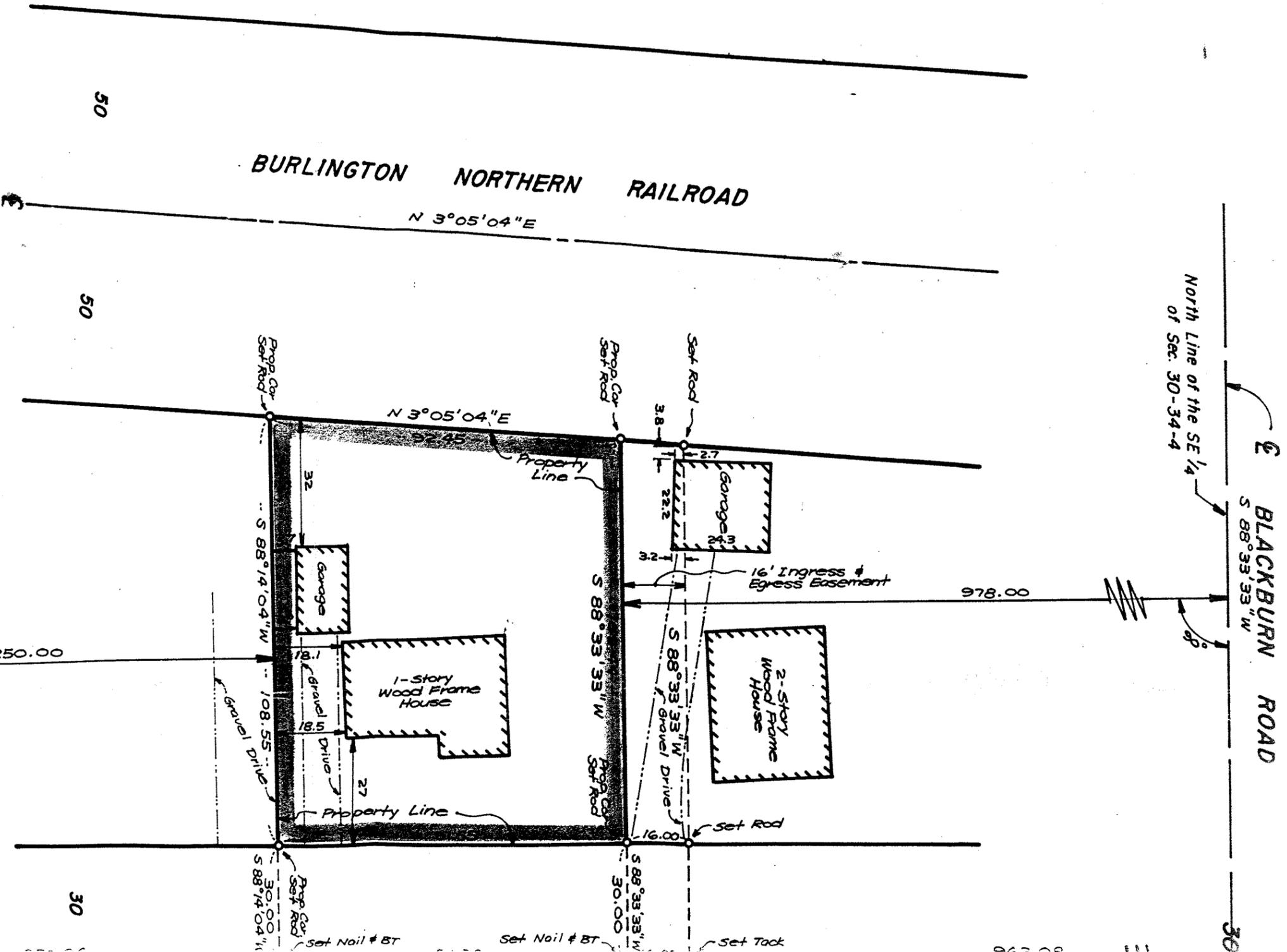
Leonard, Boudinot & Skodje Inc.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 803 South Pine Street, P.O. Box 1288
 Mount Vernon, WA 98573
 Tel: 360-338-5751 Fax: 360-338-3881

CITY OF MOUNT VERNON, WASHINGTON
 SECTION 32, TOWNSHIP 34, N, RANGE 4, E, WM.

SCALE: 1" = 20'
 DRAWING NAME: BENSON
 JOB NUMBER: 00078
 DATE: JUNE 2001

HIGHWAY 99/ANDERSON ROAD IMPROVEMENTS
 EDITH BENSON PROPERTY

PARCEL NO. 6



RECEIVED
 CITY OF MOUNT VERNON
 OCT 15 2002
 C.E.D. DEPARTMENT
 BY _____

AUDITOR'S CERTIFICATE

Filed for the record this 21 day of April, 1983, at 41 minutes past 10 o'clock A.M. in Volume 55 of Surveys of Page 4 on 8311921902, under Auditor's File Number G.D. 26610.

By *[Signature]* Auditor Skagit County



This is by me with Act, LEGR... Engin... 815 C... Moun...

502-011



PLAN

Scale: 1" = 30'

LEGEND

- o Prop. Cor. Property Corner
Set Rod Set $\frac{3}{8}$ " diam. x 18" Steel
Rebar with yellow plastic
Cap imprinted: "JUDY"
- ▲ Set Nail # BT Set Nail and Brass 709
imprinted: "L.S." 7598
- 7598

LEGAL DESCRIPTION

That portion of the Northeast Quarter (NE $\frac{1}{4}$) of the Southeast Quarter (SE $\frac{1}{4}$) of Section Thirty (30), Township Thirty-four (34) North, Range Four (4) East of the Willamette Meridian, lying East of the Burlington Northern Railroad (formerly the Great Northern Railroad) right of way and South of a line 978 feet South of and parallel to the North line of said North-east Quarter of the Southeast Quarter, EXCEPT the South 250 feet thereof and EXCEPT right of way for old state Highway 99 South (Pacific Highway).

TOGETHER WITH an easement for ingress and egress over and across the South 16 feet of the North 978 feet of the Northeast Quarter of the Southeast Quarter of Section Thirty (30), Township Thirty-four (34) North, Range Four (4) East of the Willamette Meridian, lying Easterly of the Burlington Northern Railroad (formerly the Great Northern Railroad) right of way and West of old State Highway 99. Situate in the County of Skagit, State of Washington.

1E $\frac{1}{4}$ SE $\frac{1}{4}$ Sec. 30-34-4
Concrete Nail with
shar.

RECEIVED
CITY OF MOUNT VERNON

OCT 15 2002

C.E.D. DEPARTMENT
BY _____

DR'S CERTIFICATE

ly represents a survey made
my direction in conformance
ments of the Survey Recording
act of Mrs. William Mofach.

Signature of D. Legro
D. LEGRO
Registered Professional
Engineer & Land Surveyor
Washington License No. 3475

RECORD OF SURVEY

EDITH M. BENSON PROPERTY SURVEY

PTN. NE $\frac{1}{4}$ SE $\frac{1}{4}$

SEC. 30, T. 34 N., R. 4 E. W. M.
SKAGIT COUNTY, WASHINGTON

655589 ✓ ~~655220~~ ✓ 802-011 28092
 \$18.4500RS
 9.50 STATE

WARRANTY DEED

The Grantor, HARRY T. STOWE, as executor under the Last Will and Testament of LILLIAN ETHEL SPRINGER, deceased, for and in consideration of Nine Thousand Five Hundred Dollars (\$9,500.00), conveys and warrants to EDITH M. BENSON, a widow, the following described real property situate in Skagit County, Washington:

All that portion of the Northeast quarter (NE $\frac{1}{4}$) of the Southeast quarter (SE $\frac{1}{4}$) of Section Thirty (30) Township Thirty-four (34) North, Range Four (4) East of the Willamette Meridian, lying East of the Great Northern Railroad right of way and South of a line 978 feet South of and parallel to the North line of said Northeast quarter (NE $\frac{1}{4}$) of the Southeast quarter (SE $\frac{1}{4}$), except the South 250 feet thereof, and except right of way for Pacific Highway.

ALSO, an easement for ingress and egress over and across the South 16 feet of the North 978 feet of the Northeast quarter (NE $\frac{1}{4}$) of the Southeast quarter (SE $\frac{1}{4}$) of Section Thirty (30), Township Thirty-four (34) North, Range Four (4), East of the Willamette Meridian, lying Easterly of the Great Northern Railway right of way and West of old State Highway 99.

Received for record at Spokane, Idaho by Land Title Co.
 at request of Land Title Co.
 A. H. JOHNSON, Auditor Skagit Co., Washington

32646
 SKAGIT COUNTY, WASHINGTON
 Real Estate Excise Tax
 PAID

DATED this 26th day of August, 1964.

AUG 28 1964

Amount Paid \$ 95.00
 COUNTY TREASURER

Harry T. Stowe
 HARRY T. STOWE, Executor under the Last Will and Testament of LILLIAN ETHEL SPRINGER, Deceased.

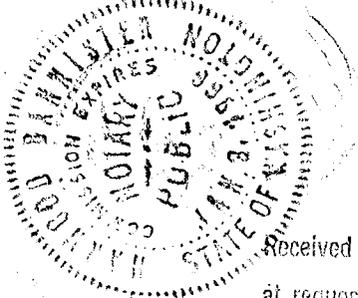


STATE OF WASHINGTON)
) ss.
 COUNTY OF SKAGIT)

THIS IS TO CERTIFY that on this day personally appeared before me HARRY T. STOWE, as Executor under the Last Will and Testament of LILLIAN ETHEL SPRINGER, deceased, to me known to be the individual described in and who executed the above and foregoing instrument, and acknowledged to me that he signed the same as his free and voluntary act and deed, for the uses and purposes therein mentioned.

GIVEN under my hand and official seal this 26th day of August, 1964.

Harwood Bannister
 Notary Public in and for the State of Washington, residing at Mount Vernon.



Received for record at Spokane, Idaho on Aug 28 1964 11:33 P.M.
 at request of Land Title Co.
 A. H. JOHNSON, Auditor Skagit Co., Washington

3400 PAGE 679





United States
Department of
Agriculture

Rural
Development

2021 E. College Way, Suite 216
Mount Vernon, WA 98273-3610
TTY: 360-704-7760
FAX: 360-424-6172
VOICE: 360-428-4322

Rural Business & Cooperative Services
Rural Housing Services
Rural Utilities Services

October 28, 2002

City of Mount Vernon
PO Box 809
Mount Vernon, WA 98273

ATTN: Roxanne Michaels

RECEIVED
CITY OF MOUNT VERNON

NOV 01 2002

C.E.D. DEPARTMENT
BY _____

To whom it may concern:

Please find payment for services rendered for a sewer connection completed on the property of Mrs. Edith Benson, 2303 Old Highway 99 South, Mount Vernon, WA 98273. Two checks are enclosed for the amounts of \$2750.00 and \$24.00. Also, enclosed is USDA Form RD 1924-9, a letter written to acknowledge your receipt of payment. Please sign the area highlighted and mail it back to USDA Rural Development Mount Vernon using the envelope provided. If you have any questions or need clarification, please contact Jennifer A. Hoines, Community Development Technician, at one of the above listed numbers.

Thank you for your cooperation,



SUSAN L. DAVENPORT
Community Development Manager

Enclosures

When recorded return to:
Ms. Barbara L. Ofsthun
24108 104th Place W.
Edmonds, WA 98020



200910300022
Skagit County Auditor

10/30/2009 Page 1 of 2 9:46AM

Filed for Record at Request of
Land Title and Escrow
Escrow Number: 133153-sae

LAND TITLE OF SKAGIT COUNTY

Grantor: The Estate of Edith May Benson
Grantee: Barbara L. Ofsthun
Tax Parcel Number(s): P28878/340430-0-066-0019
Abbreviated Legal: Legal: Ptn NE ¼ SE ¼, 30-34-4 E W.M.

Statutory Warranty Deed

THE GRANTOR INEZ MAY MORACH, AS PERSONAL REPRESENTATIVE OF THE ESTATE OF EDITH MAY BENSON, DECEASED, APPOINTED BY SKAGIT COUNTY SUPERIOR COURT CAUSE NO. 09-4-00120-1 for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid, conveys and warrants to BARBARA L. OFSTHUN, A SINGLE WOMAN the following described real estate, situated in the County of Skagit, State of Washington

That portion of the Northeast ¼ of the Southeast ¼ of Section 30, Township 34 North, Range 4 East, W.M., lying East of the Great Northern Railroad right of way and South of a line 978 feet South of and parallel to the North line of said Northeast ¼ of the Southeast ¼;

EXCEPT the South to the North line of said Northeast ¼ of the Southeast ¼;

EXCEPT the South 250 feet thereof;

AND EXCEPT right of way for Pacific Highway;

TOGETHER WITH an easement for ingress and egress over and across the South 16 feet of the North 978 feet of the Northeast ¼ of the Southeast ¼, Section 30, Township 34 North, Range 4 East, W.M., lying Easterly of the Great Northern Railway right of way and West of Old State Highway 99.

Situate in the County of Skagit, State of Washington.

Subject to all covenants, conditions, restrictions, reservations, agreements and easements of record including, but not limited to, those shown on Schedule "B-1" of Land Title Company's Preliminary Commitment No. 133153-sae.

Dated October 28, 2009

The Estate of Edith May Benson

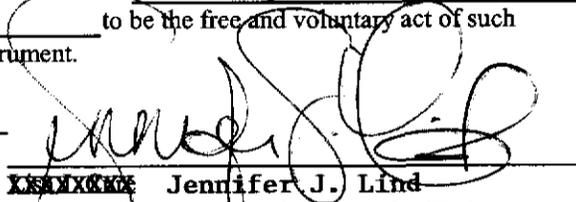
Inez May Morach
By: Inez May Morach, Personal Representative

3320
SKAGIT COUNTY WASHINGTON
Real Estate Excise Tax
PAID
OCT 30 2009
Amount Paid \$ 2764.00
Skagit County Treasurer
Deputy
By: *Jn*

STATE OF Washington }
County of Skagit , SS:

I certify that I know or have satisfactory evidence that Inez May Morach
signed this instrument, on oath stated that She is
authorized to execute the instrument and acknowledged it as the Personal Representative
of Estate of Edith May Benson to be the free and voluntary act of such
party for the uses and purposes mentioned in this instrument.

Dated: 10/29/09



~~XXXXXXXX~~ Jennifer J. Lind
Notary Public in and for the State of Washington
Residing at Bow
My appointment expires: ~~XXXXXXXX~~ 10/01/2010



200910300022
Skagit County Auditor

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 41



200510170160
Skagit County Auditor

10/17/2005 Page 1 of 3 1:13PM

Name: WW Properties^{Management,} LLC

Address: POB 1223

City and State: Mount Vernon, WA 98273

Tax Account Number: Combination of Portions of P28740, P28726 and P28730
Escrow #: JM-1239

QUIT CLAIM DEED

THE GRANTOR WW Properties^{Management,} LLC, a Washington LLC

for and in consideration of boundary line adjustment and conveyance pursuant to WAC 458-61-375 (2) (b) without consideration

conveys and quit claims to WW Pond, LLC, a Washington LLC,

the following described real estate, situated in the County of Skagit State of Washington together with all after acquired title of the grantor(s) therein:

That portion of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M. as more fully described on Exhibit "D" hereto.

The properties described on Exhibit "D" will be combined or aggregated as a single lot owned by the Grantees. This boundary adjustment is not for the purposes of creating an additional building lot.

The boundary line adjustment is approved by [Signature]
the Mount Vernon City Engineer.

Dated this 14th day of October, 2005.

WW Properties^{management,} LLC by its Managing Members:
[Signature] [Signature]

STATE OF WASHINGTON, }
County of SKAGIT } ss.

ACKNOWLEDGMENT - Representative Capacity
(QUIT CLAIM DEED - P28740, 28726, P28730)
435

I certify that I know or have satisfactory evidence that DARCY G. WELLS AND PAUL S. WELLS
^{ARE} is the person who appeared before me, and said person, acknowledged that he/she signed this instrument, on oath stated that he/she
^{ARE} was authorized to execute the instrument and acknowledged it as the MANAGING MEMBERS
management, of
NW PROPERTIES A LLC

to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.
PARTIES

GIVEN under my hand and official seal the day and year last above written.



Steven G. Baughin
Notary Public in and for the State of Washington,
residing at MT. VERNON
My appointment expires 02/01/2008

5998
SKAGIT COUNTY WASHINGTON
Real Estate Excise Tax

OCT 17 2005

Amount Paid \$ 6
Skagit County Treasurer:
By: TRDIN Deputy

This jurat is page _____ of _____ and is attached to _____



200510170160
Skagit County Auditor

EXHIBIT "D"

WW POND, LLC

THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 4 EAST, WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

THE WEST HALF OF THE SOUTHEAST QUARTER OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 29, AND THE EAST 100 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 29, ALL LYING SOUTH OF THE EASTERLY PROLONGATION OF THE SOUTH LINE OF TRACT "A" OF SHORT PLAT NUMBER 21-82, RECORDED UNDER AUDITOR'S FILE NUMBER 8207220006, RECORDS OF SKAGIT COUNTY, STATE OF WASHINGTON AND LYING NORTHWESTERLY OF THAT CERTAIN STRIP OF LAND CONVEYED TO THE STATE OF WASHINGTON BY DEED DATED DECEMBER 21, 1972, RECORDED DECEMBER 29, 1972 UNDER AUDITOR'S FILE NUMBER 778773.

TOGETHER WITH:

THE WEST 100 FEET OF THE EAST 200 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 29, LYING SOUTH OF THE EASTERLY PROLONGATION OF SAID SOUTH LINE OF TRACT "A" OF SHORT PLAT NUMBER 21-82, RECORDED UNDER AUDITOR'S FILE NUMBER 8207220006, RECORDS OF SKAGIT COUNTY, STATE OF WASHINGTON, EXCEPT THE SOUTH 217.8 FEET THEREOF.



200510170160
Skagit County Auditor

10/17/2005 Page

3 of

3 1:13PM

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 42

When recorded return to:

Mount Vernon Liquor Center, L.L.C.
Mount Vernon Chevron, L.L.C.
486 Tye Drive
Point Roberts, WA 98281



201303190068
Skagit County Auditor

3/19/2013 Page 1 of 3 3:42PM

Filed for Record at Request of
Land Title and Escrow
Escrow Number: 144863-OE

Grantor: SYB HOLDING CO., INC. a Washington Corporation
Grantee: Mount Vernon Liquor Center, L.L.C., a Washington limited liability company, Mount Vernon Chevron, L.L.C., a Washington limited liability company

LAND TITLE OF SKAGIT COUNTY

144863-OE

Statutory Warranty Deed

THE GRANTOR SYB HOLDING CO., INC. a Washington Corporation for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid, conveys and warrants to Parcel A = MOUNT VERNON LIQUOR CENTER, L.L.C., a Washington State Limited Liability Company; and Parcel B = MOUNT VERNON CHEVRON, L.L.C., a Washington State Limited Liability Company the following described real estate, situated in the County of Skagit, State of Washington:

Abbreviated Legal: Ptn SW 1/4, 29-34-4 E W.M.

SEE ATTACHED EXHIBIT "A" HERETO FOR LEGAL DESCRIPTION

Subject to all covenants, conditions, restrictions, reservations, agreements and easements of record including, but not limited to, those shown on Schedule "B-1" of Land Title Company's Preliminary Commitment No. 144863-OE.

ALSO SUBJECT TO: That certain Deed of Trust in which the Grantor is SYB Holding Co., Inc., a Washington Corporation; Trustee is Westward Financial Services, Inc.; Beneficiary is Horizon Bank; dated January 13, 2006, recorded January 25, 2006, under Auditor's File No. 200601250091; current principal balance is \$525,002.86 which Grantor herein agrees to continue to pay per the terms and conditions therein.

Together with Assignment of Rents in which Assignor is SYB Holding Co., Inc., a Washington Corporation; Assignee is Horizon Bank; dated January 13, 2006, recorded January 25, 2006 under Auditor's File No. 200601250093.

Tax Parcel Number(s): 340429-3-020-0102, P28731, 340429-3-020-0201, P28732

Dated March 11, 2013

SYB HOLDING CO., INC. a Washington Corporation

By: M.B. Boulos, President

SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

2013932

MAR 19 2013

Amount Paid \$17805.00

Skagit Co. Treasurer
Deputy

By MB

EXHIBIT A

Schedule "A-1"

144863-OE

DESCRIPTION:

PARCEL "A":

That portion of the Southwest $\frac{1}{4}$ of Section 29, Township 34 North, Range 4 East, W.M., described as follows:

Beginning at a point 50 feet Southeasterly (when measured radially) from Highway Engineer's Station F 9 2+00, as shown on Washington State Highway Department right of way map SR 5 MP222.08 to MP225.62, Johnson Road to Blackburn Street, Sheet 9 of 23 sheets, latest revision date September 10, 1971, said point being on a 250 foot radius curve concave to the Southeast, a radial at said point bearing South 74°58'06" East; thence Northerly along said curve 132.00 feet; thence South 45°07'01" East 145.49 feet to a point on the Northwesterly margin of the DL Ramp, as shown on said map; thence South 24°15'30" West 96.00 feet to a point 110 feet Northerly from (when measured at right angles to) Highway Engineer's Station A16+00; thence South 84°40'07" West 100.50 feet to a point 100 feet Northerly from (when measured at right angles to) Highway Engineer's Station A15+00; thence North 18°34'00" West 91.47 feet to the point of beginning.

Situate in the County of Skagit, State of Washington.

PARCEL "B":

That portion of the Southwest $\frac{1}{4}$ of Section 29, Township 34 North, Range 4 East, W.M., Skagit County, Washington, described as follows:

Beginning at a point 50 feet Southeasterly (when measured radially) from Highway Engineer's station F9 2+00 as shown on Washington State Highway Department right of way map SR5 MP222.08 to MP225.62, Johnson Road to Blackburn Street, sheet 9 of 23 sheets, latest revision date September 10, 1971, said point being on a 25 foot radius curve concave to the Southeast a radial at said point bearing South 74°58'06" East; thence Northerly along said curve 132.00 feet to the true point of beginning; thence South 45°07'01" East, 145.49 feet to a point on the Northwesterly margin of the DL ramp as shown on said map; thence North 24°15'30" East along said Northwesterly margin 256.63 feet to a point 250 feet Westerly (when measured radially) from station 67+00 on the centerline of said SR5; thence North 20°02'30" East 125.54 feet to a point 50 feet Southeasterly (when measured radially) from station F9 7+50 as shown on said map, said point being on a 500 foot radius curve concave to the Northwest, a radial at said point bearing North 58°44'02" West; thence Southerly along said curve 158.07 feet to a point 50 feet Southeasterly (when measured at right angles) from station F9 PC5+57.74; thence South 49°22'45" West 179.90 feet to a point 50 feet Southeasterly from station F9 PT3+79.85, said point being the point of curvature of a 250 foot radius curve to the left; thence Southerly along said curve 17.87 feet to the true point of beginning.

Situate in the County of Skagit, State of Washington.



201303190068
Skagit County Auditor

3/19/2013 Page

3 of

3 3:42PM

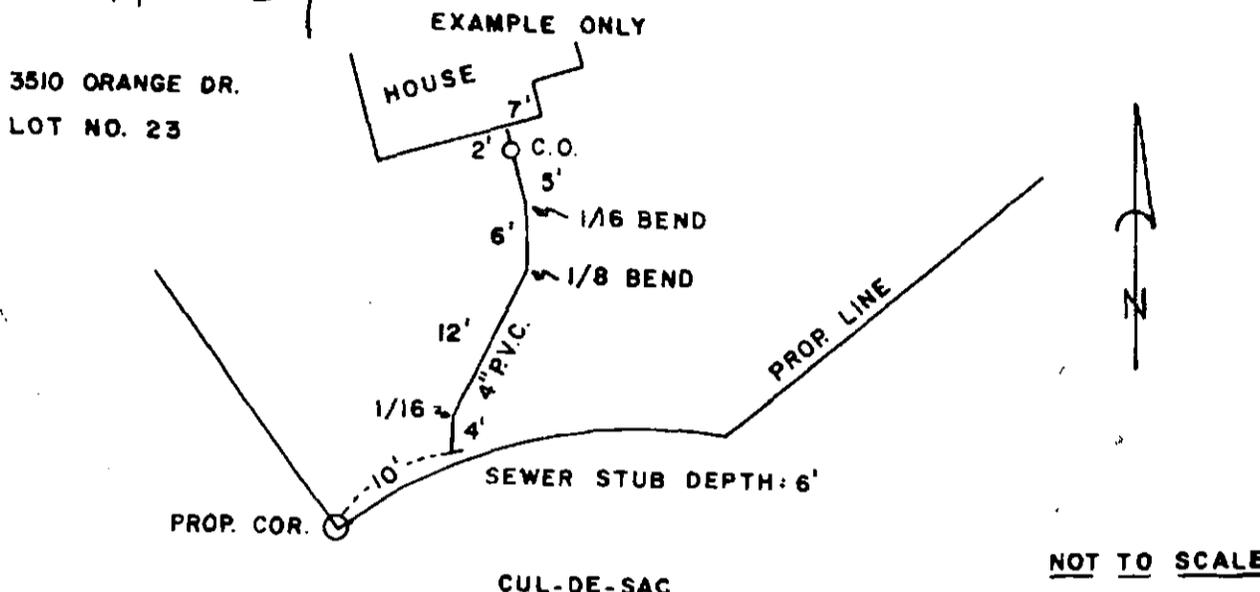
LPB 10-05(i-1)
Page 3 of 3

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 43

CITY OF MOUNT VERNON SIDE SEWER PERMIT
FOR INSPECTION PHONE 336-6204

OWNER CHEVRON / C-STORE JOB ADDRESS 2630 1690 A HENSON
 LOT _____ SUBDIVISION _____ ISSUED BY DU
 FEES 50⁰⁰ RECEIPT NO. 10167 DATE ISSUED 11-3-98
1050 CAP
2100 EXP.



AT THE TIME OF INSPECTION, give inspector a legible and accurate (straight edge) sketch of the installation, including: plot plan, house placement, north arrow, sewer line, (show distances to clean-out, size and degree of bends, City stub and depth to stub), and size and type of line. SEE EXAMPLE.

The following are regulations for side sewer installation:

1. A licensed sewer contractor shall be employed to construct any side sewer on the public right-of-way.
2. Sewer pipe must have at least 30" cover at the property line, and 18" on private property; minimum grade, 1/4" per foot. No bend sharper than 1/8 shall be permitted without a cleanout. Pea gravel or sand bedding shall be used for side sewer pipe.
3. PVC pipe specifications shall conform to ASTM D3034 SDR 35 with rubber ring gaskets. No glue joints allowed.
4. Backfill all excavated earth into trench after inspection and approved by the inspector, by tamping, and clean up the street on completion of work.
5. Side sewers shall be physically separated from waterlines a minimum of 18" vertically on a separate shelf or 5' horizontally in separate trenches.
6. All ditches to be safe-guarded with lanterns and barricades and such other precautions necessary to protect the public.
7. The Owner/Contractor agree to accept full responsibility for any damage which might result from this work.
8. The Owner agrees to maintain the side sewer in accordance with the ordinances and regulations of the City and to permit entry by City employees for inspection.
9. Cleanouts shall be provided in accordance with recommended practices, at least every 100 feet.

Permittee *[Signature]*
 INSPECTOR *Michael E. Jone* DATE 11-3-98

PERMIT NO. 2814

by *Superman*

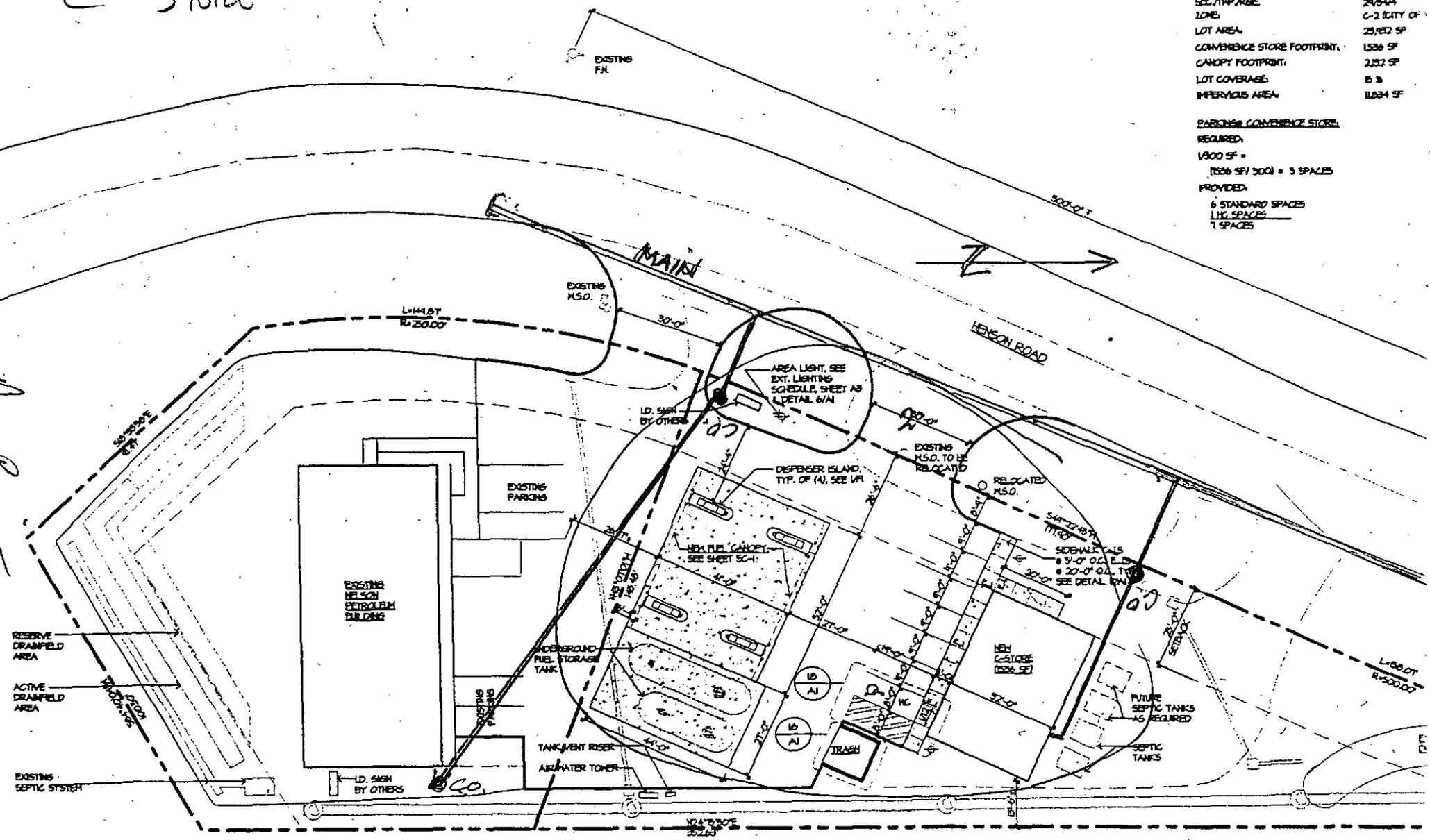
C store

SITE DATA

TAX ACCOUNT NUMBER	340429-3-02
SEC. TWP. RISE	24,544
ZONE	C-2 (CITY OF ...)
LOT AREA	25,432 SF
CONVENIENCE STORE FOOTPRINT	1536 SF
CANOPY FOOTPRINT	2,852 SF
LOT COVERAGE	5 %
IMPERVIOUS AREA	11,834 SF

PARKING CONVENIENCE STORES
REQUIRED:
 1800 SF =
 (1800 SF / 300) = 3 SPACES
PROVIDED:
 6 STANDARD SPACES
 11% SPACES
 7 SPACES

As Built



SITE PLAN
 SCALE 1/8" = 1'-0"

5 FU

20 FULS

3150

Hook-up

When recorded return to:

Mount Vernon Liquor Center, L.L.C.
Mount Vernon Chevron, L.L.C.
486 Tye Drive
Point Roberts, WA 98281



201303190068
Skagit County Auditor

3/19/2013 Page 1 of 3 3:42PM

Filed for Record at Request of
Land Title and Escrow
Escrow Number: 144863-OE

Grantor: SYB HOLDING CO., INC. a Washington Corporation
Grantee: Mount Vernon Liquor Center, L.L.C., a Washington limited liability company, Mount Vernon Chevron, L.L.C., a Washington limited liability company

LAND TITLE OF SKAGIT COUNTY

144863-OE

Statutory Warranty Deed

THE GRANTOR SYB HOLDING CO., INC. a Washington Corporation for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid, conveys and warrants to Parcel A = MOUNT VERNON LIQUOR CENTER, L.L.C., a Washington State Limited Liability Company; and Parcel B = MOUNT VERNON CHEVRON, L.L.C., a Washington State Limited Liability Company the following described real estate, situated in the County of Skagit, State of Washington:

Abbreviated Legal: Ptn SW 1/4, 29-34-4 E W.M.

SEE ATTACHED EXHIBIT "A" HERETO FOR LEGAL DESCRIPTION

Subject to all covenants, conditions, restrictions, reservations, agreements and easements of record including, but not limited to, those shown on Schedule "B-1" of Land Title Company's Preliminary Commitment No. 144863-OE.

ALSO SUBJECT TO: That certain Deed of Trust in which the Grantor is SYB Holding Co., Inc., a Washington Corporation; Trustee is Westward Financial Services, Inc.; Beneficiary is Horizon Bank; dated January 13, 2006, recorded January 25, 2006, under Auditor's File No. 200601250091; current principal balance is \$525,002.86 which Grantor herein agrees to continue to pay per the terms and conditions therein.

Together with Assignment of Rents in which Assignor is SYB Holding Co., Inc., a Washington Corporation; Assignee is Horizon Bank; dated January 13, 2006, recorded January 25, 2006 under Auditor's File No. 200601250093.

Tax Parcel Number(s): 340429-3-020-0102, P28731, 340429-3-020-0201, P28732

Dated March 11, 2013

SYB HOLDING CO., INC. a Washington Corporation

By: M.B. Boulos, President

SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

2013932

MAR 19 2013

Amount Paid \$17805.00

Skagit Co. Treasurer
Deputy

By MB

EXHIBIT A

Schedule "A-1"

144863-OE

DESCRIPTION:

PARCEL "A":

That portion of the Southwest $\frac{1}{4}$ of Section 29, Township 34 North, Range 4 East, W.M., described as follows:

Beginning at a point 50 feet Southeasterly (when measured radially) from Highway Engineer's Station F 9 2+00, as shown on Washington State Highway Department right of way map SR 5 MP222.08 to MP225.62, Johnson Road to Blackburn Street, Sheet 9 of 23 sheets, latest revision date September 10, 1971, said point being on a 250 foot radius curve concave to the Southeast, a radial at said point bearing South 74°58'06" East; thence Northerly along said curve 132.00 feet; thence South 45°07'01" East 145.49 feet to a point on the Northwesterly margin of the DL Ramp, as shown on said map; thence South 24°15'30" West 96.00 feet to a point 110 feet Northerly from (when measured at right angles to) Highway Engineer's Station A16+00; thence South 84°40'07" West 100.50 feet to a point 100 feet Northerly from (when measured at right angles to) Highway Engineer's Station A15+00; thence North 18°34'00" West 91.47 feet to the point of beginning.

Situate in the County of Skagit, State of Washington.

PARCEL "B":

That portion of the Southwest $\frac{1}{4}$ of Section 29, Township 34 North, Range 4 East, W.M., Skagit County, Washington, described as follows:

Beginning at a point 50 feet Southeasterly (when measured radially) from Highway Engineer's station F9 2+00 as shown on Washington State Highway Department right of way map SR5 MP222.08 to MP225.62, Johnson Road to Blackburn Street, sheet 9 of 23 sheets, latest revision date September 10, 1971, said point being on a 25 foot radius curve concave to the Southeast a radial at said point bearing South 74°58'06" East; thence Northerly along said curve 132.00 feet to the true point of beginning; thence South 45°07'01" East, 145.49 feet to a point on the Northwesterly margin of the DL ramp as shown on said map; thence North 24°15'30" East along said Northwesterly margin 256.63 feet to a point 250 feet Westerly (when measured radially) from station 67+00 on the centerline of said SR5; thence North 20°02'30" East 125.54 feet to a point 50 feet Southeasterly (when measured radially) from station F9 7+50 as shown on said map, said point being on a 500 foot radius curve concave to the Northwest, a radial at said point bearing North 58°44'02" West; thence Southerly along said curve 158.07 feet to a point 50 feet Southeasterly (when measured at right angles) from station F9 PC5+57.74; thence South 49°22'45" West 179.90 feet to a point 50 feet Southeasterly from station F9 PT3+79.85, said point being the point of curvature of a 250 foot radius curve to the left; thence Southerly along said curve 17.87 feet to the true point of beginning.

Situate in the County of Skagit, State of Washington.



201303190068
Skagit County Auditor

3/19/2013 Page

3 of

3 3:42PM

LPB 10-05(i-1)
Page 3 of 3

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 44



200510170162

Skagit County Auditor

Name: WW Properties^{Management} LLC

Address: POB 1223

City and State: Mount Vernon, WA 98273

Tax Account Number: Portion P28722 to P28740
Escrow #: JM-1239

QUIT CLAIM DEED

THE GRANTOR WW Pond LLC, a Washington LLC,
for and in consideration of boundary line adjustment without consideration
conveys and quit claims to WW Properties^{management,} LLC, a Washington LLC,

the following described real estate, situated in the County of Skagit State of Washington together with all after acquired title of the grantor(s) therein:

That portion of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M. as more fully described on Exhibit "A" hereto.

The property described on Exhibit "A" will be combined or aggregated with contiguous property to the East owned by the Grantees. This boundary adjustment is not for the purposes of creating an additional building lot.

The boundary line adjustment is approved by
the Mount Vernon City Engineer.

Dated this 14th day of October, 2005.

WW Pond LLC by its Managing Members:

Darcy G. Wells

Paul S. Wells

STATE OF WASHINGTON, }
County of SKAGIT } ss.

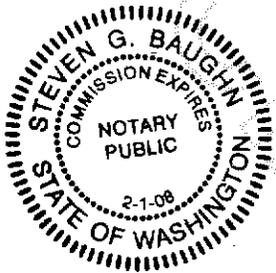
ACKNOWLEDGMENT - Representative Capacity
(QUIT CLAIM DEED - P28722, P28740) ~~AB~~

I certify that I know or have satisfactory evidence that DARCY G. WELLS AND PAUL S. WELLS
~~is~~ ^{ALL} the person~~s~~ who appeared before me, and said person~~s~~ acknowledged that ~~he/she~~ ^{THEY} signed this instrument, on oath stated that ~~he/she~~ ^{THEY}
~~was~~ ^{ALL} authorized to execute the instrument and acknowledged it as the W.W. POND LLC MANAGING MEMBERS

W.W. POND LLC

to be the free and voluntary act of such ~~party~~ ^{PARTIES} for the uses and purposes mentioned in the instrument.

GIVEN under my hand and official seal the day and year last above written.



Steven A. Baughn
Notary Public in and for the State of Washington,
residing at MT. VERNON
My appointment expires 02/01/2008

5780

SKAGIT COUNTY WASHINGTON
Real Estate Excise Tax
Paid

OCT 17 2005

Amount Paid \$-
Skagit County Treasurer
By: man Deputy

This jurat is page _____ of _____ and is attached to _____



200510170162
Skagit County Auditor

EXHIBIT "A"

THAT PORTION OF TRACT "A", OF SHORT PLAT NUMBER 21-82, RECORDED UNDER AUDITOR'S FILE NUMBER 8207220006, RECORDS OF SKAGIT COUNTY, STATE OF WASHINGTON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT "A";

THENCE WESTERLY, ALONG THE MOST NORTHERLY NORTH LINE OF SAID TRACT "A", SOUTH 86°59'56" WEST, A DISTANCE OF 61.53 FEET TO THE MOST NORTHERLY NORTHWEST CORNER OF SAID TRACT "A";

THENCE ALONG THE MOST EASTERLY, WEST LINE OF SAID TRACT "A", SOUTH 02°44'30" EAST, A DISTANCE OF 116.00 FEET, TO THE INTERSECTION WITH THE MOST SOUTHERLY, NORTH LINE OF SAID TRACT "A";

THENCE CONTINUING ALONG THE SOUTHERLY PROLONGATION OF THE LAST DESCRIBED BEARING, SOUTH 02°44'30" EAST, A DISTANCE OF 109.99 FEET, TO THE INTERSECTION WITH THE SOUTH LINE OF SAID TRACT "A";

THENCE ALONG SAID SOUTH LINE OF SAID TRACT "A", NORTH 86°59'56" EAST, A DISTANCE OF 60.73 FEET TO THE SOUTHEAST CORNER OF SAID TRACT "A";

THENCE ALONG THE EAST LINE OF SAID TRACT "A", NORTH 02°32'20" WEST, A DISTANCE OF 226.00 FEET, TO THE TRUE POINT OF BEGINNING.



200510170162

Skagit County Auditor

APPENDIX B
PLANNING STUDY ON ADULT USES

SITES

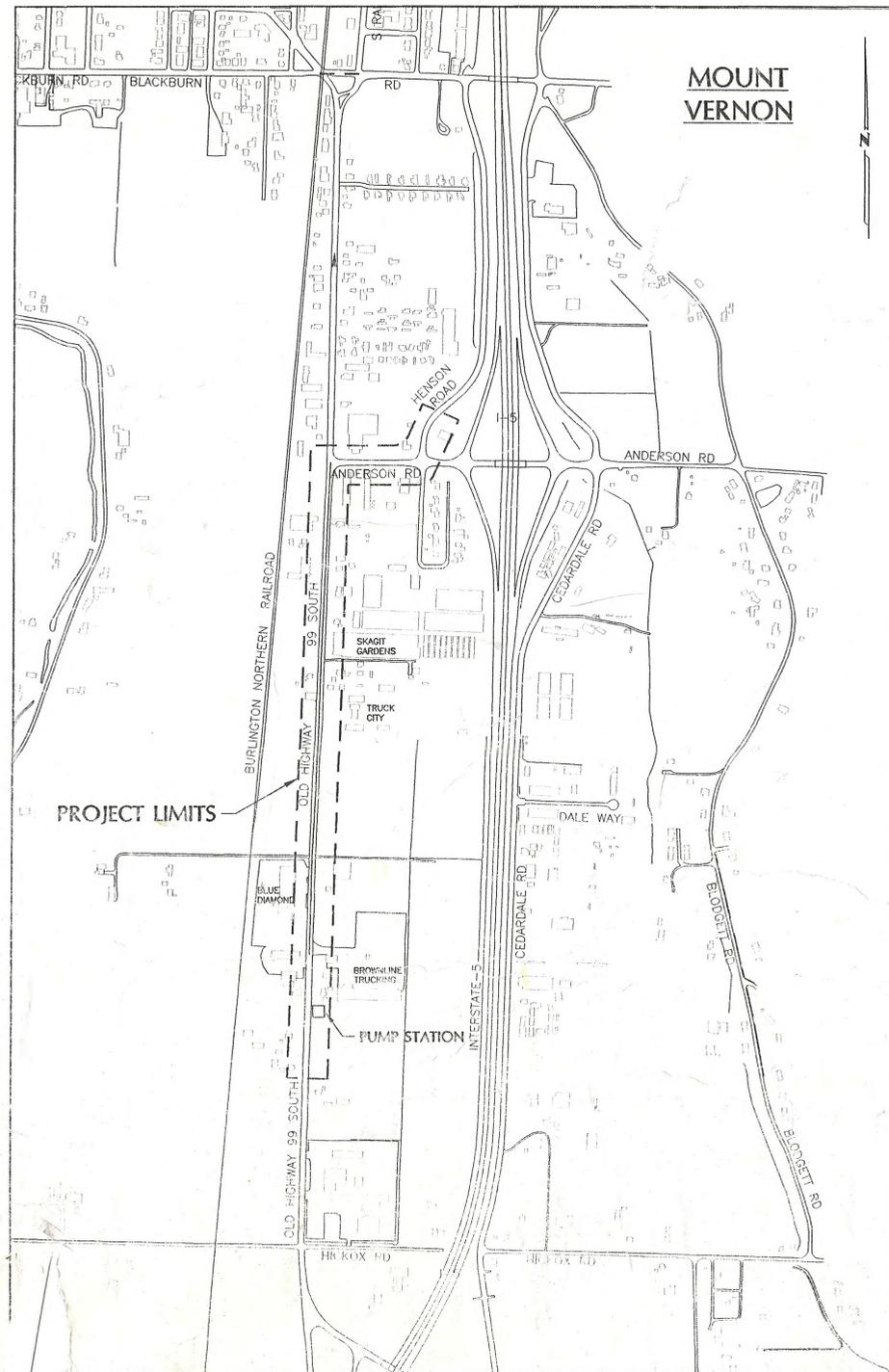
ALONG ANDERSON AND 99

(PR99-5)

CITY OF MOUNT VERNON SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENTS

AUGUST 2000

VICINITY MAP



SCHEDULE OF DRAWINGS

SHEET No.	DESCRIPTION
SS1	SANITARY SEWER - STA 18+00 TO STA 27+00 - HWY 99
SS2	SANITARY SEWER - STA 26+00 TO STA 31+50 - HWY 99
SS3	SANITARY SEWER - STA 30+00 TO STA 39+00 - HWY 99
SS4	SANITARY SEWER - STA 38+00 TO STA 47+00 - HWY 99
SS5	SANITARY SEWER - STA 46+00 TO STA 55+00 - HWY 99
SS6	SANITARY SEWER - STA 54+00 TO STA 63+00 - HWY 99
SS7	SANITARY SEWER - STA 62+00 TO STA 66+00 - HWY 99
SS8	SANITARY SEWER - ANDERSON ROAD FORCE MAIN
SS9	SANITARY SEWER - HENSON ROAD FORCE MAIN CONNECTION
SS10	SANITARY SEWER - SUZANNE LANE
SS11	SANITARY SEWER - ROAD SECTIONS AND DETAILS
SD1	STORM SEWER - STA. 45+00 TO 47+00 - HWY 99
SD2	STORM SEWER - STA. 46+00 TO 55+00 - HWY 99
SD3	STORM SEWER - STA. 54+00 TO 63+00 - HWY 99
PS1	PUMP STATION - EXISTING CONDITIONS
PS2	PUMP STATION - SITE GRADING AND DRAINAGE PLAN
PS3	PUMP STATION - SITE WATER AND SANITARY SEWER PLAN
PS4	PUMP STATION - PLAN VIEW
PS5	PUMP STATION - SECTION B-B
PS6	PUMP STATION - DETAILS
PS7	PUMP STATION - DETAILS
PS8	PUMP STATION - SITE DETAILS
PS9	PUMP STATION - SITE DETAILS
PS10	PUMP STATION - EROSION CONTROL PLAN
PS11	AIR VENTILATION SYSTEM - PUMP STATION WETWELL & VALVE VAULT
CTP1	CONCEPT TRAFFIC CONTROL PLAN
S1	STRUCTURAL NOTES - PUMP HOUSE
S2	WALL SECTIONS AND NOTES - PUMP HOUSE
A1	FLOOR AND FOUNDATION PLAN - PUMP HOUSE
A2	ELECT/MECH AND ROOF PLAN - PUMP HOUSE
A3	ELEVATIONS - PUMP HOUSE

LEGEND

SS	PROPOSED SANITARY SEWER & SANITARY MANHOLE	—	EXISTING PROPERTY LINE
FM	PROPOSED SANITARY SEWER FORCEMAIN	⊕	EXISTING POWER POLE & GUY ANCHOR
—	PROPOSED SILT FENCE	SB CB	EXISTING STORM DRAIN & CATCH BASIN
FMCO	FORCEMAIN CLEANOUT	⊕	EXISTING CATCH BASIN, TYPE II
CPEP	CORRUGATED POLYETHYLENE PIPE	SSMH SS	EXISTING SANITARY SEWER AND SANITARY MANHOLE
30.0	PROPOSED SPOT ELEVATION	SSFM	EXISTING SANITARY SEWER FORCEMAIN
□	PROPOSED CONCRETE	FH	EXISTING FIRE HYDRANT & VALVE
□	PROPOSED ASPHALT	WV	EXISTING WATERLINE
		G	EXISTING GAS LINE
		+13.24	EXISTING SPOT ELEVATION
		□	EXISTING CONCRETE
		□	EXISTING ASPHALT
		UT	EXISTING UNDERGROUND TELEPHONE
		UGP	EXISTING UNDERGROUND POWER
		OHP	EXISTING OVERHEAD POWER
		OHT	EXISTING OVERHEAD TELEPHONE

UTILITY LOCATES
CALL 2 DAYS BEFORE YOU DIG
1-800-424-5555

Leonard, Boudinot & Skodje Inc.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
603 South First Street, P.O. Box 1228
Mount Vernon, WA 98273
Tel: 206-336-5751 Fax: 206-336-3981

GILBERT



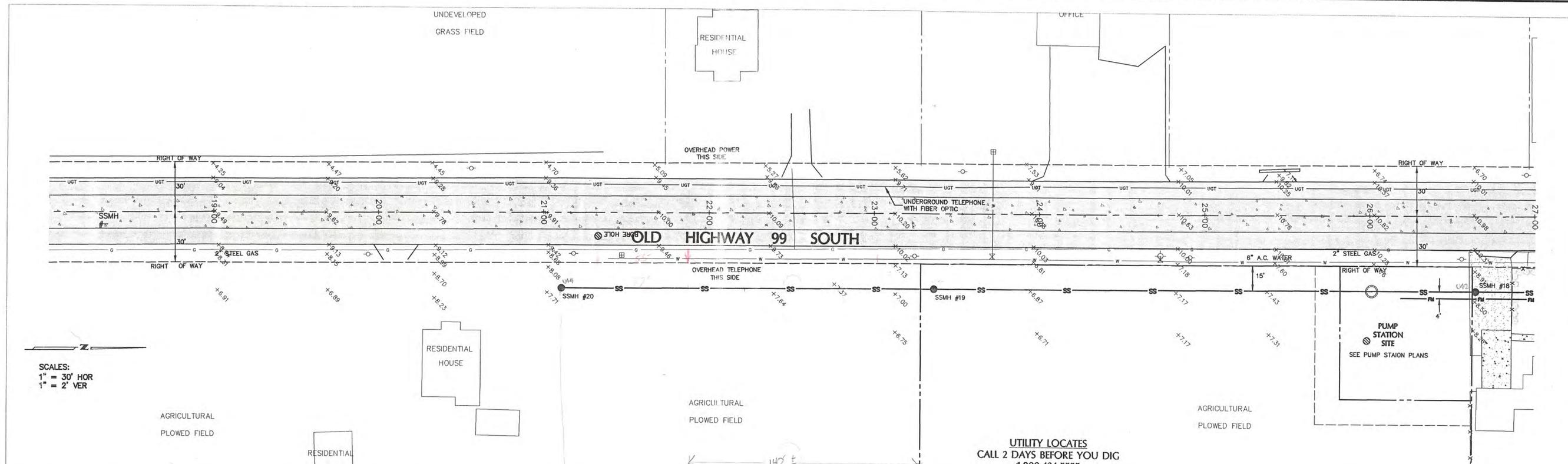
ENGINEER

DATE

Set 26

PR 99-5 AUGUST 2000

99099



SCALES:
 1" = 30' HOR
 1" = 2' VER

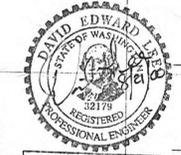
UTILITY LOCATES
 CALL 2 DAYS BEFORE YOU DIG
 1-800-424-5555



SSMH #20
 STA 21+10.6, 45' RT.
 TYPE 1, 48" MANHOLE
 TOP = 7.55
 ORIENT LADDER TO WEST
 IE 18" IN, E = -4.71 (FUTURE)
 IE 21" OUT, N = -4.81
 IE 12" IN, W = -4.71 (FUTURE)

SSMH #19
 STA 23+36.0, 45' RT.
 TYPE 1, 48" MANHOLE
 TOP = 7.0±
 ORIENT LADDER TO WEST
 IE 21" IN, S = -6.26
 IE 21" OUT, N = -5.36

12" D.I. FORCEMAIN
 S=0.0025
 F @ 4.28
 I.E. @ 3.78



NO.	DATE	REVISIONS	BY	APVD

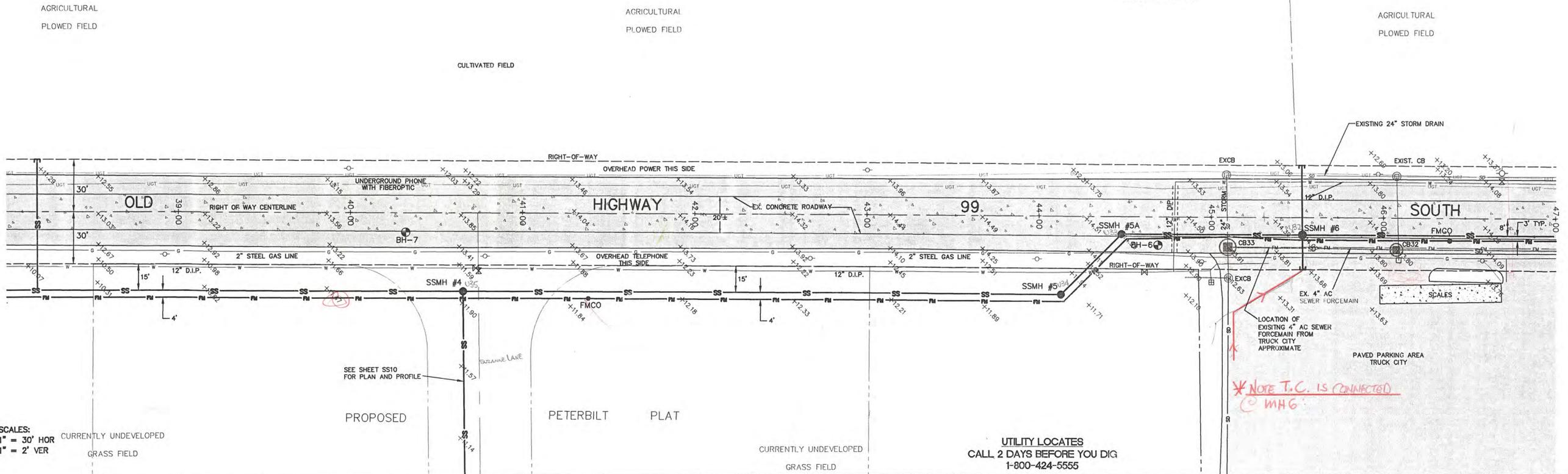
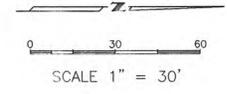
Leonard, Boudinot & Skodje Inc.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 603 South First Street, P.O. Box 1228
 Mount Vernon, WA 98273
 Tel: 360-336-5751 Fax: 360-336-3981

SHEET DESCRIPTION
**OLD HIGHWAY 99 SOUTH
 SEWER SYSTEM PLAN/PROFILE
 STA 18+00 TO STA 27+00**

SCALE: AS NOTED
 DRAWN BY: DEL/JPH
 DESIGNED BY: DEL
 CHECKED BY: RCB
 FIELD BOOK/PAGE:
 DATE: AUGUST 21, 2000

PROJECT
**CITY OF MOUNT VERNON
 SOUTH SERVICE AREA
 SEWER SYSTEM IMPROVEMENTS**

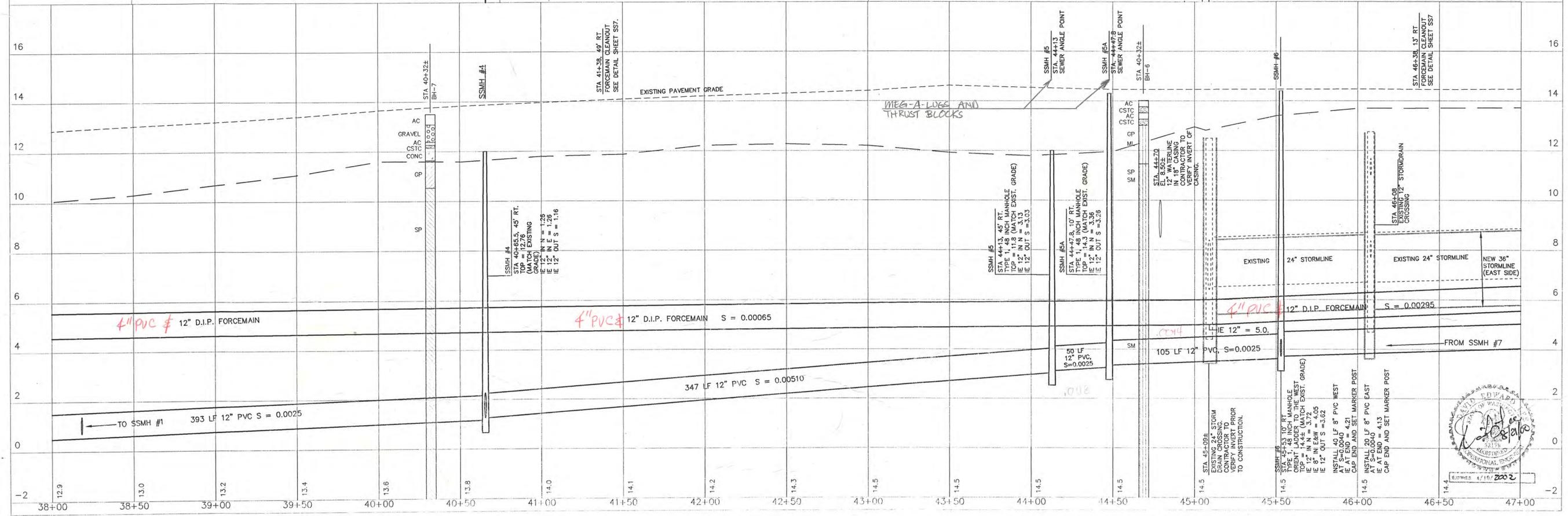
DWG NO.
 RCP07001.DWG
 JOB NO.
 99099-A
 SHEET
 SS1 OF 11



SCALES:
 1" = 30' HOR CURRENTLY UNDEVELOPED
 1" = 2' VER GRASS FIELD

UTILITY LOCATES
 CALL 2 DAYS BEFORE YOU DIG
 1-800-424-5555

*NOTE T.C. IS CONNECTED
 @ MHG



NO.	DATE	REVISIONS	BY	APVD

Leonard, Boudinot & Skodje Inc.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 603 South First Street, P.O. Box 1228
 Mount Vernon, WA 98273
 Tel: 360-336-5751 Fax: 360-336-3981

SHEET DESCRIPTION
**OLD HIGHWAY 99 SOUTH
 SANITARY SEWER PLAN/PROFILE
 STA 38+00 TO STA 47+00**

SCALE: AS NOTED
 DRAWN BY: PRL
 DESIGNED BY: DEL
 CHECKED BY: RCB
 FIELD BOOK/PAGE:
 DATE: AUGUST 21, 2000

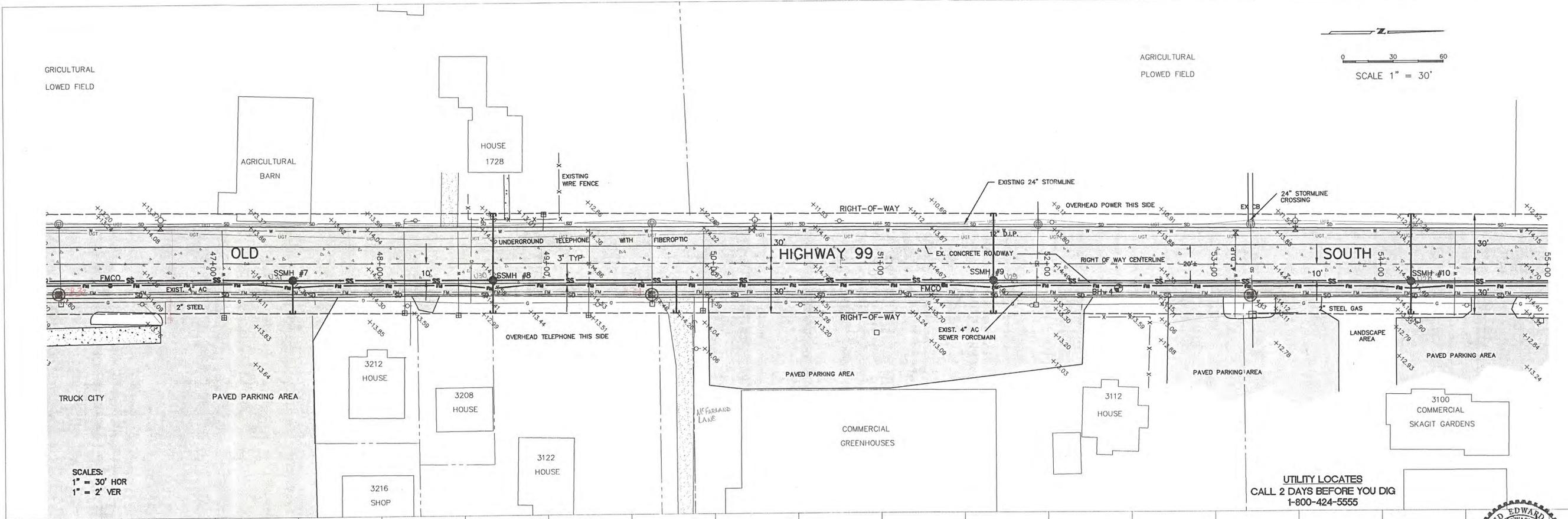
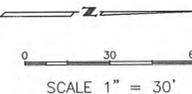
PROJECT
**CITY OF MOUNT VERNON
 SOUTH SERVICE AREA
 SEWER SYSTEM IMPROVEMENTS**

DWG NO.
 RCP02001.DWG
 JOB NO.
 99099
 SHEET
 SSA OF 11

J:\99099\ENR\EPD\TA\RCP02001.dwg Mon Aug 21 09:53:02 2000

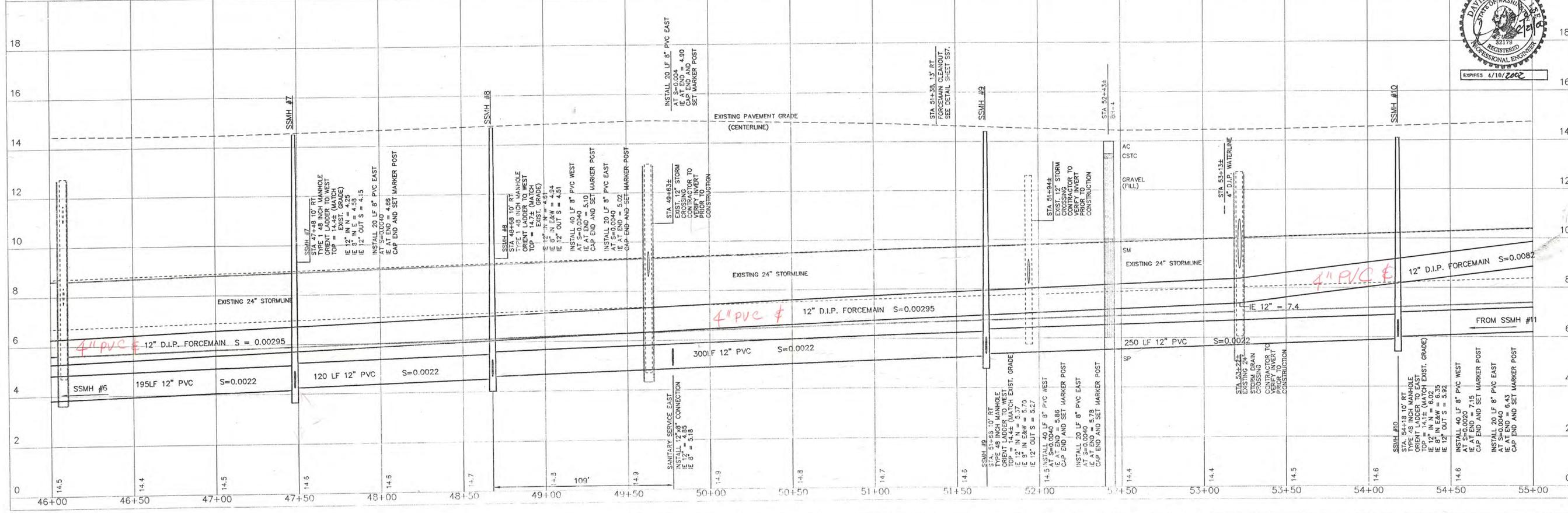
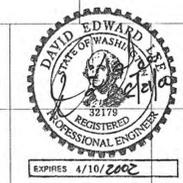
AGRICULTURAL
LOWED FIELD

AGRICULTURAL
PLOWED FIELD



SCALES:
1" = 30' HOR
1" = 2' VER

UTILITY LOCATES
CALL 2 DAYS BEFORE YOU DIG
1-800-424-5555



NO.	DATE	REVISIONS	BY	APVD
1	7/12/99	REVISED	SP	



Leonard, Boudinot & Skodje Inc.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
603 South First Street, P.O. Box 1228
Mount Vernon, WA 98273
Tel: 360-336-5751 Fax: 360-336-3981

SHEET DESCRIPTION
**OLD HIGHWAY 99 SOUTH
SANITARY SEWER PLAN/PROFILE
STA 46+00 TO STA 55+00**

SCALE: AS NOTED
DRAWN BY: PRL
DESIGNED BY: DEL
CHECKED BY: RCB
FIELD BOOK/PAGE:
DATE: AUGUST 21, 2000

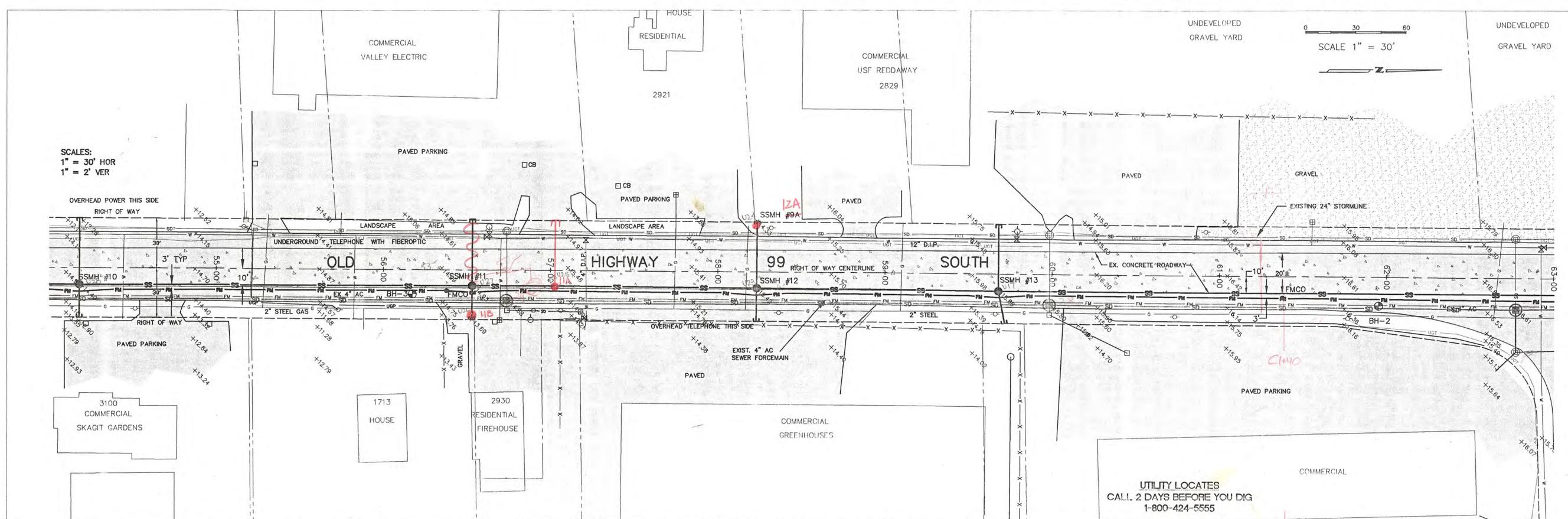
PROJECT
**CITY OF MOUNT VERNON
SOUTH SERVICE AREA
SEWER SYSTEM IMPROVMENTS**

DWG NO. RCP03001.DWG
JOB NO. 99099
SHEET
SS5 OF 11

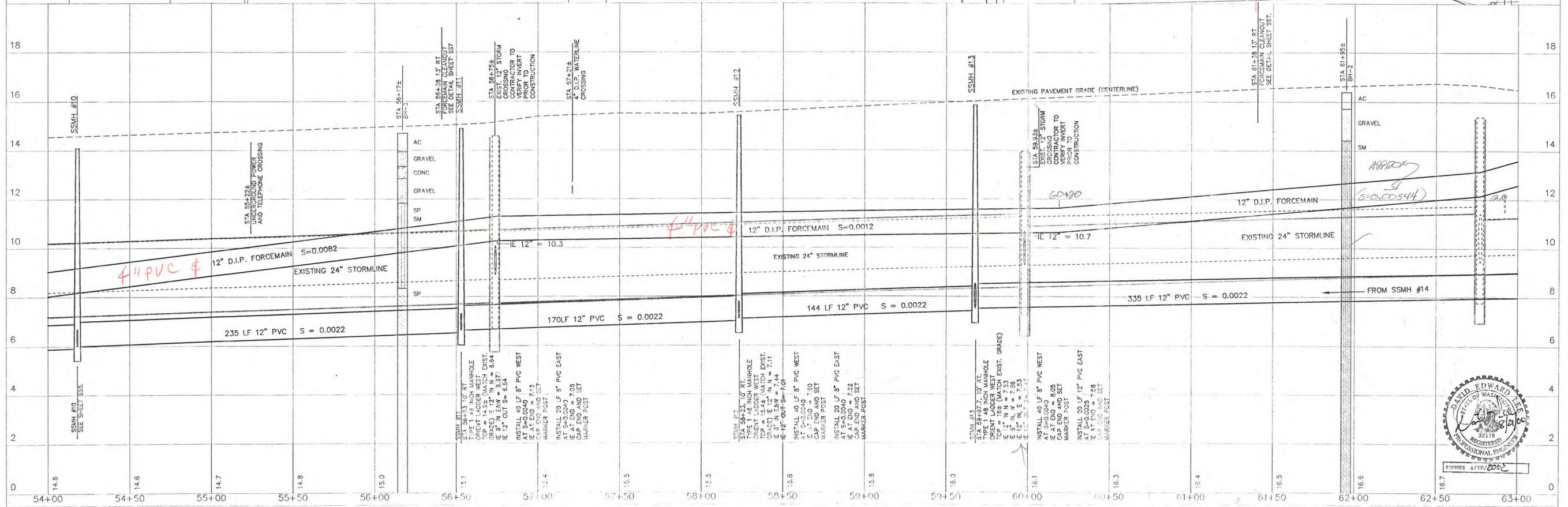
J:\99099\ENG\DATA\RCP03001.dwg Mon Aug 21 09:59:57 2000

SCALES:
1" = 30' HOR
1" = 2' VER

SCALE 1" = 30'



UTILITY LOCATES
CALL 2 DAYS BEFORE YOU DIG
1-800-424-5555



NO.	DATE	REVISIONS	BY	APVD

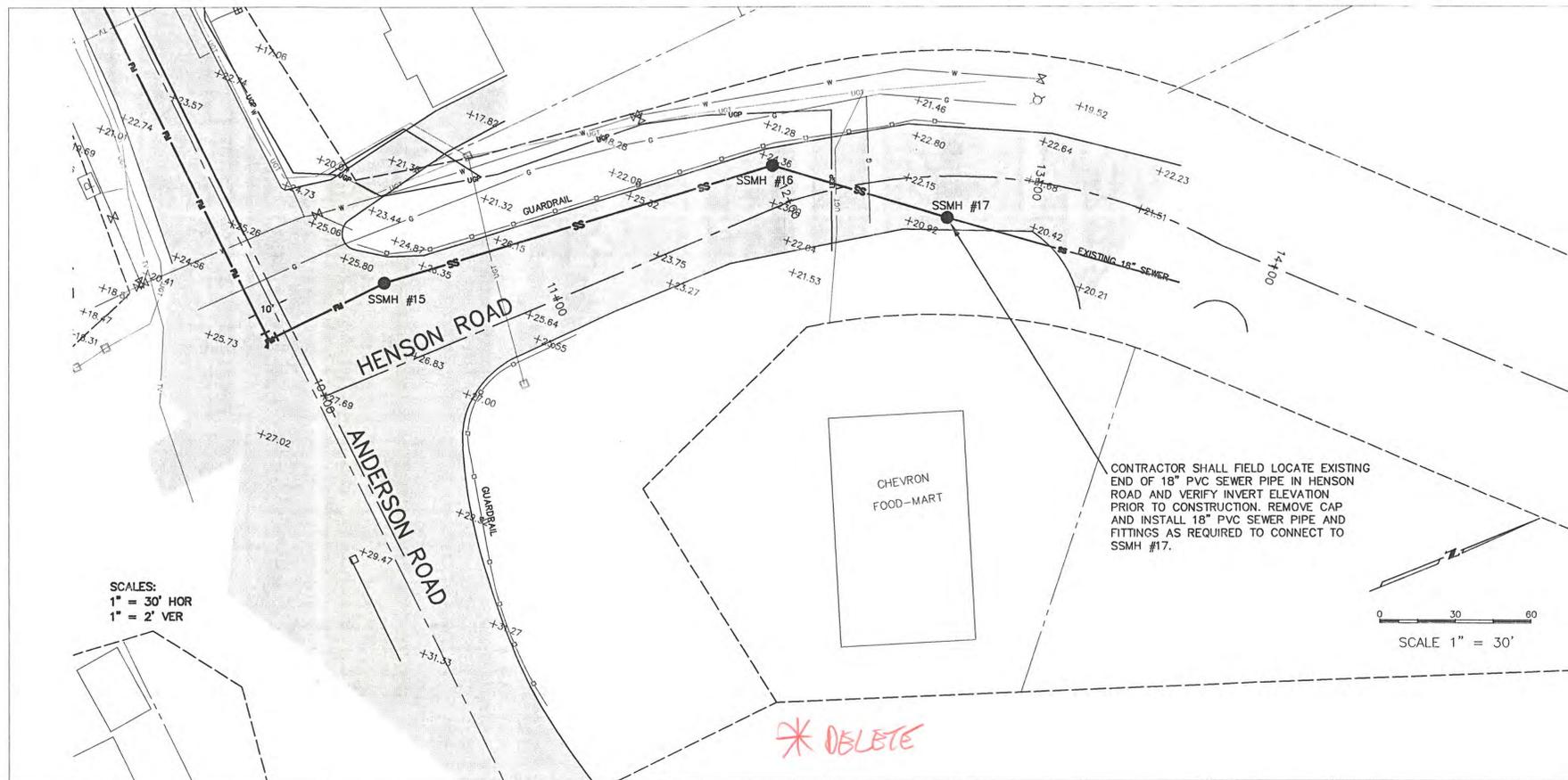
Leonard, Boudinot & Skodje Inc.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
603 South First Street, P.O. Box 1228
Mount Vernon, WA 98273
Tel: 360-336-5751 Fax: 360-336-3981

SHEET DESCRIPTION
**OLD HIGHWAY 99 SOUTH
SEWER SYSTEM PLAN/PROFILE
STA 54+00 TO STA 63+00**

SCALE: AS NOTED
DRAWN BY: PRL
DESIGNED BY: DEL
CHECKED BY: RCB
FIELD BOOK/PAGE:
DATE: AUGUST 21, 2000

PROJECT
**CITY OF MOUNT VERNON
SOUTH SERVICE AREA
SEWER SYSTEM IMPROVEMENTS**

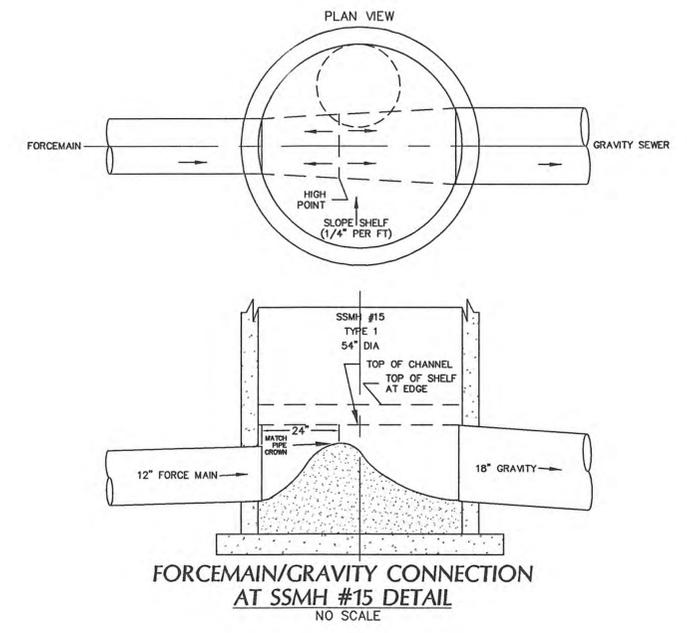
DWG NO. RCP04001.DWG
JOB NO. 99099
SHEET 556 OF 11



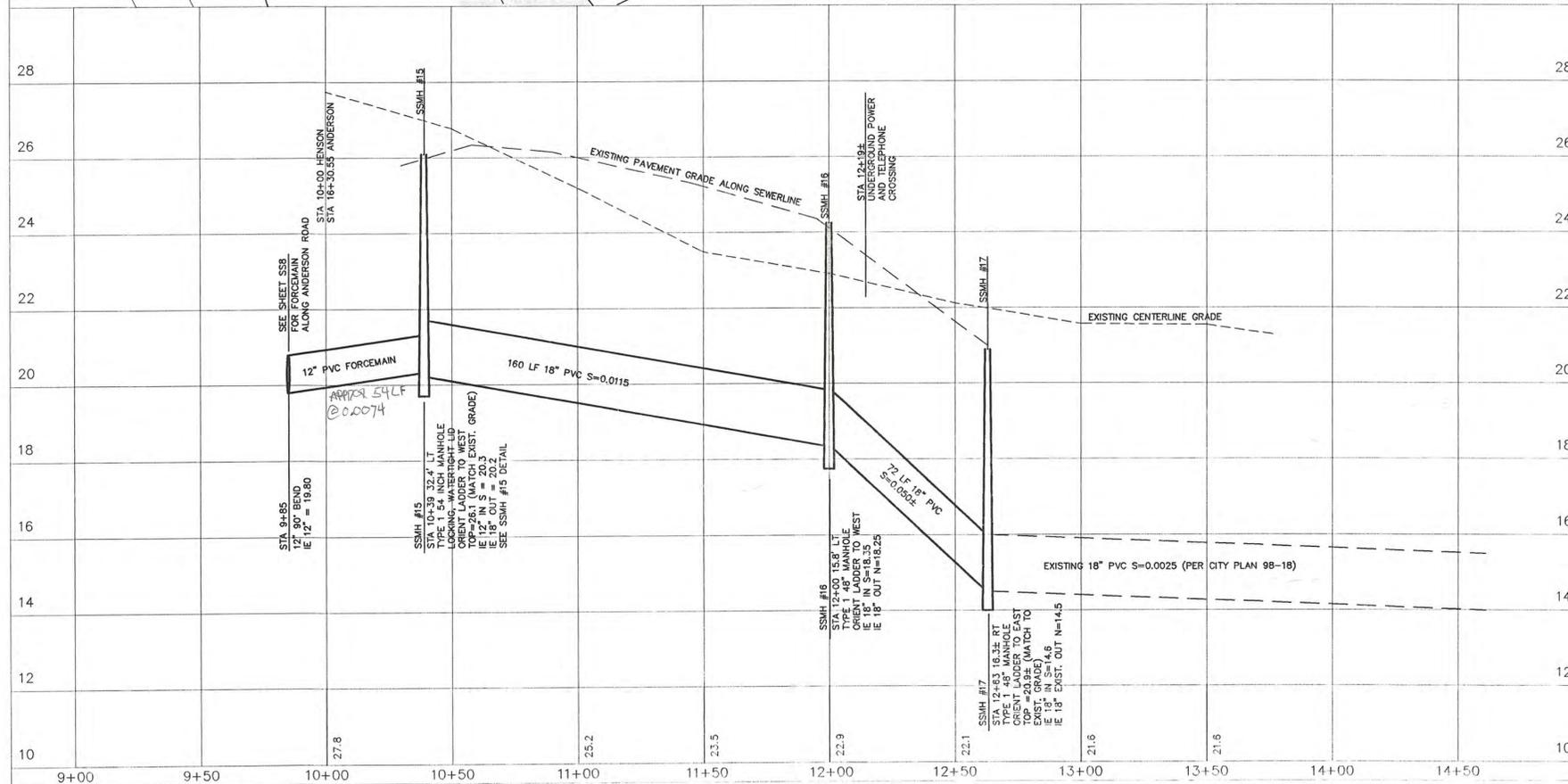
SCALES:
 1" = 30' HOR
 1" = 2' VER

SCALE 1" = 30'

* DELETE



FORCEMAIN/GRAVITY CONNECTION
 AT SSMH #15 DETAIL
 NO SCALE



NO.	DATE	REVISIONS	BY	APVD

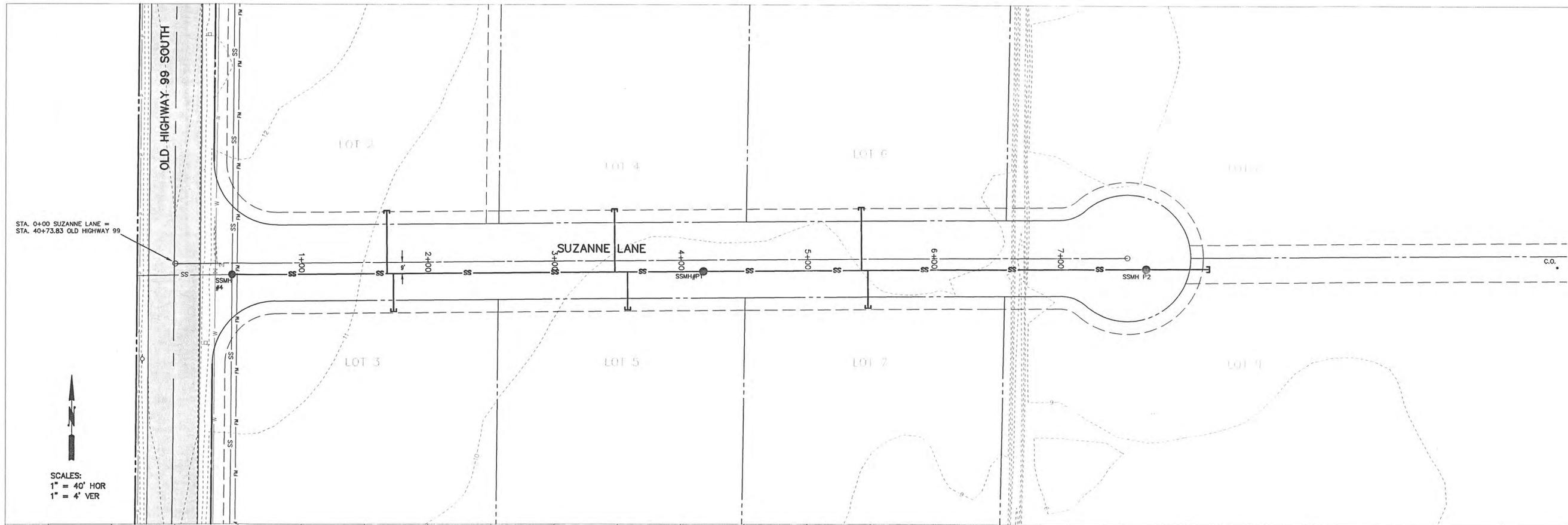
Leonard, Boudinot & Skodje Inc.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 603 South First Street, P.O. Box 1228
 Mount Vernon, WA 98273
 Tel: 360-336-5751 Fax: 360-336-3981

SHEET DESCRIPTION
HENSON ROAD
SEWER SYSTEM PLAN/PROFILE
FORCEMAIN CONNECTION

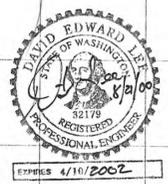
SCALE: AS NOTED
 DRAWN BY: PRL
 DESIGNED BY: DEL
 CHECKED BY: RCB
 FIELD BOOK/PAGE:
 DATE: AUGUST 21, 2000

PROJECT
CITY OF MOUNT VERNON
SOUTH SERVICE AREA
SEWER SYSTEM IMPROVEMENTS

DWG NO.
 RCP01003.DWG
 JOB NO.
 99099
 SHEET
 SS9 OF 11



The six inch pipe and fitting references for side sewer connections on this sheet are to be replaced with 8-inch pipe and fittings. The bid quantity for 8-inch PVC has these lengths included.



NO.	DATE	REVISIONS	BY	APVD

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 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 603 South First Street, P.O. Box 1228
 Mount Vernon, WA 98273
 Tel: 360-336-5751 Fax: 360-336-3981

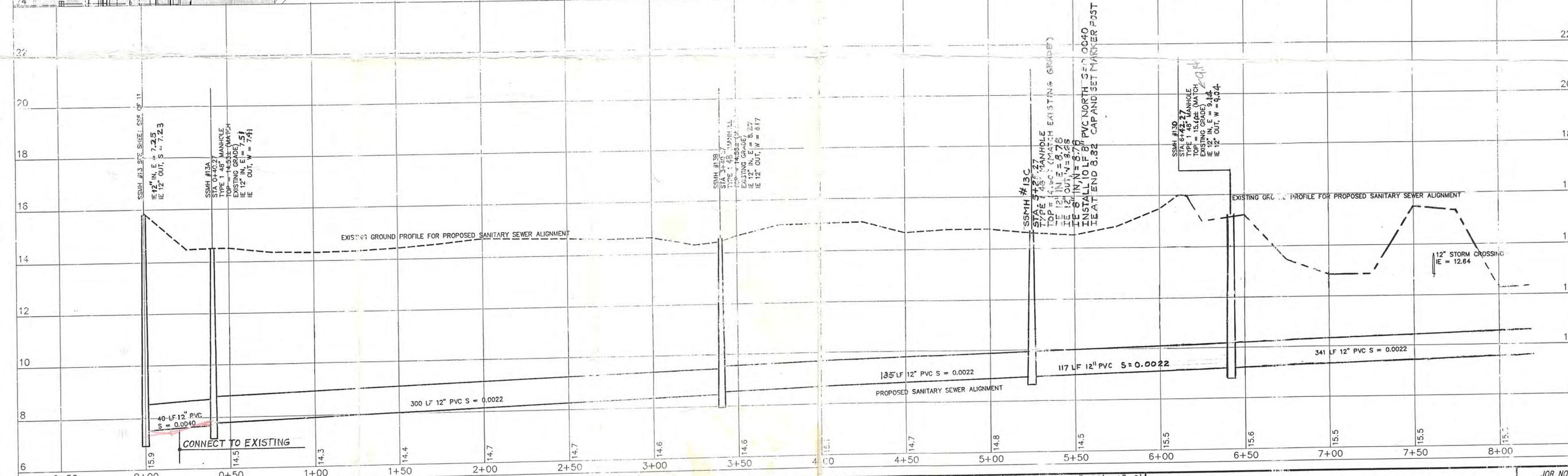
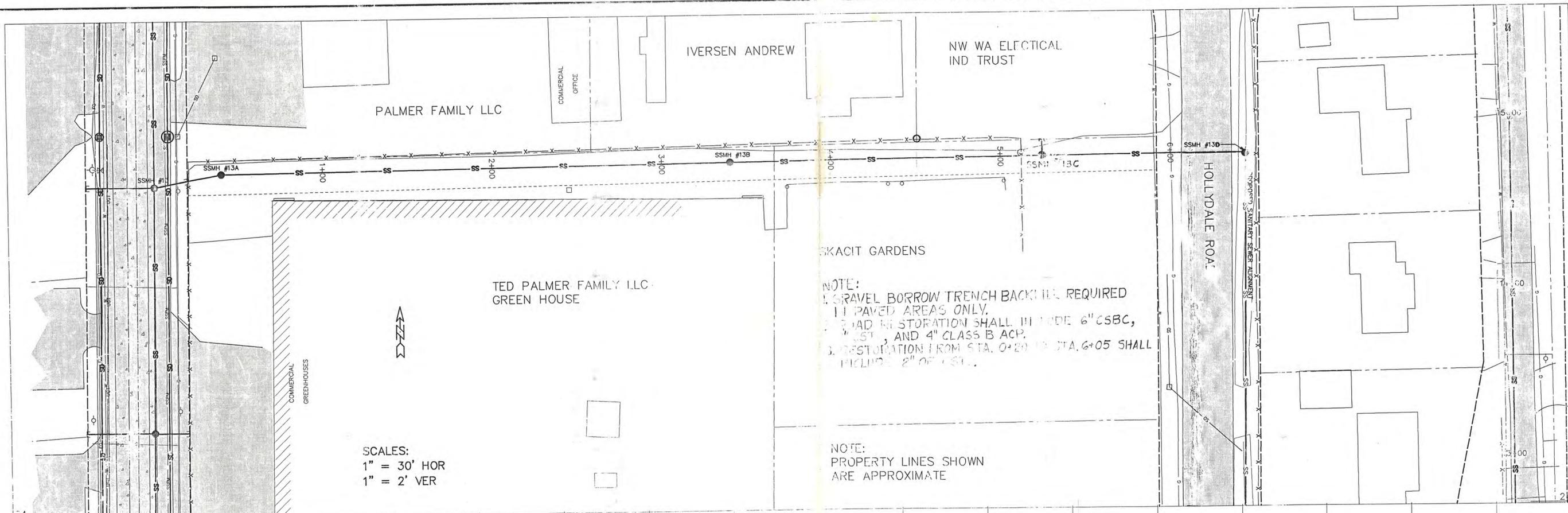
SHEET DESCRIPTION
**SANITARY SEWER
 PLAN AND PROFILE**

SCALE: 1"=40' H, 1"=5' V
 DRAWN BY: TGN
 DESIGNED BY:
 CHECKED BY: RCB
 FIELD BOOK/PAGE:
 DATE: AUGUST 21, 2000

PROJECT
**CITY OF MOUNT VERNON
 SOUTH SERVICE AREA
 SEWER SYSTEM IMPROVEMENTS**

DWG NO.
 PETER_SANI.DWG
 JOB NO.
 99099-A
 SHEET
 SS10 OF 11

J:\99099\ENG\Peter\bu11\PETER_SANI.dwg Mon Aug 21 10:20:19 2000



NO.	DATE	REVISIONS	BY

Leonard, Boudinot & Skodje Inc.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
603 South First Street, P.O. Box 1228
Mount Vernon, WA 98273
Tel: 360-336-5751 Fax: 360-336-3981

SHEET DESCRIPTION
OLD HIGHWAY 99 SOUTH
HOLLYDALE SEWER PLAN/PROFILE
STA 0+50 TO 8+00

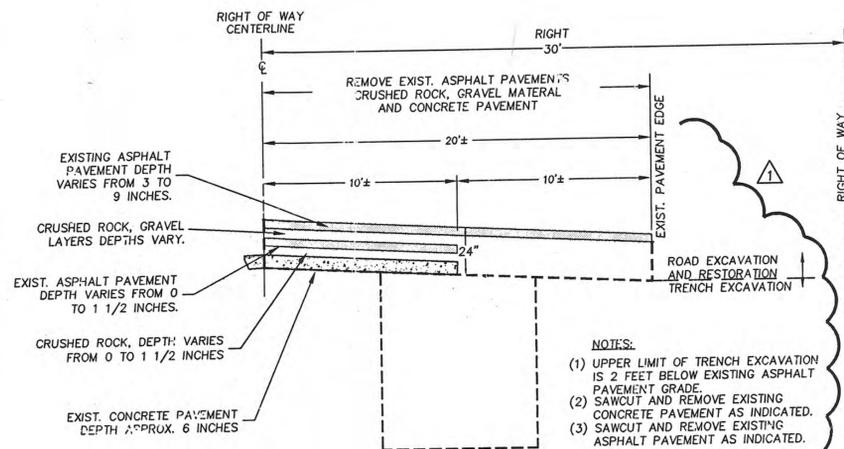
SCALE: H:1"=30', V:1"=2'
DRAWN BY: NEH
DESIGNED BY: DEL
CHECKED BY: RCB
FIELD BOOK/PAGE:
DATE: DECEMBER 2000

PROJECT
CITY OF MOUNT VERNON
SOUTH SERVICE AREA
SEWER SYSTEM IMPROVEMENTS

REVISED BY: ALLEN STEELE
DATE: 7/30/01

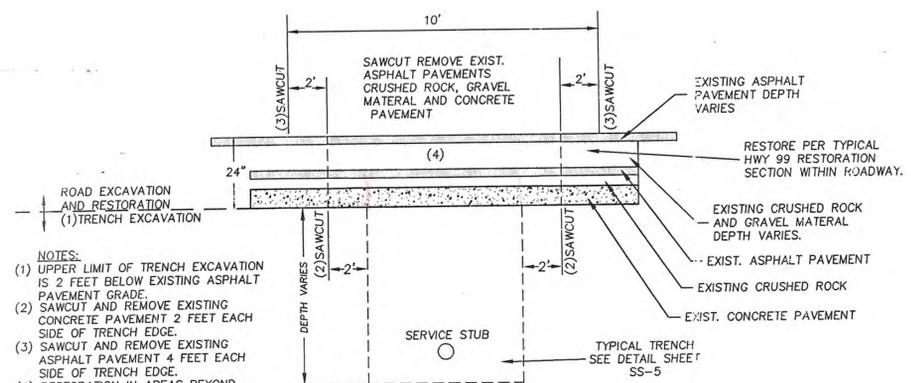
JOB NO.
99099
DRAWING
RCPO3009
SHEET
1 of 2

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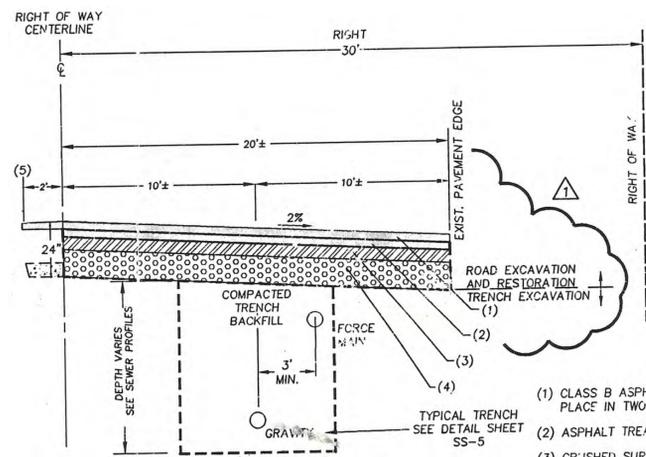
TYPICAL ROAD REMOVAL SECTION
 OLD HIGHWAY 99 SOUTH
 STA 43+00± TO STA 63+20±
 NO SCALE

- NOTES:
- (1) UPPER LIMIT OF TRENCH EXCAVATION IS 2 FEET BELOW EXISTING ASPHALT PAVEMENT GRADE.
 - (2) SAWCUT AND REMOVE EXISTING CONCRETE PAVEMENT AS INDICATED.
 - (3) SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT AS INDICATED.



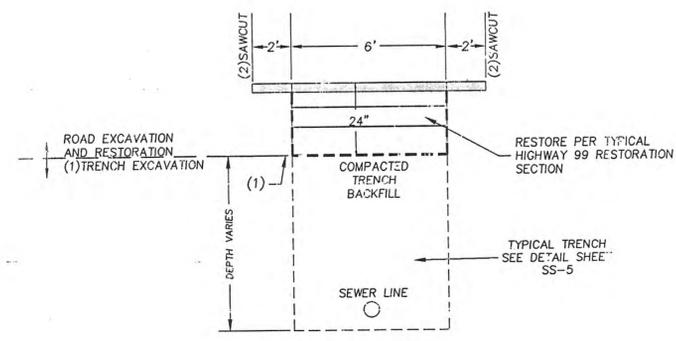
TYPICAL SANITARY SERVICE LINE
 ROAD REMOVAL AND RESTORATION SECTION
 NO SCALE

- NOTES:
- (1) UPPER LIMIT OF TRENCH EXCAVATION IS 2 FEET BELOW EXISTING ASPHALT PAVEMENT GRADE.
 - (2) SAWCUT AND REMOVE EXISTING CONCRETE PAVEMENT 2 FEET EACH SIDE OF TRENCH EDGE.
 - (3) SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT 4 FEET EACH SIDE OF TRENCH EDGE.
 - (4) RESTORATION IN AREAS BEYOND ROAD EDGE SHALL BE CONSISTANT AND MATCH EXISTING CONDITIONS PRIOR TO CONSTRUCTION.



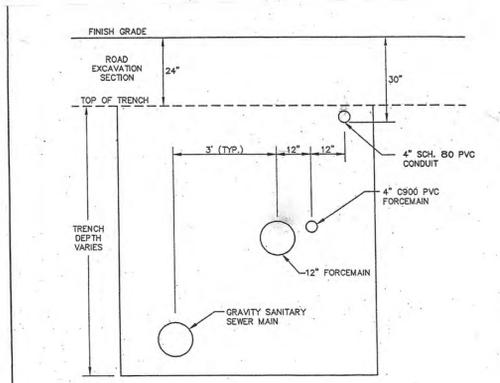
TYPICAL ROAD RESTORATION SECTION
 OLD HIGHWAY 99 SOUTH
 STA 43+00± TO STA 63+20±
 NO SCALE

- NOTES:
- (1) CLASS B ASPHALT, 3" PLACE IN TWO LIFTS
 - (2) ASPHALT TREATED BASE, 5"
 - (3) CRUSHED SURFACING BASE COURSE, 6"
 - (4) GRAVEL BORROW, 10"
 - (5) SAWCUT EXISTING ASPHALT



ANDERSON AND HENSON ROAD
 RESTORATION SECTION
 NO SCALE

- NOTES:
- (1) UPPER LIMIT OF TRENCH EXCAVATION IS 2 FEET BELOW EXISTING ASPHALT PAVEMENT GRADE.
 - (2) SAWCUT AND REMOVE EXISTING CONCRETE PAVEMENT 2 FEET EACH SIDE OF TRENCH EDGE.



1 TYPICAL UTILITY LOCATIONS
 SCALE: N.T.S.

Leonard, Boudinot & Skodje Inc.	SCALE: AS SHOWN	PROJECT: CITY OF MOUNT VERNON	DRAWING NO. 2000-1
PROFESSIONAL ENGINEERS & LAND SURVEYORS	DRAWN BY: PRL	SOUTH SERVICE AREA	ADD. SHEET 7
603 South First Street, P.O. Box 1228	CHECKED BY: DEL	SANITARY AND STORM SEWER IMPROVEMENTS	
Mount Vernon, VA 22123	DATE: 8/2/00	ADDENDUM NO. 2	
Tel: 360-336-5751 Fax: 360-336-3981			

AS PER APPENDUM 2



REVISED	BY	DATE

Leonard, Boudinot & Skodje Inc.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 603 South First Street, P.O. Box 1228
 Mount Vernon, VA 22123
 Tel: 360-336-5751 Fax: 360-336-3981

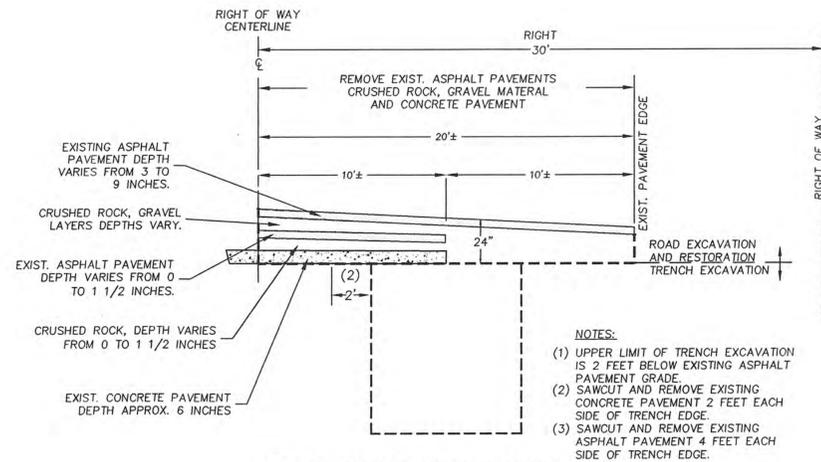
SHEET DESCRIPTION
 ROAD SECTIONS
 AND DETAILS

SCALE: AS NOTED
 DRAWN BY: PRL
 DESIGNED BY: DEL
 CHECKED BY: RCB
 FIELD BOOK/PAGE:
 DATE: AUGUST 21, 2000

PROJECT: CITY OF MOUNT VERNON
 SOUTH SERVICE AREA
 SEWER SYSTEM IMPROVEMENTS

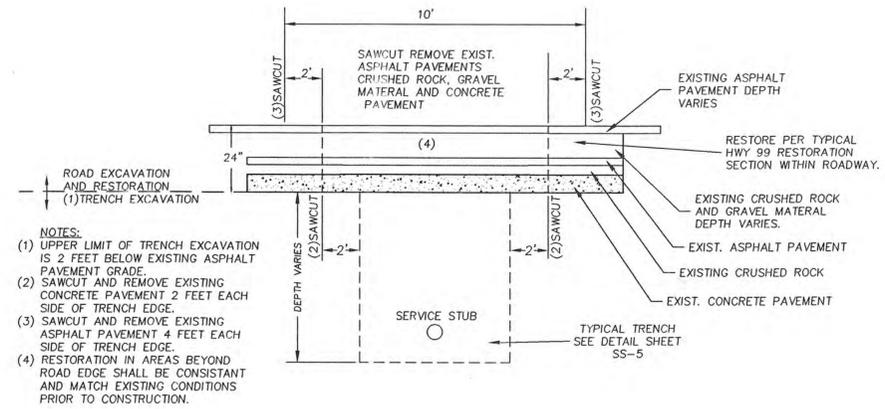
DRAWING NO. 2000-1
 ADD. SHEET 7

AS PER APPENDUM 2



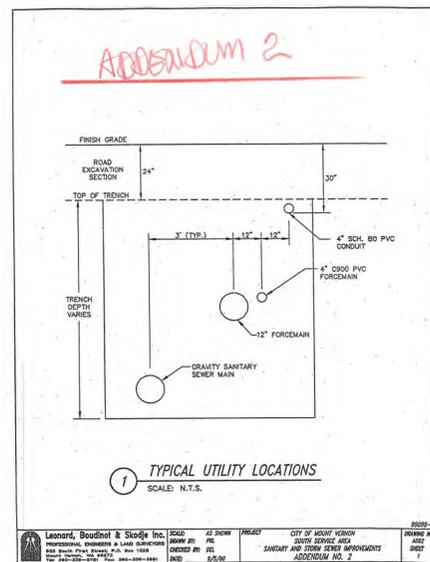
**TYPICAL ROAD REMOVAL SECTION
OLD HIGHWAY 99 SOUTH
STA 46+00± TO STA 63+20±
NO SCALE**

- NOTES:**
- (1) UPPER LIMIT OF TRENCH EXCAVATION IS 2 FEET BELOW EXISTING ASPHALT PAVEMENT GRADE.
 - (2) SAWCUT AND REMOVE EXISTING CONCRETE PAVEMENT 2 FEET EACH SIDE OF TRENCH EDGE.
 - (3) SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT 4 FEET EACH SIDE OF TRENCH EDGE.

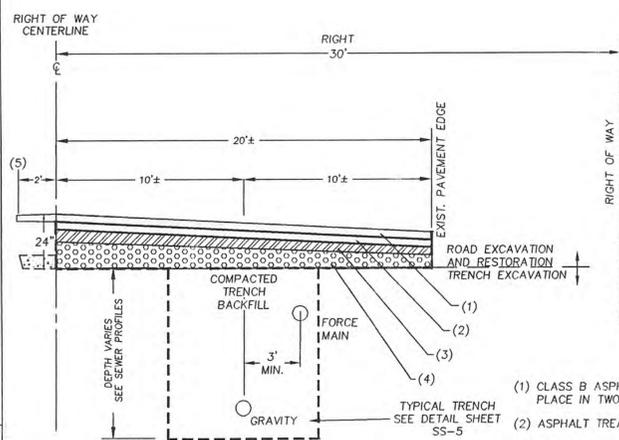


**TYPICAL SANITARY SERVICE LINE
ROAD REMOVAL AND RESTORATION SECTION
NO SCALE**

- NOTES:**
- (1) UPPER LIMIT OF TRENCH EXCAVATION IS 2 FEET BELOW EXISTING ASPHALT PAVEMENT GRADE.
 - (2) SAWCUT AND REMOVE EXISTING CONCRETE PAVEMENT 2 FEET EACH SIDE OF TRENCH EDGE.
 - (3) SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT 4 FEET EACH SIDE OF TRENCH EDGE.
 - (4) RESTORATION IN AREAS BEYOND ROAD EDGE SHALL BE CONSISTANT AND MATCH EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

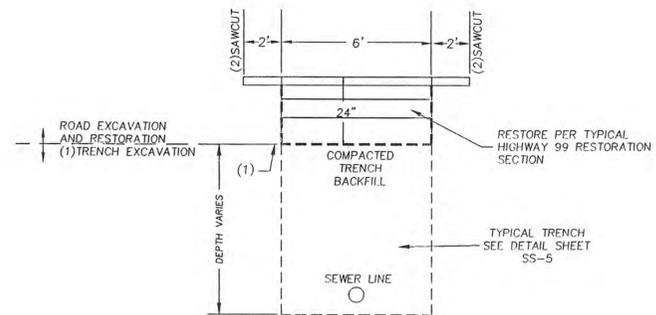


**1 TYPICAL UTILITY LOCATIONS
SCALE: N.T.S.**



**TYPICAL ROAD RESTORATION SECTION
OLD HIGHWAY 99 SOUTH
STA 46+00± TO STA 63+20±
NO SCALE**

- NOTES:**
- (1) CLASS B ASPHALT, 3" PLAGE IN TWO LIFTS
 - (2) ASPHALT TREATED BASE, 5"
 - (3) CRUSHED SURFACING BASE COURSE, 6"
 - (4) GRAVEL BORROW, 10"
 - (5) SAWCUT EXISTING ASPHALT



**ANDERSON AND HENSON ROAD
RESTORATION SECTION
NO SCALE**

- NOTES:**
- (1) UPPER LIMIT OF TRENCH EXCAVATION IS 2 FEET BELOW EXISTING ASPHALT PAVEMENT GRADE.
 - (2) SAWCUT AND REMOVE EXISTING CONCRETE PAVEMENT 2 FEET EACH SIDE OF TRENCH EDGE.

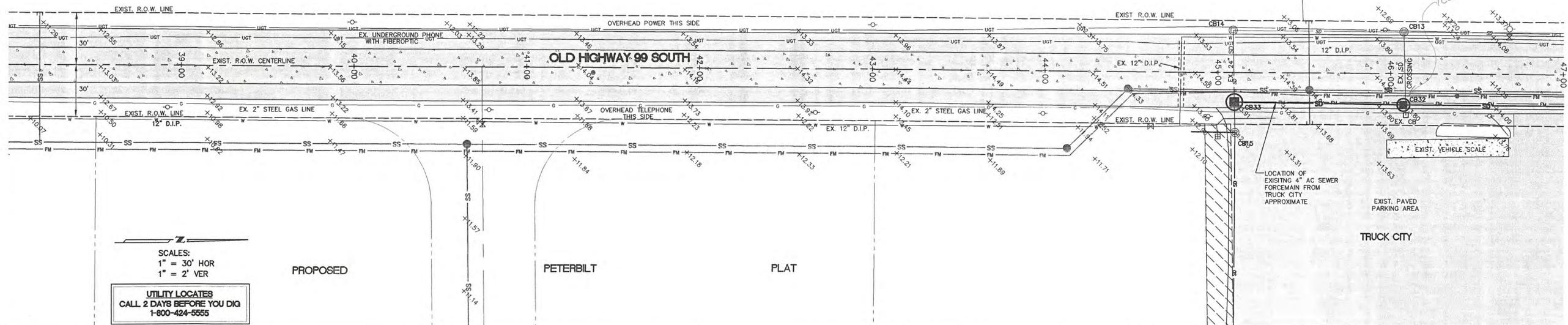


REVISED 4/10/2002

NO.	DATE	REVISIONS	BY	APVD	Leonard, Boudinot & Skodje Inc. PROFESSIONAL ENGINEERS & LAND SURVEYORS 603 South First Street, P.O. Box 1228 Mount Vernon, WA 98273 Tel: 360-336-5751 Fax: 360-336-3981	SHEET DESCRIPTION ROAD SECTIONS AND DETAILS	SCALE: AS NOTED DRAWN BY: PRL DESIGNED BY: DEL CHECKED BY: RCB FIELD BOOK/PAGE: DATE: AUGUST 21, 2000	PROJECT CITY OF MOUNT VERNON SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENTS	DWG NO. TYPSECTIONS.DWG JOB NO. 99099 SHEET SS11 OF 11

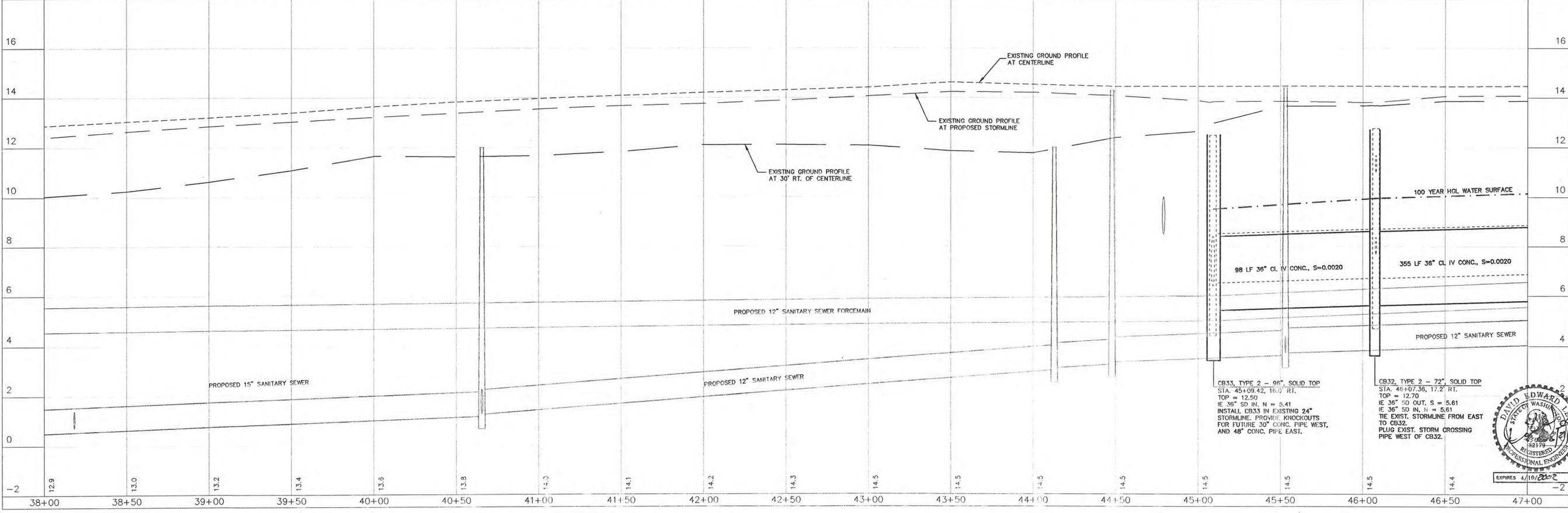
J:\99099\ENG\DATA\TYPSECTIONS.DWG Mon Aug 21 08:56:38 2000

CULTIVATED FIELD



SCALES:
 1" = 30' HOR
 1" = 2' VER

UTILITY LOCATES
 CALL 2 DAYS BEFORE YOU DIG
 1-800-424-5555



CB33, TYPE 2 - 96", SOLID TOP
 STA. 45+09.42, 16.0' RT.
 TOP = 12.50
 IE 36" SD IN, N = 5.41
 INSTALL CB33 IN EXISTING 24"
 STORMLINE. PROVIDE KNOCKOUTS
 FOR FUTURE 30" CONC. PIPE WEST,
 AND 48" CONC. PIPE EAST.

CB32, TYPE 2 - 72", SOLID TOP
 STA. 46+07.36, 17.2' RT.
 TOP = 12.70
 IE 36" SD OUT, S = 5.61
 IE 36" SD IN, N = 5.61
 TIE EXIST. STORMLINE FROM EAST
 TO CB32.
 PLUG EXIST. STORM
 PIPE WEST OF CB32.



EXPIRES 4/10/2002

NO.	DATE	REVISIONS	BY	APVD

Leonard, Boudinot & Skodje Inc.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 603 South First Street, P.O. Box 1228
 Mount Vernon, WA 98273
 Tel: 360-336-5751 Fax: 360-336-3981

SHEET DESCRIPTION
**EAST STORM SEWER
 PLAN AND PROFILE
 STA. 38+00 TO STA. 47+00**

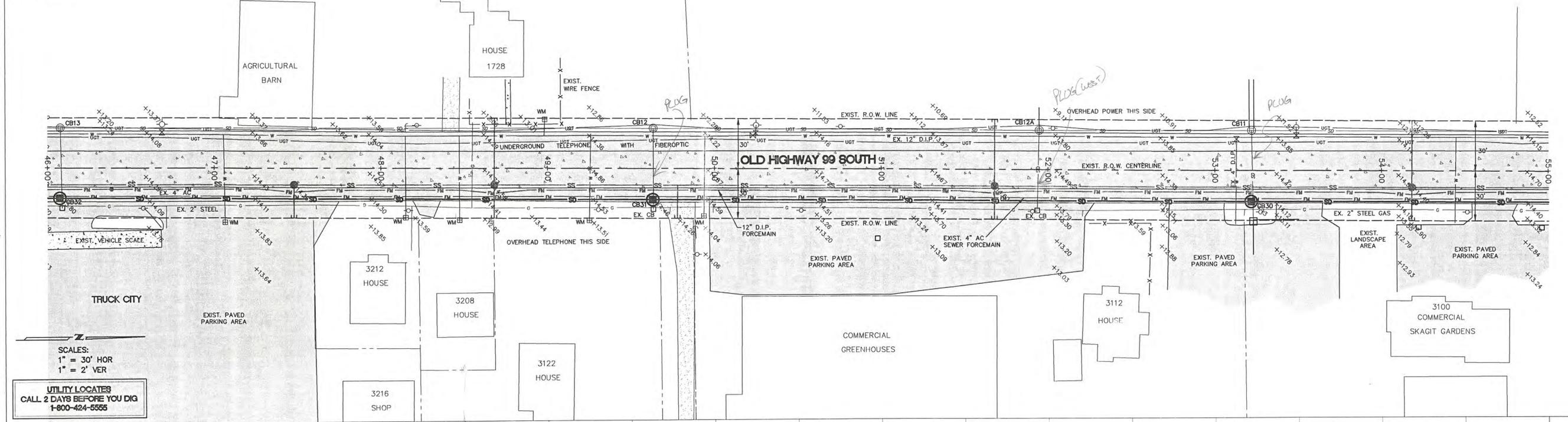
SCALE: 1"=30' HOR., 1"=2' VER.
 DRAWN BY: PRL
 DESIGNED BY: CGL
 CHECKED BY: RCB
 FIELD BOOK/PAGE:
 DATE: JULY 2000

PROJECT
OLD HIGHWAY 99/ANDERSON ROAD IMPROVEMENTS
 FOR
CITY OF MOUNT VERNON
 SECTION 32, TOWNSHIP 34 N., RANGE 4 E., W.M. MOUNT VERNON, WASHINGTON

DRAWING NO.
 RCP02002.DWG
 JOB NO.
 00078
 SHEET
 S01 OF 3

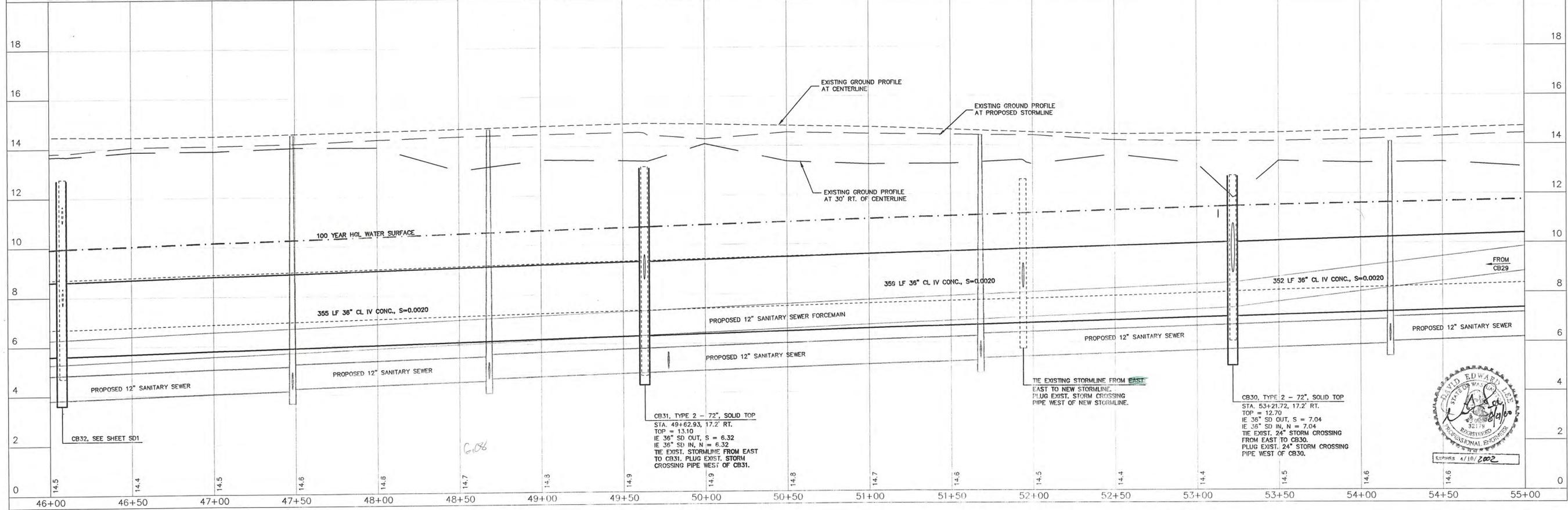
AGRICULTURAL
PLOWED FIELD

AGRICULTURAL
PLOWED FIELD



SCALES:
1" = 30' HOR
1" = 2' VER

UTILITY LOCATES
CALL 2 DAYS BEFORE YOU DIG
1-800-424-5555



NO.	DATE	REVISIONS	BY	APVD

Leonard, Boudinot & Skodje Inc.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
603 South First Street, P.O. Box 1228
Mount Vernon, WA 98273
Tel: 360-336-5751 Fax: 360-336-3981

SHEET DESCRIPTION
**EAST STORM SEWER
PLAN AND PROFILE
STA. 46+00 TO STA. 55+00**

SCALE: 1"=30' HOR., 1"=2' VER.
DRAWN BY: PRL
DESIGNED BY: CGL
CHECKED BY: RCB
FIELD BOOK/PAGE:
DATE: JULY 2000

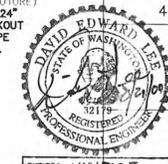
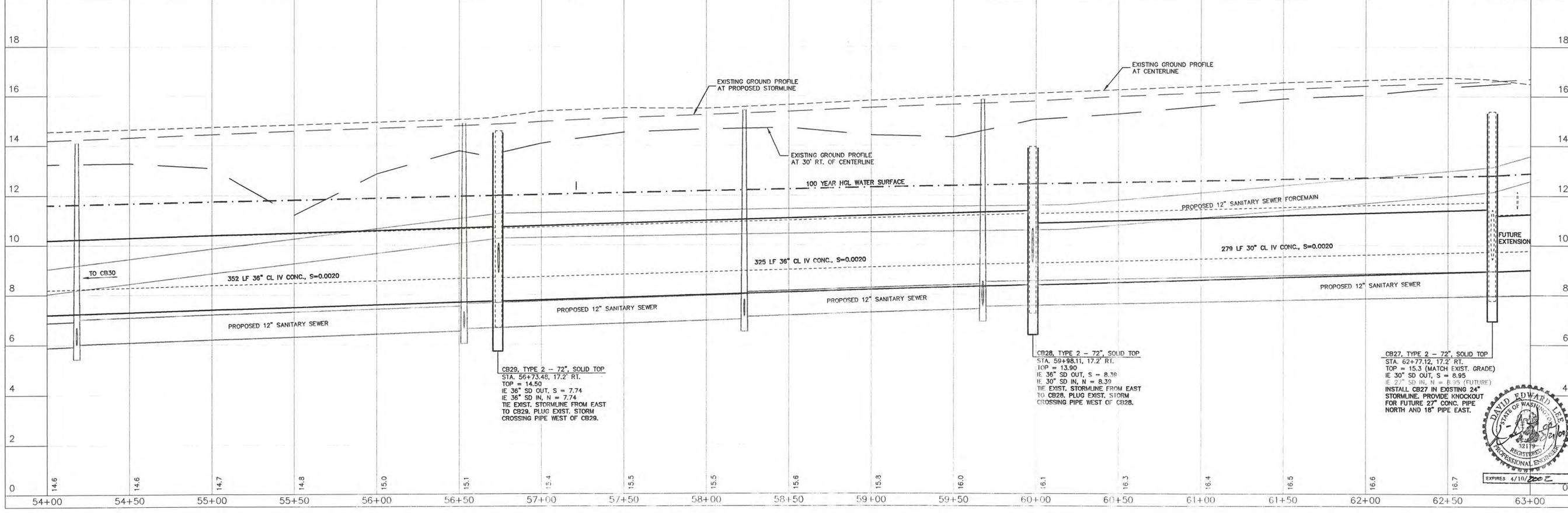
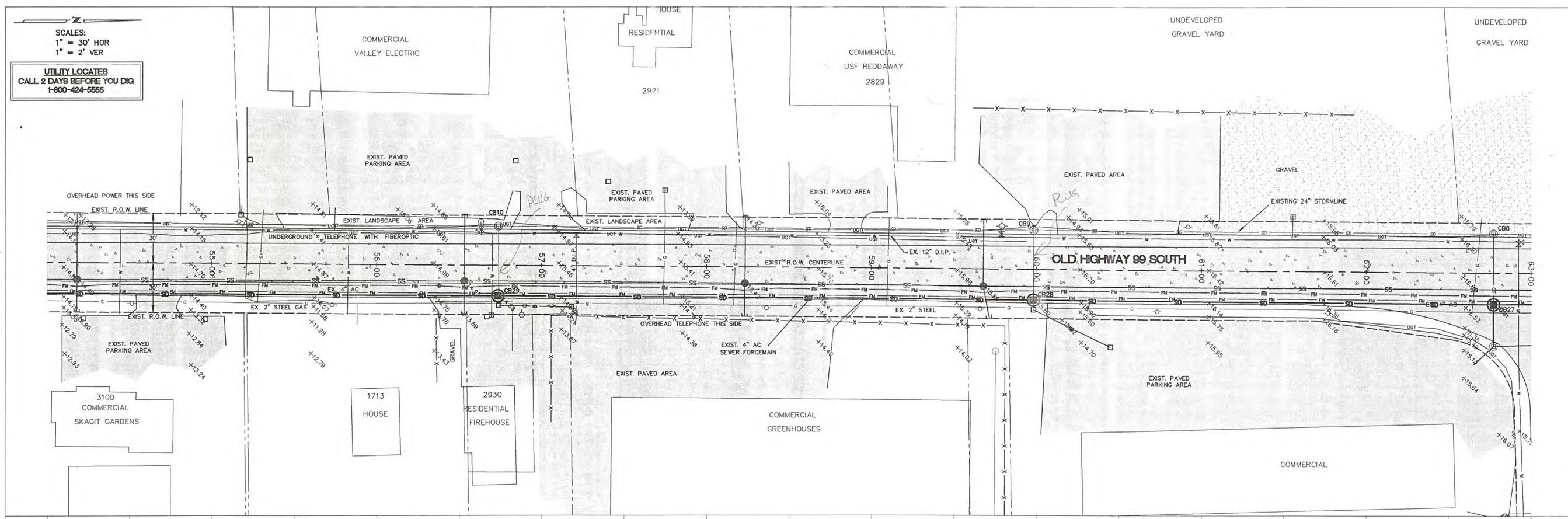
PROJECT
OLD HIGHWAY 99/ANDERSON ROAD IMPROVEMENTS
FOR
CITY OF MOUNT VERNON
SECTION 32, TOWNSHIP 34 N., RANGE 4 E., W.M. MOUNT VERNON, WASHINGTON

DRAWING NO.
RCP03002.DWG
JOB NO.
00078
SHEET
SD2 OF 3

J:\00078\ENR\PI\DATA\EA\ST\PCP03002.dwg Mon Aug 21 09:18:25 2000

SCALES:
 1" = 30' HOR
 1" = 2' VER

UTILITY LOCATES
 CALL 2 DAYS BEFORE YOU DIG
 1-800-424-5555



NO.	DATE	REVISIONS	BY	APVD

Leonard, Boudinot & Skodje Inc.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 603 South First Street, P.O. Box 1228
 Mount Vernon, WA 98273
 Tel: 360-336-5751 Fax: 360-336-3981

SHEET DESCRIPTION
**EAST STORM SEWER
 PLAN AND PROFILE
 STA. 54+00 TO STA. 63+00**

SCALE: 1"=30' HOR., 1"=2' VER.
 DRAWN BY: PRL
 DESIGNED BY: CGL
 CHECKED BY: RCB
 FIELD BOOK/PAGE:
 DATE: JULY 2000

PROJECT
OLD HIGHWAY 99/ANDERSON ROAD IMPROVEMENTS
 FOR
CITY OF MOUNT VERNON
 SECTION 32, TOWNSHIP 34, N., RANGE 4, E., W.M. MOUNT VERNON, WASHINGTON

DRAWING NO.
 RCP04002.DWG
 JOB NO.
 00078
 SHEET
 SD3 OF 3

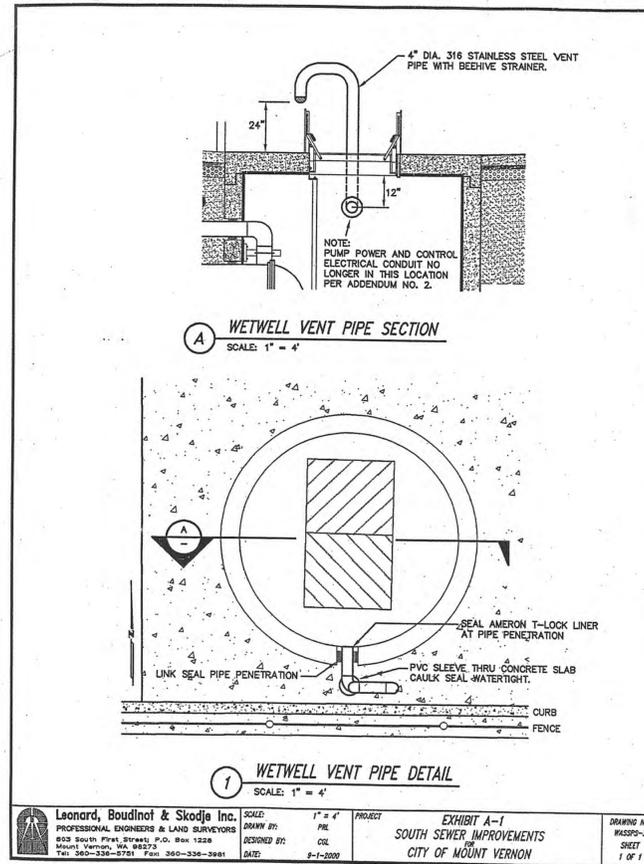
J:\00078\ERIS\EPD\TA\NE\ST\RCP04002.dwg Mon Aug 21 09:21:29 2000

39. Plan Sheet PS-3 of 11

110 Volt, NEMA 3R, GFI outdoor receptacle with locking cover located next to the overhead light shall be wired to the control building electrical system in accordance with all applicable electrical code requirements. Receptacle may be mounted to overhead light foundation.

Add the following equipment to the 120" Diameter Wetwell:

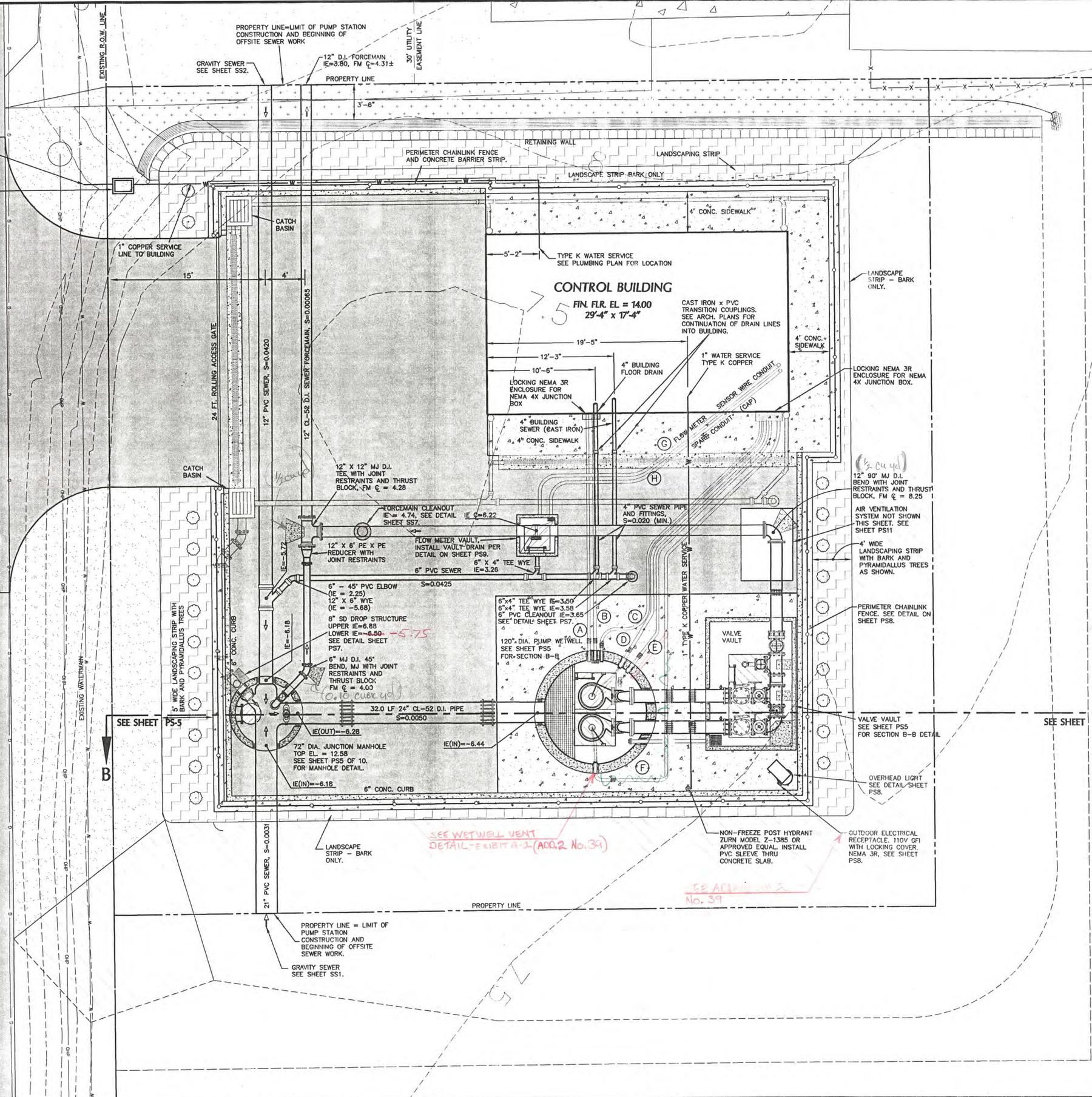
Install 4" diameter, SCH 40, 316L stainless steel wetwell vent pipe and fittings (welded joints), with threaded, removable, beehive strainer as shown in Exhibit A-1. Pipe penetration into wetwell shall be sealed by Model S-316 Link-Seal or approved equal. Pipe penetration through concrete slab surrounding wetwell shall be sleeved with PVC pipe sleeve. Caulk seal watertight space between vent pipe and PVC sleeve. Seal pipe penetration through Ameron T-Lock wetwell liner at pipe penetration in accordance with liner manufacturer's recommendations.



CONTRACTOR TO COORDINATE WITH PUD NO. 1 OF SKAGIT COUNTY FOR APPLICATION AND INSTALLATION OF WATER SERVICE TO THE PUMP STATION SITE.

INSTALL 1" METER WITH COPPER TYPE K SERVICE LINE PER SKAGIT P.U.D. DETAIL ON SHEET PS9.

OLD HIGHWAY 99 SOUTH



LEGEND

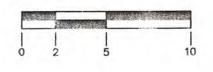
PROPOSED CONCRETE	PROPOSED CLEANOUT ASSEMBLY	C.O.
PROPOSED GRAVEL	PROPOSED WATER SERVICE	
EXISTING ASPHALT	EXISTING WATERLINE	
PROPOSED ASPHALT	PROPOSED STORM SEWER AND CATCH BASIN	CB
EXISTING CONTOUR	EXISTING STORM SEWER LINE AND CATCH BASIN	
BARK	EXISTING OVERHEAD POWER	
EXISTING FENCE LINE	PYRAMIDALLUS TREE	

- NOTES**
- SEE SHEET PS2 OF 10 FOR PUMP STATION SITE GRADING AND DRAINAGE PLAN
 - SEE SHEETS SS1 THRU SS8 FOR GRAVITY AND FORCEMAIN SANITARY SEWER IN RIGHT OF WAY

CONDUIT SCHEDULE

(A)	SPARE - CAP IN NEMA 4 X JUNCTION BOX
(B)	BUBBLER AIR TUBE CONDUIT
(C)	SPARE - CAP IN NEMA 4 X JUNCTION BOX
(D)	PUMP POWER/SENSOR WIRE CONDUIT
(E)	TRANSDUCER SENSOR WIRE CONDUIT
(F)	PUMP POWER/SENSOR WIRE CONDUIT
(G)	SPARE CONDUIT - CAP INSIDE BUILDING
(H)	FLOW METER SENSOR WIRE CONDUIT

EXISTING UTILITIES HAVE BEEN TAKEN FROM AVAILABLE FIELD AND OFFICE RECORDS. THE CONTRACTOR IS RESPONSIBLE FOR UTILIZING THE ONE-CALL UTILITY LOCATE SERVICE, 1-800-424-5555 A MINIMUM OF TWO WORKING DAYS PRIOR TO ANY CONSTRUCTION. DAMAGE TO THE EXISTING UTILITIES RESULTING FROM THIS CONSTRUCTION SHALL BE REPAIRED BY AND AT THE CONTRACTOR'S EXPENSE.



NO.	DATE	REVISIONS	BY	APVD

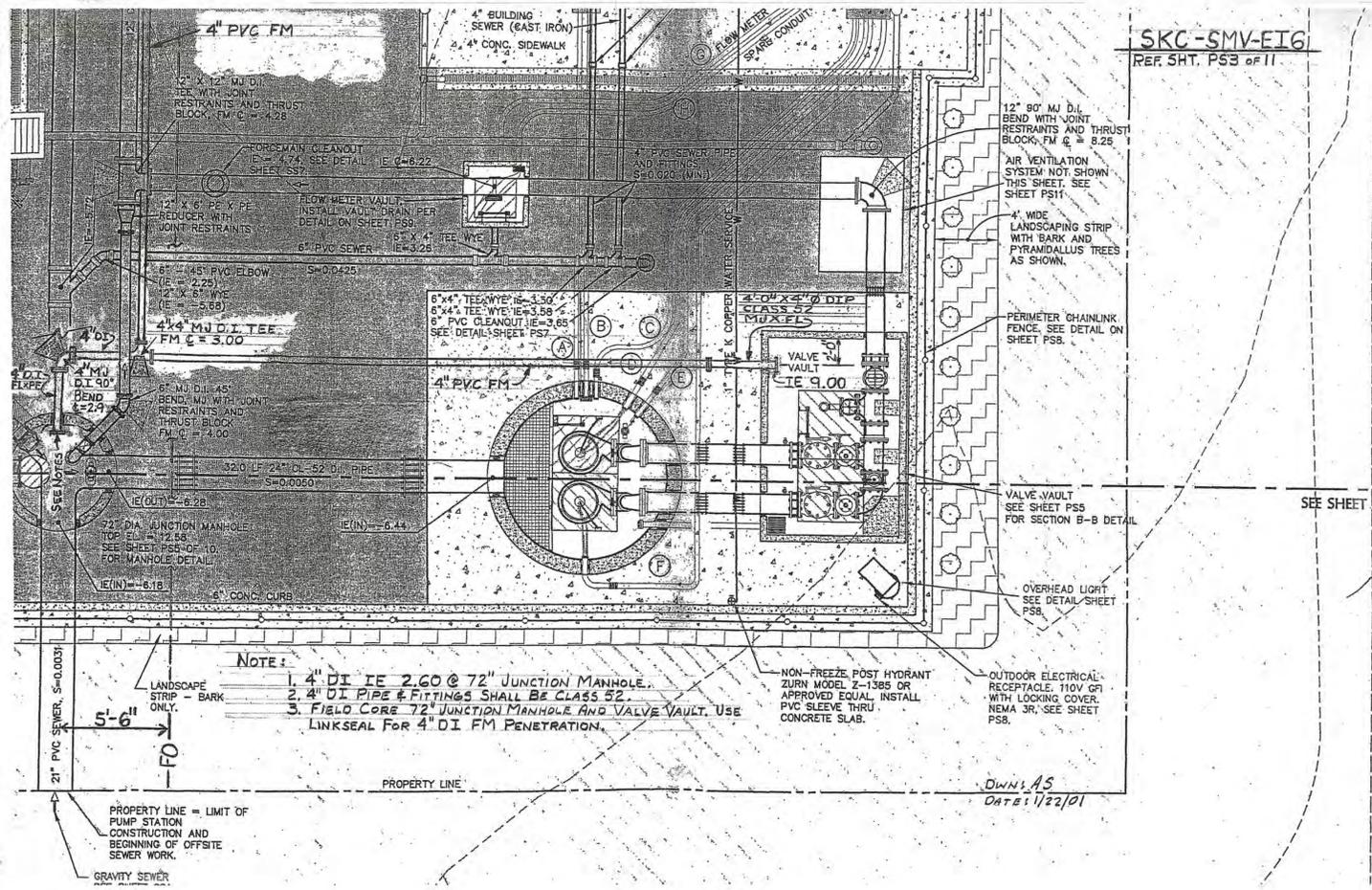
Leonard, Boudinot & Skodje Inc.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 603 South First Street, P.O. Box 1228
 Mount Vernon, WA 98275
 Tel: 360-336-5751 Fax: 360-336-3981

SHEET DESCRIPTION
 PUMP STATION SITE
 WATER AND SANITARY SEWER PLAN

SCALE: 1"=5'
DRAWN BY: PRL
DESIGNED BY: CCL
CHECKED BY: RCB
FIELD BOOK/PAGE: 591/15-17
DATE: AUGUST 2000

PROJECT
 CITY OF MOUNT VERNON
 SOUTH SERVICE AREA
 SEWER SYSTEM IMPROVEMENTS

DWG NO. WASSPS-3
 JOB NO. 99099
 SHEET PS3 OF 11



SKC-SMV-ET6
REF. SHT. PS3 of 11

NOTE:
 1. 4" DI IE 2.60 @ 72" JUNCTION MANHOLE.
 2. 4" DI PIPE & FITTINGS SHALL BE CLASS 32.
 3. FIELD CORE 72" JUNCTION MANHOLE AND VALVE VAULT. USE LINKSEAL FOR 4" DI FM PENETRATION.

NON-FREEZE POST HYDRANT
 ZURN MODEL Z-1385 OR
 APPROVED EQUAL. INSTALL
 PVC SLEEVE THRU
 CONCRETE SLAB.

OUTDOOR ELECTRICAL
 RECEPTACLE, 110V GF
 WITH LOCKING COVER,
 NEMA 3R, SEE SHEET
 PS8.

DWN: AS
 DATE: 1/22/01

PROPERTY LINE = LIMIT OF
 PUMP STATION
 CONSTRUCTION AND
 BEGINNING OF OFFSITE
 SEWER WORK.

GRAVITY SEWER

SEE SHEET

VALVE VAULT
 SEE SHEET PS5
 FOR SECTION B-B DETAIL

OVERHEAD LIGHT
 SEE DETAIL SHEET
 PS8

PERIMETER CHAINLINK
 FENCE, SEE DETAIL ON
 SHEET PS8.

4" WIDE
 LANDSCAPING STRIP
 WITH BARK AND
 PYRAMIDALLUS TREES
 AS SHOWN.

AIR VENTILATION
 SYSTEM NOT SHOWN
 THIS SHEET, SEE
 SHEET PS11

12" 80' M.J. D.I.
 BEND WITH JOINT
 RESTRAINTS AND THRUST
 BLOCK, FM @ = 8.28

4" PVC FM

12" x 12" M.J. D.I.
 SEE WITH JOINT
 RESTRAINTS AND THRUST
 BLOCK, FM @ = 4.28

FORCEMAIN CLEANOUT
 IE = 4.74 SEE DETAIL IE @ 8.22
 SHEET PS7

FLOW METER VAULT
 INSTALL VAULT DRAIN PER
 DETAIL ON SHEET PS9

6" x 4" TEE WYE
 IE = 3.25

4" x 4" M.J. D.I. TEE
 FM @ = 3.00

6" M.J. D.I. AS
 BEND WITH JOINT
 RESTRAINTS AND
 THRUST BLOCK
 FM @ = 4.00

32.0 LF 24" D.I. 52" D.I. PIPE
 S = 0.0050

72" DIA. JUNCTION MANHOLE
 TOP EL. = 7.15
 SEE SHEET PS5 OF 10
 FOR MANHOLE DETAIL

IE(N) = 8.18

4" CONC. CURB

LANDSCAPE
 STRIP - BARK
 ONLY.

5'-6"

PROPERTY LINE

GRAVITY SEWER

4" BUILDING
 SEWER (EAST IRON)

2" 4" CONC. SIDEWALK

4" PVC SEWER PIPE
 AND FITTINGS
 S = 0.020 (MIN)

6" x 4" TEE WYE
 IE = 3.25

6" x 4" TEE WYE
 IE = 3.50

6" x 4" TEE WYE
 IE = 3.58

6" PVC CLEANOUT IE = 3.85
 SEE DETAIL SHEET PS7

4" PVC FM

VALVE VAULT
 IE 9.00

CLASS 32
 MURKELS

1" TEE & COPPER
 WATER SERVICE

4" CONC. CURB

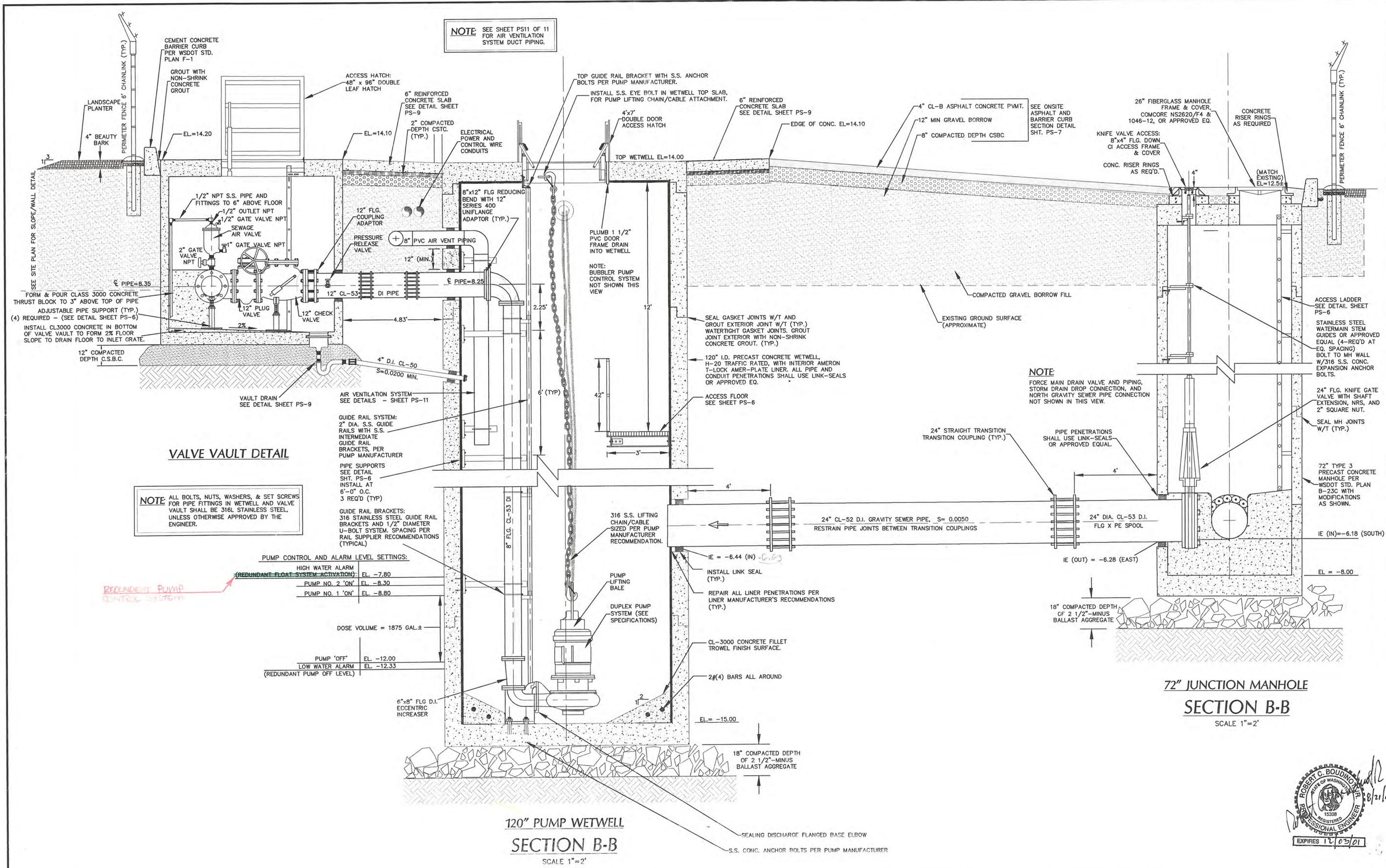
PROPERTY LINE

GRAVITY SEWER

PROPERTY LINE

GRAVITY SEWER

NOTE SEE SHEET PS11 OF 11 FOR AIR VENTILATION SYSTEM DUCT PIPING.



VALVE VAULT DETAIL

NOTE: ALL BOLTS, NUTS, WASHERS, & SET SCREWS FOR PIPE FITTINGS IN WETWELL AND VALVE VAULT SHALL BE 316L STAINLESS STEEL, UNLESS OTHERWISE APPROVED BY THE ENGINEER.

PUMP CONTROL AND ALARM LEVEL SETTINGS:

HIGH WATER ALARM (REDUNDANT FLOAT SYSTEM ACTIVATION)	EL. -7.80
PUMP NO. 2 'ON'	EL. -8.30
PUMP NO. 1 'ON'	EL. -8.80
DOSE VOLUME = 1875 GAL.±	
PUMP 'OFF'	EL. -12.00
LOW WATER ALARM (REDUNDANT PUMP OFF LEVEL)	EL. -12.33

120" PUMP WETWELL SECTION B-B
SCALE 1"=2"

72" JUNCTION MANHOLE SECTION B-B
SCALE 1"=2"



NO.	DATE	REVISIONS	BY	APVD

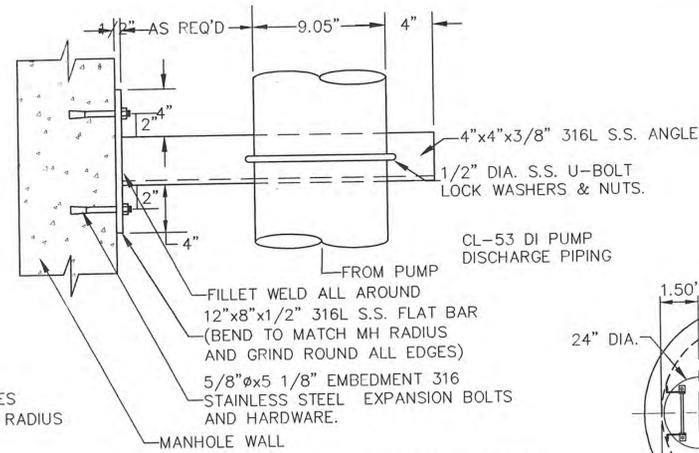
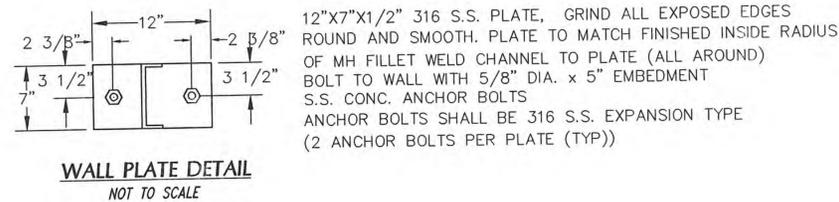
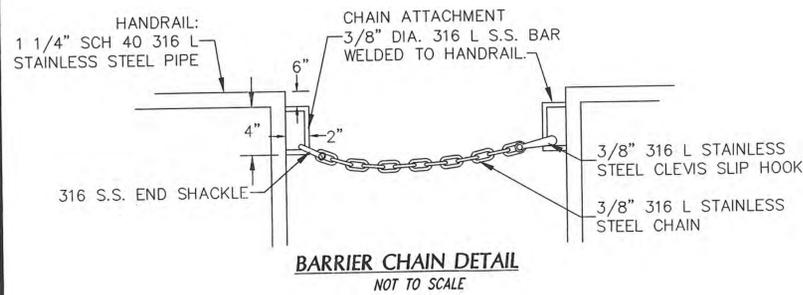
Leonard, Boudinot & Skodje Inc.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
603 South First Street, P.O. Box 1228
Mount Vernon, WA 98273
Tel: 360-336-5751 Fax: 360-336-3981

SHEET DESCRIPTION
SECTION B-B
PUMP STATION SITE

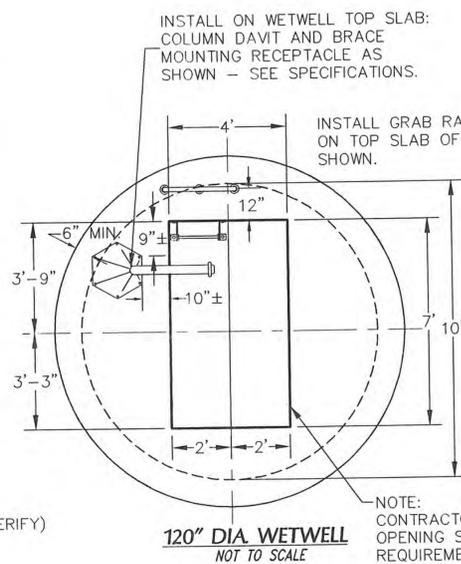
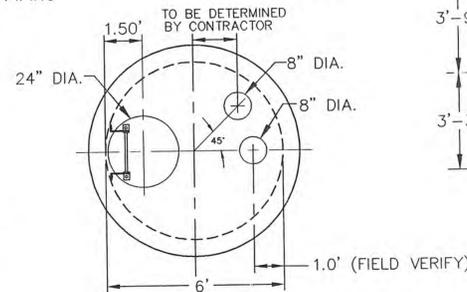
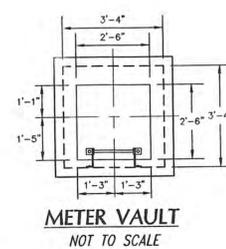
SCALE: 1"=2"
DRAWN BY: SCP
DESIGNED BY: CL
CHECKED BY: RCB
FIELD BOOK/PAGE:
DATE: AUGUST 2000

PROJECT
CITY OF MOUNT VERNON
SOUTH SERVICE AREA
SEWER SYSTEM IMPROVEMENTS

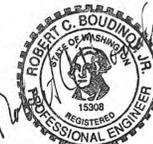
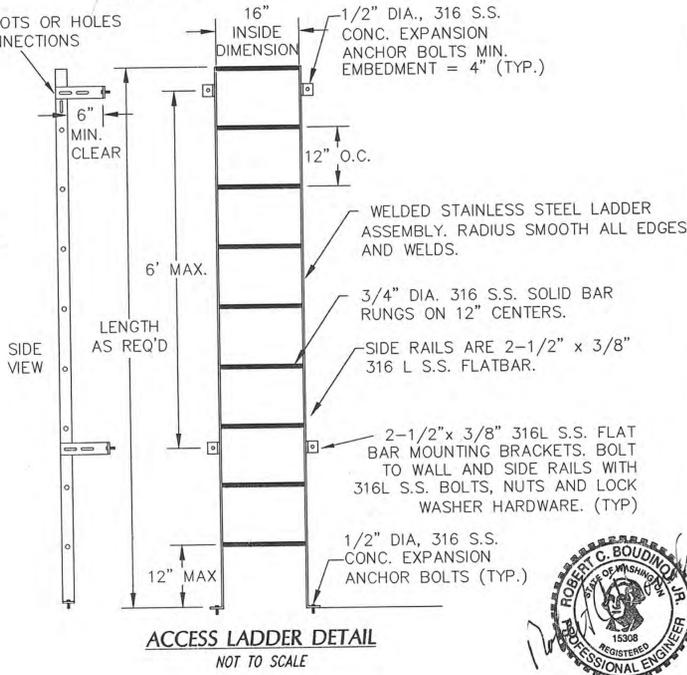
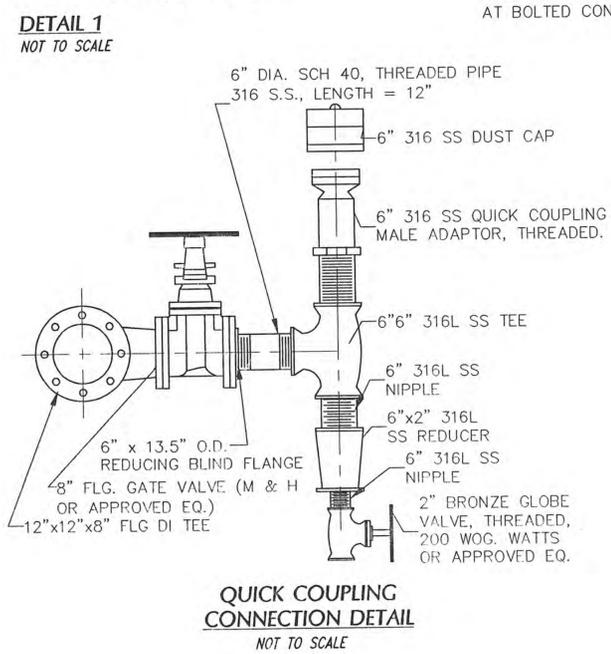
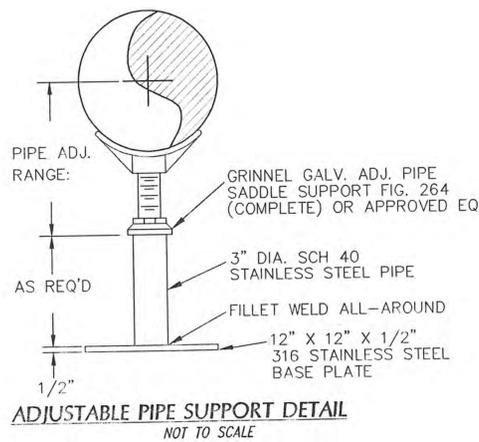
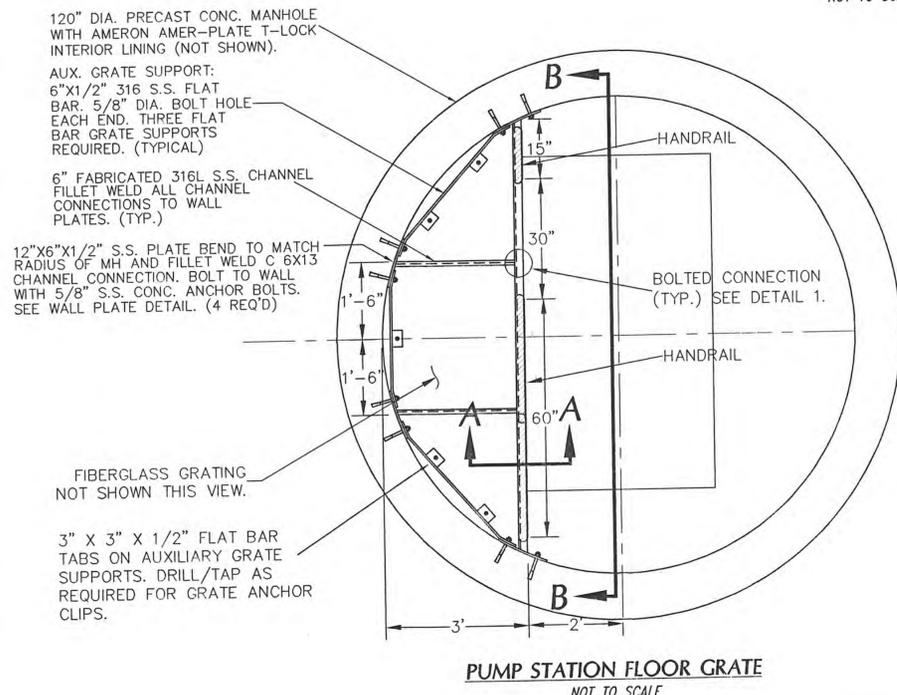
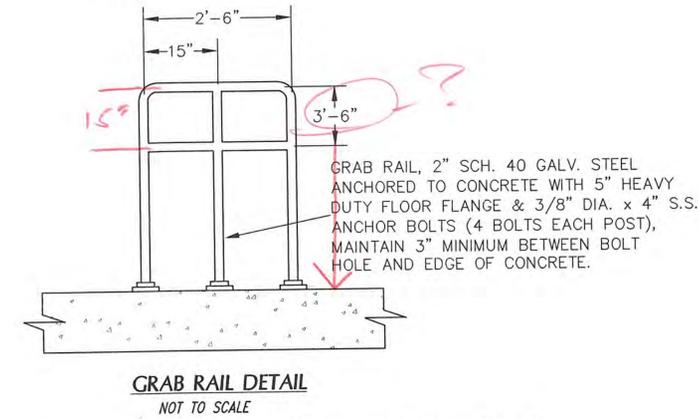
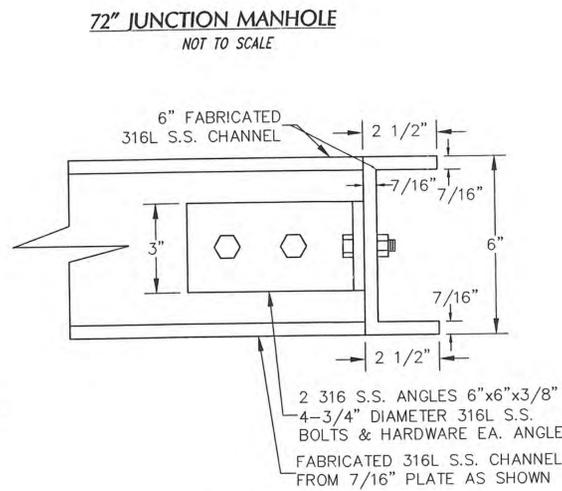
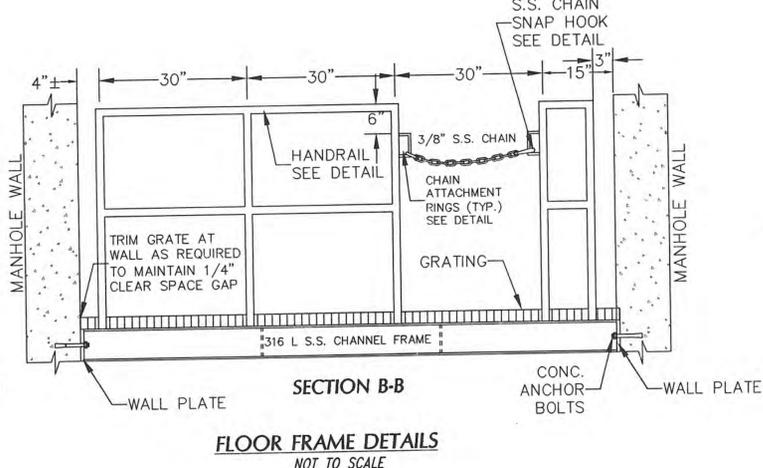
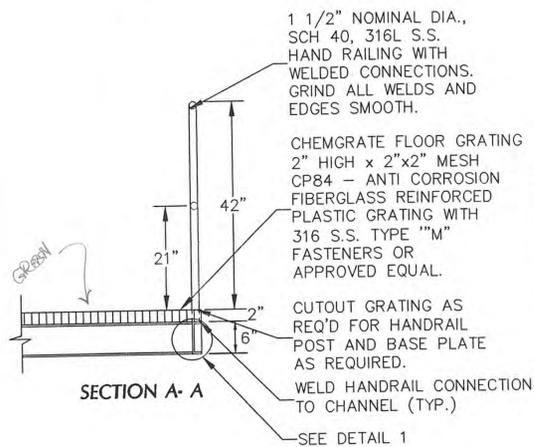
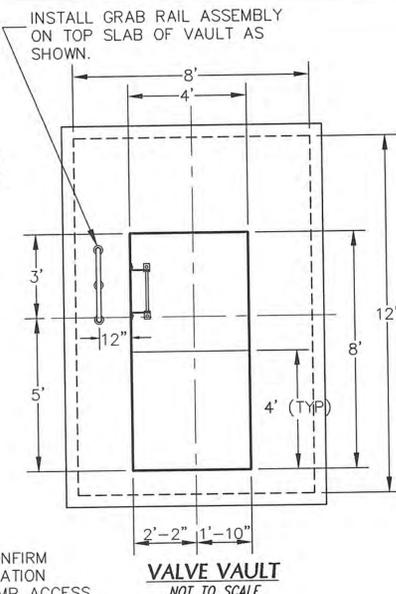
DWG NO. SECPS-5
JOB NO. 99099
SHEET PS5 OF 11



NOTE: INSTALL PIPE SUPPORTS AT 5'-O.C. IN WETWELL THE STAINLESS STEEL PIPE SUPPORT BRACKET FURNISHED BY THE PUMP MANUF. MAY BE SUBSTITUTED AS APPROVED BY THE ENGINEER.



NOTE: CONTRACTOR SHALL CONFIRM OPENING SIZE AND LOCATION REQUIREMENTS FOR PUMP ACCESS HATCHES WITH PUMP AND RAIL SYSTEM SUPPLIER PRIOR TO WETWELL FABRICATION.



EXPIRES 12/31/01

NO.	DATE	REVISIONS	BY	APVD

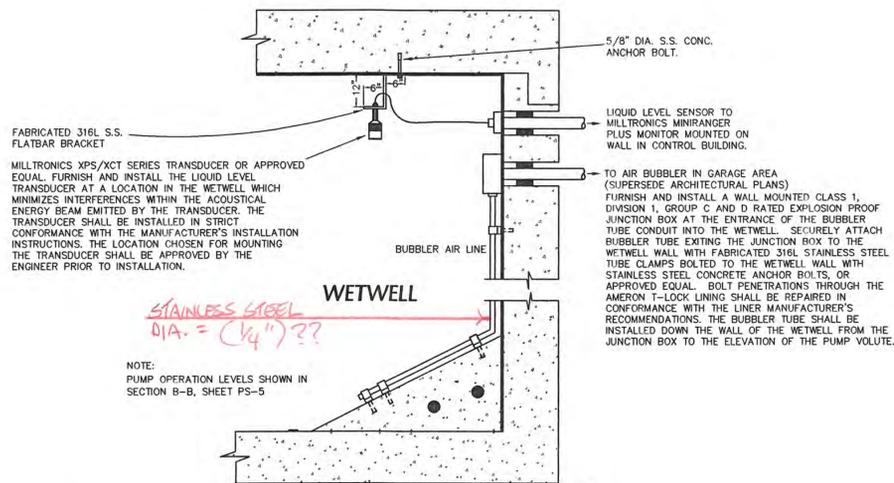
Leonard, Boudinot & Skodje Inc.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
603 South First Street; P.O. Box 1228
Mount Vernon, WA 98273
Tel: 360-336-5751 Fax: 360-336-3981

SHEET DESCRIPTION
PUMP STATION DETAILS

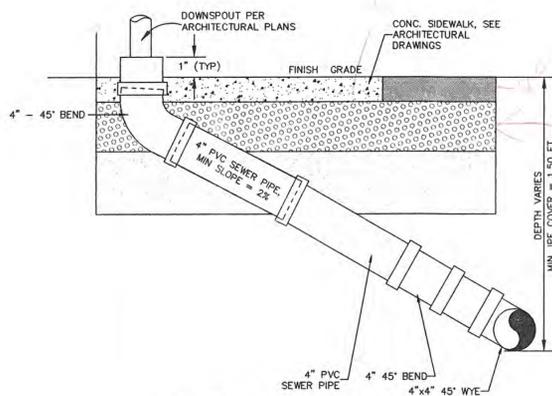
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DRAWN BY: SCP
DESIGNED BY: CL
CHECKED BY: RCB
FIELD BOOK/PAGE:
DATE: AUGUST 2000

PROJECT
CITY OF MOUNT VERNON
SOUTH SERVICE AREA
SEWER SYSTEM IMPROVEMENTS

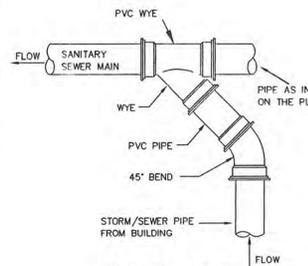
DWG NO. DETPS-6
JOB NO. 99089
SHEET PS6 of 11



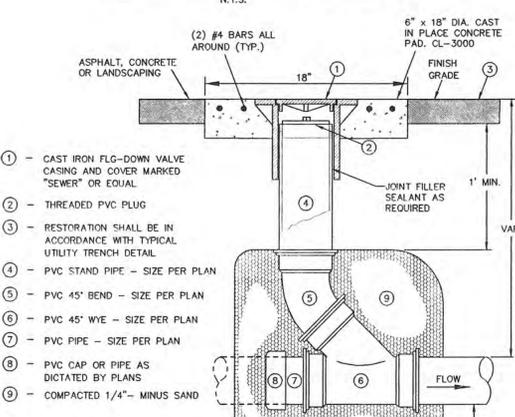
BUBBLER & BACKUP ULTRASONIC SENSOR DETAIL
NO SCALE



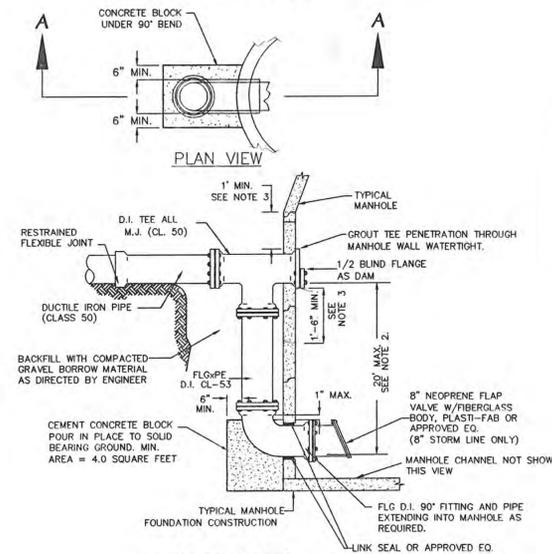
TYPICAL RAIN LEADER (D.S.) CONNECTION DETAIL
NO SCALE



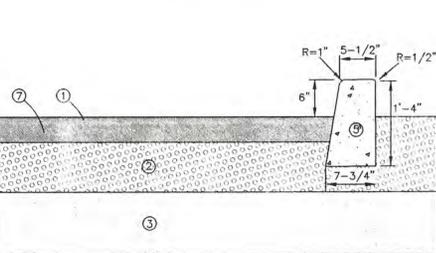
TYPICAL SANITARY SERVICE CONNECTION
NOT TO SCALE



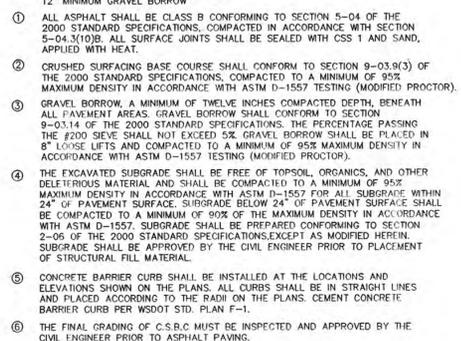
TYPICAL GRAVITY SEWER AND STORM DRAIN CLEANOUT ASSEMBLY DETAIL
NOT TO SCALE



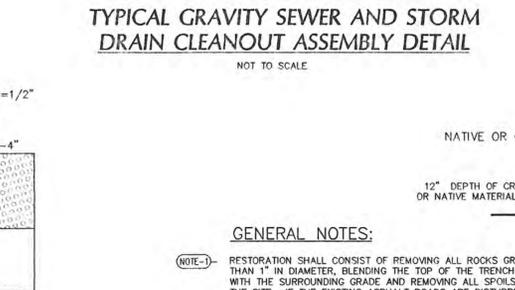
OUTSIDE DROP CONNECTION DETAIL (JUNCTION MH)
NO SCALE



ONSITE ASPHALT SECTION NOTES:



ONSITE ASPHALT AND CURB SECTION
NO SCALE



TYPICAL UTILITY TRENCH DETAIL (PUMP STATION SITE ONLY)
NO SCALE

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE 2000 STANDARD SPECIFICATIONS FOR ROAD AND MUNICIPAL CONSTRUCTION (UNLESS OTHERWISE SPECIFIED), THE 2000 STANDARD SPECIFICATIONS AS PREPARED BY THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND THE AMERICAN PUBLIC WORKS ASSOCIATION (W.S.D.O.T./APWA), TOGETHER WITH THE AMENDMENTS TO DIVISION ONE THROUGH NINE, HEREIN REFERRED TO AS THE "STANDARD SPECIFICATIONS". REFERENCES WILL BE MADE TO THE STANDARD SPECIFICATIONS MANUAL (W.S.D.O.T.) AND THE W.S.D.O.T. STANDARD PLANS BOOK.
- EXISTING UTILITIES HAVE BEEN OBTAINED FROM AVAILABLE FIELD AND OFFICE RECORDS TOGETHER WITH SITE TOPOGRAPHIC SURVEYS. THE CONTRACTOR IS RESPONSIBLE FOR UTILIZING THE ONE CALL UTILITY LOCATE SERVICE, 1-800-424-5555, A MINIMUM OF TWO WORKING DAYS PRIOR TO ANY CONSTRUCTION. DAMAGES TO THE EXISTING UTILITIES RESULTING FROM THIS CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE BY THE CONTRACTOR OR BY THE RESPECTIVE UTILITY COMPANY.
- PRIOR TO CONSTRUCTION OF ON-SITE AND OFF-SITE PAVING AND UTILITY IMPROVEMENTS, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE ENGINEER, SKAGIT COUNTY PUBLIC WORKS AND THE CITY OF MOUNT VERNON TO REVIEW ALL ASPECTS OF THE WORK.
- DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL KEEP ONE SET OF CIVIL PLANS ON-SITE TO RECORD ALL CHANGES IN WORK AND AS-BUILTS OF UTILITIES. A COPY OF THESE AS-BUILT PLANS SHALL BE PROVIDED TO THE CITY OF MOUNT VERNON AND THE ENGINEER AT THE END OF PROJECT COMPLETION.
- THE CONTRACTORS SHALL MAKE DAILY EFFORTS TO KEEP THE SITE IN A NEAT AND ORDERLY CONDITION TO THE SATISFACTION OF THE OWNER, ENGINEER, SKAGIT COUNTY, AND THE CITY OF MOUNT VERNON.
- AT ALL TIMES TRAFFIC SURFACES SHALL BE MAINTAINED ON OLD HIGHWAY 99. TEMPORARY AND PARTIAL ROAD CLOSURES SHALL BE APPROVED BY THE SKAGIT COUNTY FIRE, POLICE, AND ENGINEERING DEPARTMENTS PRIOR TO THE CONSTRUCTION. DURING CONSTRUCTION WITHIN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY FOR TRAFFIC CONTROL.
- DURING ALL PHASES OF CONSTRUCTION THE CONTRACTOR SHALL SWEEP AND REMOVE ALL DEBRIS TRACKED ONTO EXISTING ROADS. THE CONTRACTOR SHALL ALSO WATER THE SITE AND ADJOINING ROADS TO REDUCE CONSTRUCTION DUST. IF CONSTRUCTION OCCURS DURING RAINY WEATHER CONDITIONS, THEREIN DEBRIS DEBRIS TO BE TRACKED ONTO THE ROADS, THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN QUARRY SPALL CONSTRUCTION ENTRANCE, MINIMUM OF 20 FEET WIDE AND 50 FEET LONG.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS CONCERNING INSTALLATION OF UTILITIES AND THE DISPOSAL OF MATERIALS. ALL ASPHALT AND CONCRETE REMOVED FROM THIS SITE SHALL BE DISPOSED IN AN APPROVED DISPOSAL SITE, OBTAINED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR ALL FEES NECESSARY FOR THE HAUL AND DISPOSAL OF MATERIALS.
- ANY ORGANIC MATERIAL OR DELETERIOUS MATERIAL, AS DETERMINED BY THE CIVIL AND/OR GEOTECHNICAL ENGINEER, DISCOVERED DURING SUBGRADE EXCAVATION AND SITE PREPARATION SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR. FILL PLACED BELOW SUBGRADE SHALL BE GRAVEL BORROW COMPACTED TO A MINIMUM OF 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR).
- THE CONTRACTOR SHALL EMPLOY THE BEST POSSIBLE METHODS TO GRUB AND RAKE ROOTS FROM THE SITE SOLES. ORGANIC SOILS AND TOPSOILS SHALL BE STRIPPED FROM ALL IMPROVEMENT AREAS. THE EXCAVATED MATERIALS SHALL BE INSPECTED BY THE ENGINEER AND APPROVED PRIOR TO CONSTRUCTION OF THE SITE FILL. WITHIN THE ASPHALT AREA, PORTIONS OF THE EXCAVATED SUBGRADE THAT ARE SOFT OR INADEQUATE TO SUPPORT THE PROPOSED SECTION SHALL BE OVER-EXCAVATED TO EXPOSE FIRM, STABLE, NON-YIELDING SUBGRADE MATERIAL. ALL SUBGRADES SHALL BE PREPARED ACCORDING TO THE PROVISIONS OF SECTION 2-06, AND AS HEREIN MODIFIED.
- ALL LANDSCAPE AREAS SHALL BE FINE GRADED AS REQUIRED BY THE ENGINEER. THE FINISHED CONDITION OF LANDSCAPED AREAS SHALL BE NEATLY RAKED TO REMOVE DEBRIS LARGER THAN ONE INCH FROM THE TOP TWO INCHES AND SHALL BE PREPARED ACCORDING TO THE REQUIREMENTS OF THE PLANS.
- EXCAVATED MATERIAL SHALL NOT BE USED AS STRUCTURAL FILL UNDER ANY PORTION OF THE SITE UNLESS APPROVED BY THE ENGINEER.
- DURING PERIODS OF RAINFALL, THE CONTRACTOR SHALL PREVENT WATER FROM PONDING ON THE SUBGRADE OR ON THE PREPARED GRAVEL SUBSURFACE. THE CONTRACTOR IS REQUIRED TO PROVIDE ALL EQUIPMENT, LABOR, AND MATERIALS TO REMOVE ALL STANDING WATER FROM THE WORK AREA.

SITE PREPARATION

- CLASS B ASPHALT SHALL BE PLACED AT THE LOCATIONS AND DEPTHS INDICATED ON THE PLANS. CLASS B ASPHALT SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR) DURING COLD WEATHER CONDITIONS, OR AS DETERMINED BY THE ENGINEER. ALL TRUCKLOADS OF ASPHALT SHALL BE COVERED SO AS TO RETAIN HEAT. THE CONTRACTOR SHALL RETAIN LICENSED MATERIALS-TESTING CSS-1 AND SAND COAT. ASPHALT SURFACES WHICH EXHIBIT LOOSE MATERIAL OR POROUS CONDITIONS, AS DETERMINED BY THE ENGINEER, SHALL BE SEALED ACCORDING TO SECTION 5-04.3(10), CRACK SEALING, AT NO ADDITIONAL COST TO THE OWNER. WITHIN 24 HOURS PRIOR TO PAVING, SOIL RESIDUAL HERBICIDE SHALL BE APPLIED TO ALL GRAVEL SURFACES TO BE PAVED.
- NO ASPHALT PAVING OR ROLLING/COMPACTING OF ASPHALT IS ALLOWED AFTER DARK. ALL ROLLING SHALL BE COMPLETED BY SUNSET TIME.

MATERIALS

- AGGREGATE FOR GRAVEL BORROW SHALL COMPLY WITH SECTION 9-03.14(1) OF THE 2000 STANDARD SPECIFICATIONS. GRAVEL BORROW SHALL CONSIST OF WELL-GRADED SAND AND GRAVEL, CONFORMING TO THE REQUIRED SPECIFICATION. THE PERCENT PASSING THE NO. 200 SIEVE SHALL NOT EXCEED FIVE PERCENT.
- ALL GRAVEL BORROW IMPORTED TO THE SITE SHALL HAVE A CONSISTENT GRADE. PRIOR TO IMPORTING ANY GRAVEL BORROW MATERIAL, THE CONTRACTOR SHALL PROVIDE GRADATION TEST RESULTS TO THE ENGINEER FOR APPROVAL. TEST RESULTS SHALL BE SUPPLIED BY THE CONTRACTOR PER 1000 TONS OF IMPORTED MATERIAL.

UTILITY TRENCHING

- SURFACE OF PREPARED SUBGRADE PRIOR TO PLACEMENT OF FILL MATERIAL SHALL BE INSPECTED AND APPROVED BY THE ENGINEER.
 - COMPACTED GRAVEL BORROW FILL: COMPACTION TESTS SHALL BE CONDUCTED AT TWO FOOT VERTICAL INTERVALS.
 - FRESH SURFACE OF CRUSHED SURFACING BASE COURSE PRIOR TO ASPHALT PAVING.
 - FRESH SURFACE OF ASPHALT PAVING: COMPACTION TESTS SHALL BE CONDUCTED INSIDE THE BOUNDARY OF THE ASPHALT PAVING.
- ALL TEST RESULTS SHALL MEET OR EXCEED THE SPECIFICATIONS. ALL AREAS WHICH DO NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS SHALL BE REPLACED, RECOMPACTED, AND RETESTED AT NO ADDITIONAL COST TO THE OWNER.
- ASPHALT CONCRETE PAVEMENT SHALL CONFORM TO SECTION 5-04 OF THE 2000 STANDARD SPECIFICATIONS. THE FINAL GRADING OF CRUSHED SURFACING BASE COURSE WILL BE INSPECTED AND APPROVED BY THE ENGINEER PRIOR TO ASPHALT PAVING.
 - WITHIN 24 HOURS PRIOR TO PAVING, SOIL RESIDUAL HERBICIDE SHALL BE APPLIED TO ALL GRAVEL SURFACES TO BE PAVED. ALL ADJUTING EDGES OF EXISTING ASPHALT SHALL BE SAW CUT FULL DEPTH TO PROVIDE A NEAT STABLE EDGE FOR THE NEW ASPHALT. ALL SAW CUT FACES SHALL BE TACK COATED AS WELL AS ALL STRUCTURES THAT ABUT ASPHALT. THE SURFACE JOINT BETWEEN EXISTING AND NEW ASPHALT SHALL BE SEALED WITH HEAT-APPLIED CSS-1 AND SAND COAT. ASPHALT SURFACES WHICH EXHIBIT LOOSE MATERIAL OR POROUS CONDITIONS, AS DETERMINED BY THE ENGINEER, SHALL BE SEALED ACCORDING TO SECTION 5-04.3(10), CRACK SEALING, AT NO ADDITIONAL COST TO THE OWNER. WITHIN 24 HOURS PRIOR TO PAVING, SOIL RESIDUAL HERBICIDE SHALL BE APPLIED TO ALL GRAVEL SURFACES TO BE PAVED.
 - CLASS B ASPHALT SHALL BE PLACED AT THE LOCATIONS AND DEPTHS INDICATED ON THE PLANS. CLASS B ASPHALT SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR) DURING COLD WEATHER CONDITIONS, OR AS DETERMINED BY THE ENGINEER. ALL TRUCKLOADS OF ASPHALT SHALL BE COVERED SO AS TO RETAIN HEAT. THE CONTRACTOR SHALL RETAIN LICENSED MATERIALS-TESTING CSS-1 AND SAND COAT. ASPHALT SURFACES WHICH EXHIBIT LOOSE MATERIAL OR POROUS CONDITIONS, AS DETERMINED BY THE ENGINEER, SHALL BE SEALED ACCORDING TO SECTION 5-04.3(10), CRACK SEALING, AT NO ADDITIONAL COST TO THE OWNER. WITHIN 24 HOURS PRIOR TO PAVING, SOIL RESIDUAL HERBICIDE SHALL BE APPLIED TO ALL GRAVEL SURFACES TO BE PAVED.
 - NO ASPHALT PAVING OR ROLLING/COMPACTING OF ASPHALT IS ALLOWED AFTER DARK. ALL ROLLING SHALL BE COMPLETED BY SUNSET TIME.

STORM DRAINAGE

- THE FOLLOWING MATERIALS ARE ACCEPTABLE FOR USE ON THE STORM SEWER:
 - CLASS 50 DUCTILE IRON CONFORMING TO SECTION 9-05.13 OF THE 2000 STANDARD SPECIFICATIONS AND ANSI/AWWA C151/A21.51, CAST IN 18-FOOT NOMINAL LENGTH. DIAMETER AS SPECIFIED ON THE PLANS. ALL PIPE AND FITTINGS SHALL BE CEMENT MORTAR LINED. ALL PIPE JOINTS SHALL BE NON-RESTRAINED WITH RUBBER GASKET, FIRM ON TIGHT TYPE, OR MECHANICAL JOINTS, MEETING AWWA SPECIFICATIONS.
 - PVC STORM PIPE UP TO 15 INCHES IN DIAMETER SHALL CONFORM TO SECTION 9-05.12(1) OF THE 2000 STANDARD SPECIFICATIONS, MEETING THE REQUIREMENTS OF ASTM D-3034, SDR-35 OR ASTM F-679. PVC PIPE SHALL BE USED FOR ALL PORTIONS OF THE ROOF DRAIN SYSTEM.
- ALL PIPES SHALL HAVE GASKETED JOINTS.
- STORM CATCH BASINS, AS INDICATED ON THE CIVIL PLANS, SHALL CONFORM TO TYPE C CATCH BASIN PER W.S.D.O.T. STANDARD PLAN B-1. CATCH BASINS SHALL CONFORM TO SECTION 7-06 OF THE 2000 STANDARD SPECIFICATIONS. THE CONNECTION TO CATCH BASINS SHALL BE NEATLY GROUTED INSIDE AND OUTSIDE OF THE STRUCTURE. FLUSH WITH THE STRUCTURE WALL. PVC PIPE CONNECTIONS TO CONCRETE CATCH BASINS AND MANHOLES SHALL BE MADE USING PVC SAND COLLARS.
- AT THE END OF ALL SITE CONSTRUCTION, THE CONTRACTOR SHALL FLUSH OUT ALL DEBRIS FROM THE STORM SYSTEM INSTALLED ON-SITE. MATERIAL FLUSHED FROM THE STORM SYSTEM SHALL BE DISPOSED OF BY THE CONTRACTOR AT AN APPROVED DISPOSAL SITE.
- CLEANOUTS WITHIN NON-ASPHALT AND NON-CONCRETE AREAS SHALL BE INSTALLED TO MATCH THE FINISHED GRADES. CLEANOUTS WITHIN ASPHALT OR CONCRETE AREAS SHALL BE FLUSH WITH THE ASPHALT OR CONCRETE SURFACE. THE TOP OF THE CLEANOUT SHALL BE WITHIN SIX-INCHES OF THE BOTTOM INSIDE OF THE ACCESS COVER.
- THE CONTRACTOR SHALL CONNECT ALL DOWNSPOUTS ON THE PROPOSED BUILDING TO THE DRAINAGE SYSTEM WITH PVC PIPE CONFORMING TO SECTION 9-05.12(1) OF THE STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS TO CONNECT THE ROOF DRAINS TO THE BUILDING DOWNSPOUTS.

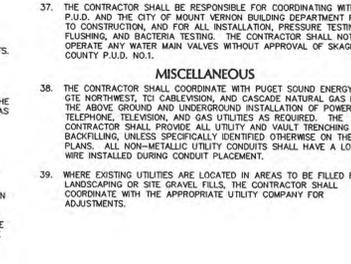
CONTROL BUILDING SANITARY SEWER

- THE LOCATION OF THE SANITARY SEWER SERVICE PIPING IS INDICATED ON THE PLANS. THE NEW SEWER SERVICE SHALL BE INSTALLED AT THE SLOPES INDICATED ON THE CIVIL PLANS WITH CLEANOUT ASSEMBLIES AS SHOWN.
- 4" AND 6" DIA. GRAVITY SANITARY SEWER PIPE SHALL BE PVC CONFORMING TO ASTM D-3034, SDR-35 AND SECTION 9-05.12(1). JOINTS SHALL BE BELL AND SPIGOT WITH RUBBER GASKET. MATERIALS AND CONSTRUCTION SHALL CONFORM TO SECTIONS 7-17, 7-18, AND 7-19 OF THE STANDARD SPECIFICATIONS.
- AIR PRESSURE TESTING SHALL BE PERFORMED BY THE CONTRACTOR ON ALL GRAVITY BUILDING SEWER LINES. THE PRESSURE TEST SHALL BE PERFORMED AT FIVE PERCENT OVER THE DESIGN PRESSURE. THE PRESSURE GAUGE DROP, ADEQUATE TIME (TWO MINUTES MINIMUM) SHALL ELAPSE BEFORE THE PRESSURE TEST IS PERFORMED TO ALLOW THE PRESSURE TO STABILIZE. ALL PRESSURE TESTING SHALL BE WITNESSED BY THE ENGINEER AND A CITY OF MOUNT VERNON REPRESENTATIVE.

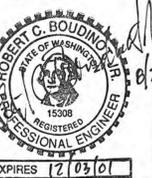
MISCELLANEOUS

- THE CONTRACTOR SHALL COORDINATE WITH PIUGET SOUND ENERGY, GTE NORTHWEST, TCI CABLEVISION, AND CASCADE NATURAL GAS FOR THE ABOVE GROUND AND UNDERGROUND INSTALLATION OF POWER, TELEPHONE, TELEVISION, AND GAS UTILITIES AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ALL UTILITY AND VAULT TRENCHING AND BACKFILLING, UNLESS SPECIFICALLY IDENTIFIED OTHERWISE ON THE PLANS. ALL NON-METALLIC UTILITY CONDUITS SHALL HAVE LOCATE WIRE INSTALLED DURING CONDUIT PLACEMENT.
- WHERE EXISTING UTILITIES ARE LOCATED IN AREAS TO BE FILLED FOR LANDSCAPING OR SITE GRAVEL FILL, THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR ADJUSTMENTS.

AIR-LOCK CATCH BASIN DETAIL



AIR-LOCK CATCH BASIN DETAIL
NO SCALE



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SHEET DESCRIPTION

PUMP STATION DETAILS

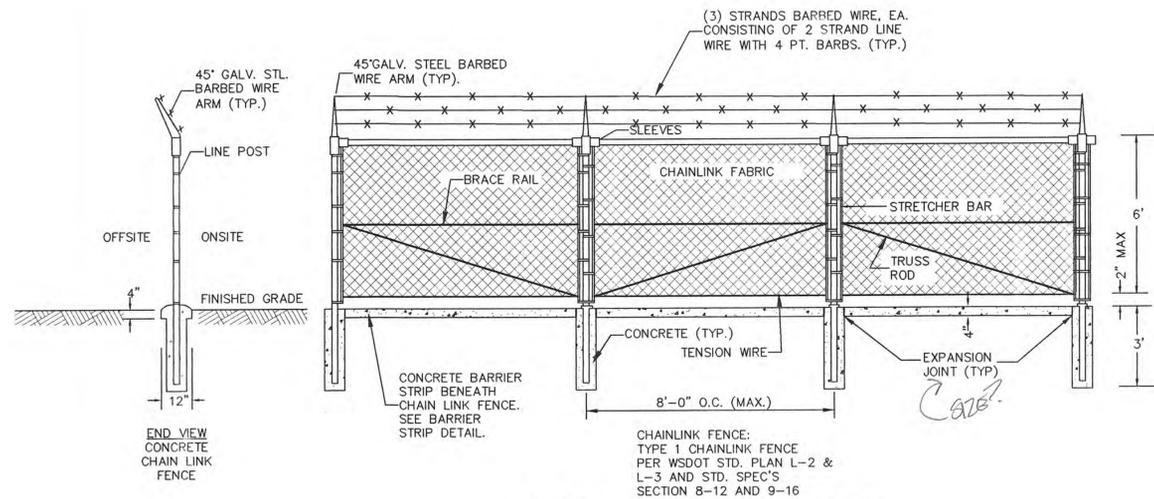
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DESIGNED BY: CL
CHECKED BY: RCB
FIELD BOOK/PAGE:
DATE: AUGUST 2000

PROJECT

**CITY OF MOUNT VERNON
SOUTH SERVICE AREA
SEWER SYSTEM IMPROVEMENTS**

DWG NO. DETPS-7
JOB NO. 99099
SHEET
PST of 11

NO.	DATE	REVISIONS	BY	APVD



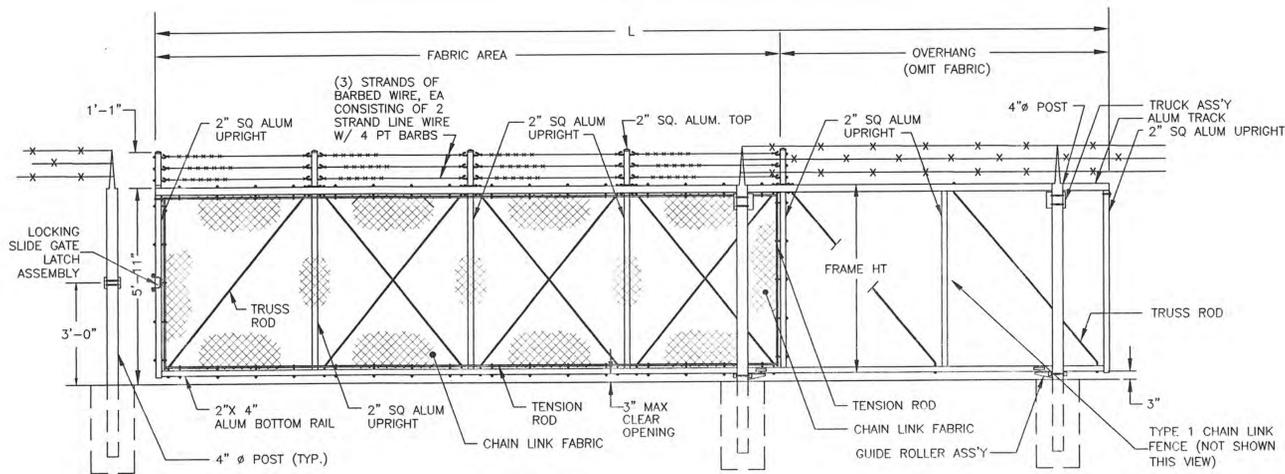
TYPICAL CHAIN-LINK FENCE DETAIL
NO SCALE

OPENING	LENGTH (L)	GATE POSTS (G)	BAYS	OVERHANG
1/2 POST FACE TO 1/2 POST FACE	O/S DIM OF GATE LEAF	O/S POST FACE TO O/S POST FACE	NUMBER OF BAYS WITH CHAIN LINK	NUMBER OF BAYS W/O CHAIN LINK
24'-0"	36'-3"	12'-0"	(3) THREE	(2) TWO

GATE ELEVATION - (4) BAYS SHOWN FOR EXAMPLE ONLY

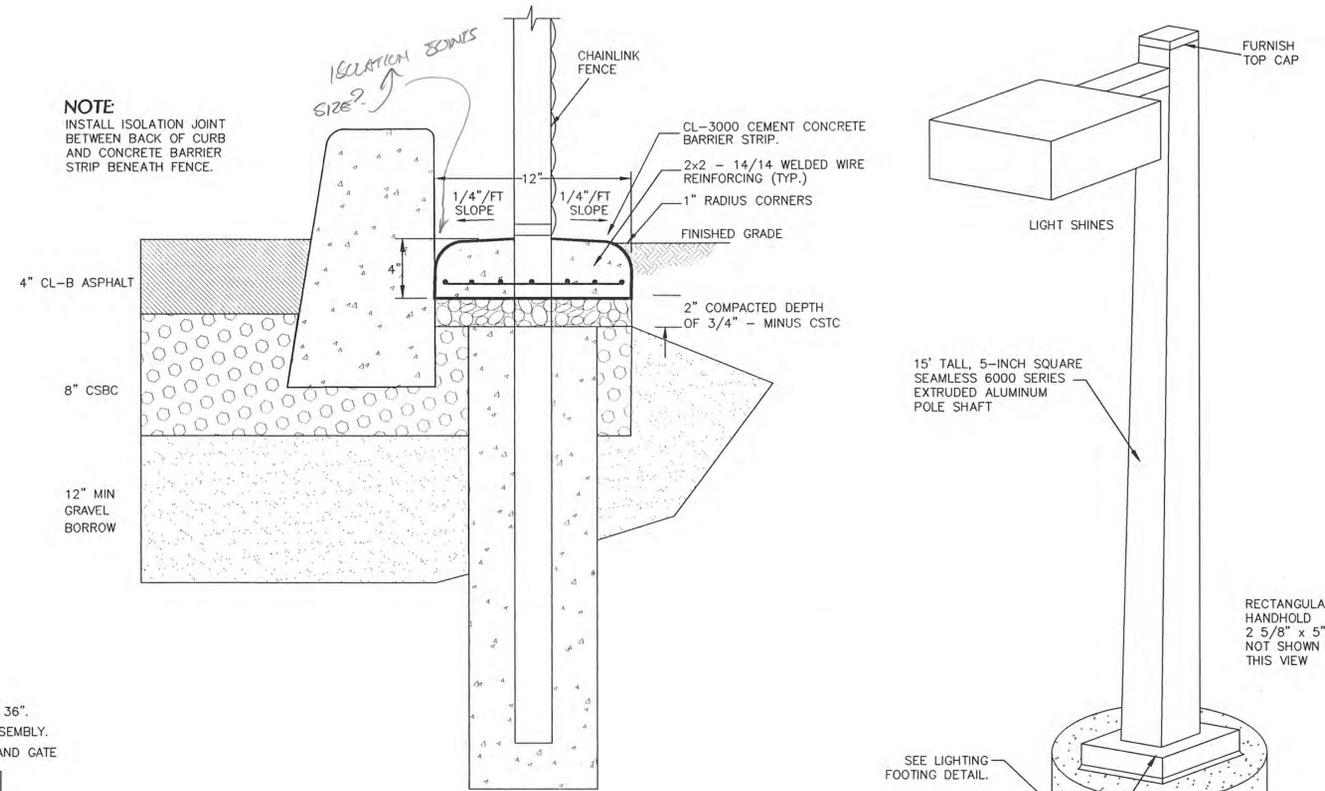
- NOTES:
- SINGLE CANTILEVERED SLIDING GATE SHALL BE DURAGLIDE II BY ANCHOR FENCE COMPANY OR APPROVED EQ.
 - FOOTING WIDTH TO BE (4)X POST WIDTH. MIN DEPTH TO BE 36".
 - GATES WILL BE MANUALLY OPERATED WITH LOCKING LATCH ASSEMBLY.
 - FENCE INSTALLER SHALL SUBMIT SHOP DRAWINGS OF FENCE AND GATE TO ENGINEER FOR APPROVAL.

NOM HEIGHT (H)	OPENING
6'-0"	23'-0" THROUGH 30'-0"

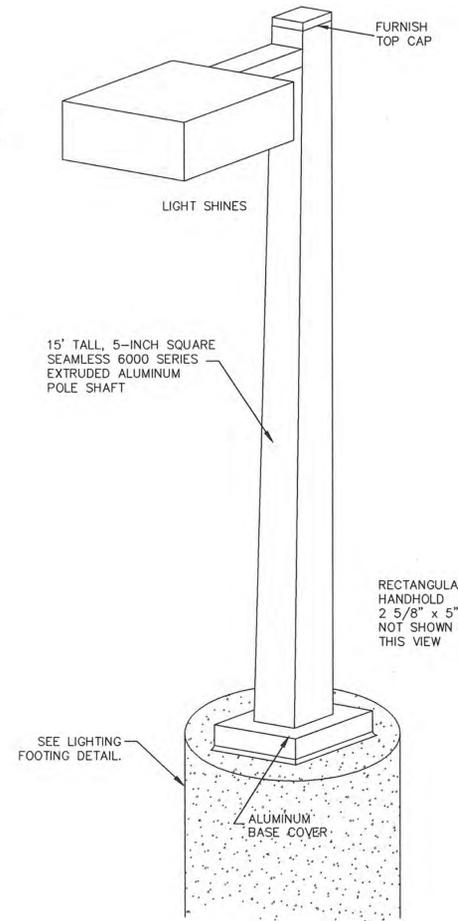


NOTE: 4 GATE BAYS SHOWN FOR EXAMPLE ONLY
SINGLE CANTILEVERED SLIDING GATE DETAIL
NO SCALE

TALK TO WALT ABOUT PROBLEMS/KEY SPEC 8-12-22(7) PG 0-52

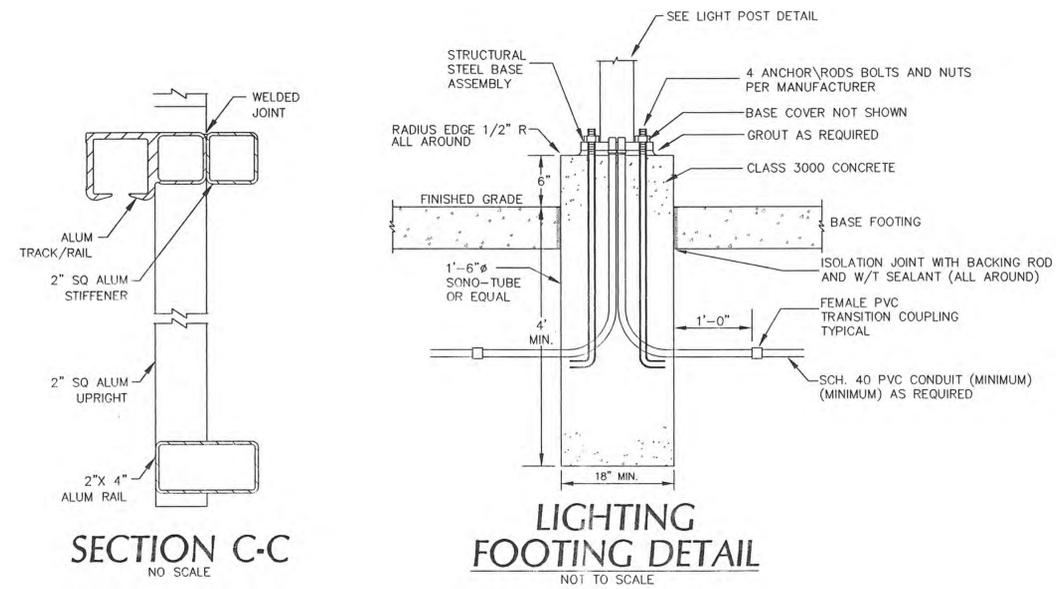


FENCING BARRIER STRIP DETAIL
NO SCALE



GARDCO MODEL EH 10, 14" SIZE, HORIZONTAL LAMP, 204 OR 240V, 5" SQUARE ANODIZED POLE. PROVIDE ACTIVATION/DEACTIVATION CONTROL BY CONTACT TO PHOTOCONTROL FOR EXTERIOR BUILDING LIGHTS.

LIGHT POST DETAIL
NOT TO SCALE



SECTION C-C
NO SCALE

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SHEET DESCRIPTION

PUMP STATION
SITE DETAILS

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PROJECT

CITY OF MOUNT VERNON
SOUTH SERVICE AREA
SEWER SYSTEM IMPROVEMENTS

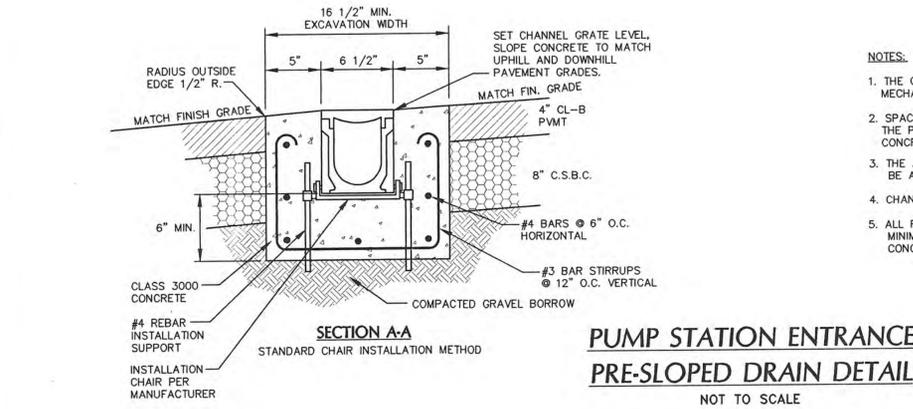
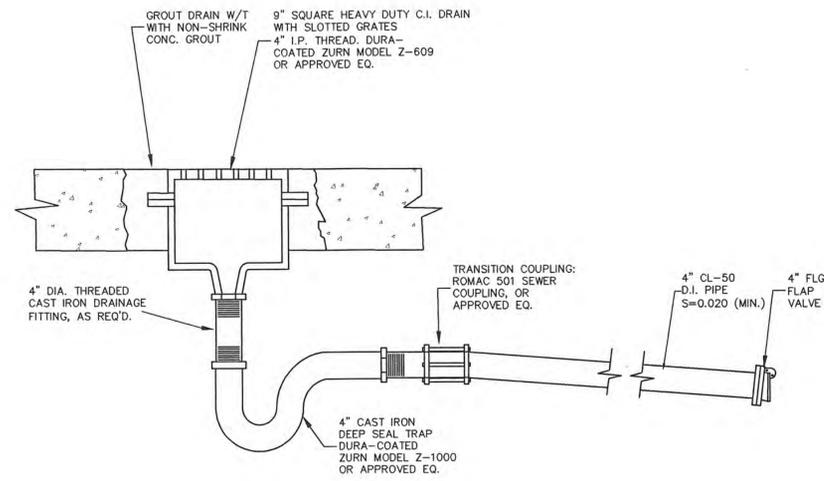
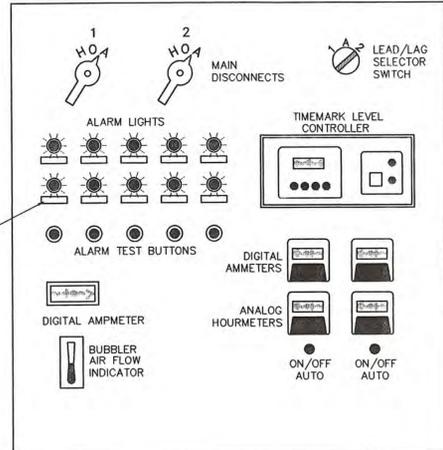
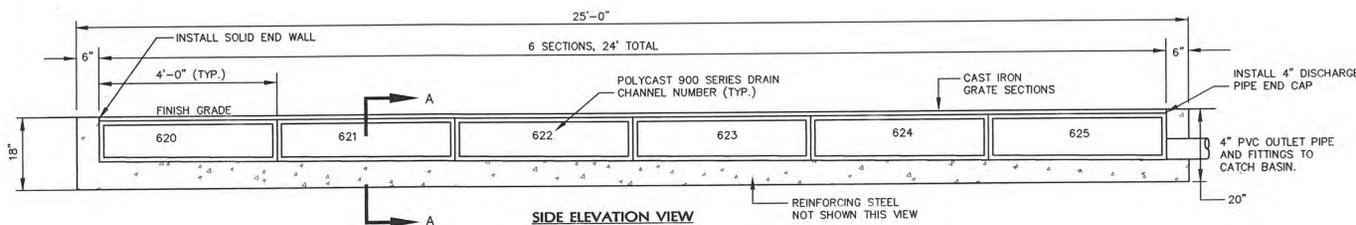
DWG NO. DETPS-8
JOB NO. 99099
SHEET PSB OF 11



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8/21/00

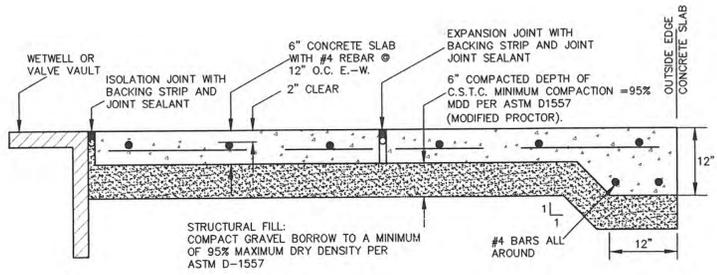
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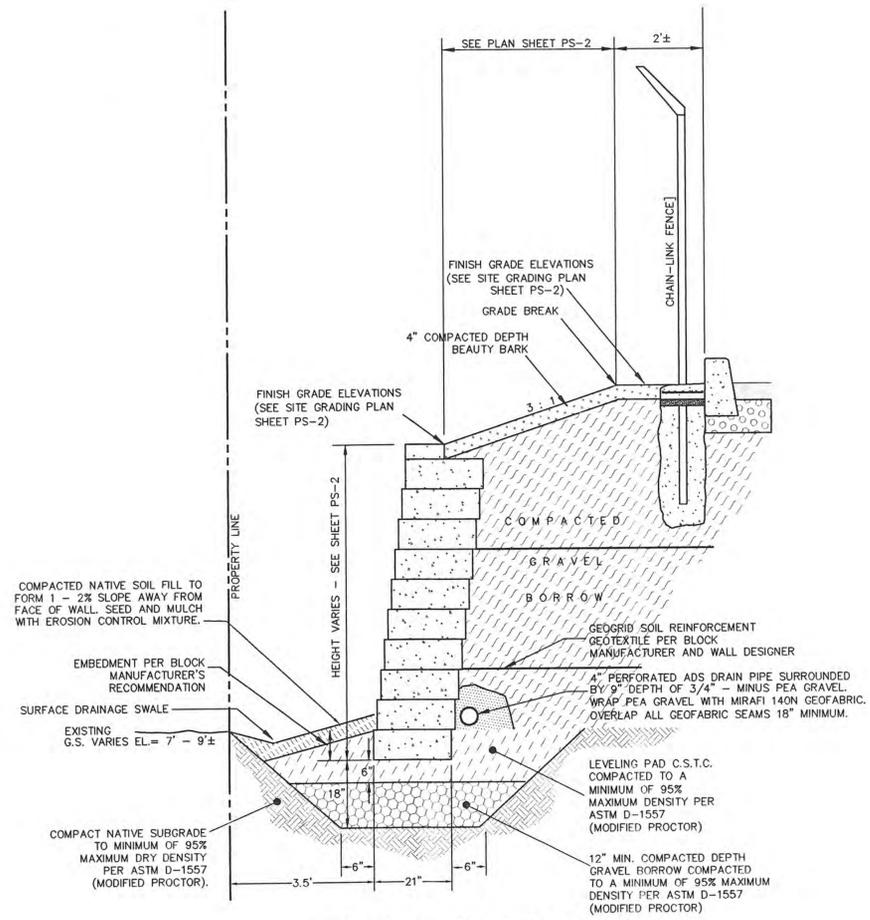
- NOTES:**
1. THE GRATES MUST BE SECURED WITH THE LOCK DOWN MECHANISM WHEN THE SYSTEM IS IN USE.
 2. SPACERS MUST BE INSTALLED BETWEEN THE GRATE AND THE POLYCAST CHANNEL ON ONE SIDE PRIOR TO POURING CONCRETE, TO ALLEVIATE TIGHT FITTING GRATES.
 3. THE AVERAGE SLOPE OF EACH SLOPED CHANNEL SHALL BE A MINIMUM OF 0.64%.
 4. CHANNEL AND GRATE SYSTEM SHALL BE H-20 RATED.
 5. ALL REINFORCING BARS SHALL MAINTAIN 2 INCHES MINIMUM CLEAR DISTANCE TO OUTSIDE FACE OF CONCRETE.

SAMPLE PUMP CONTROL PANEL LAYOUT
NOT TO SCALE

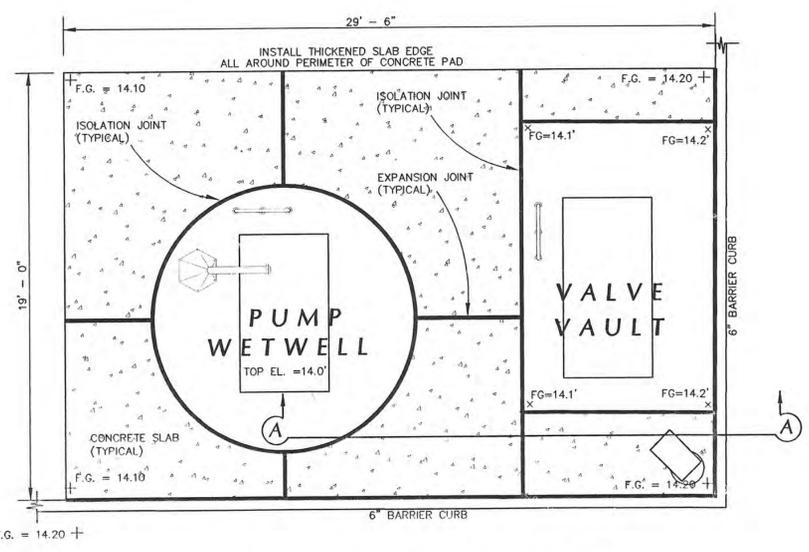
TYPICAL VAULT DRAIN DETAIL
NOT TO SCALE



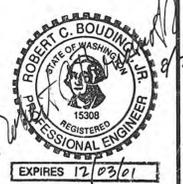
SECTION A-A CONCRETE PAD
NOT TO SCALE



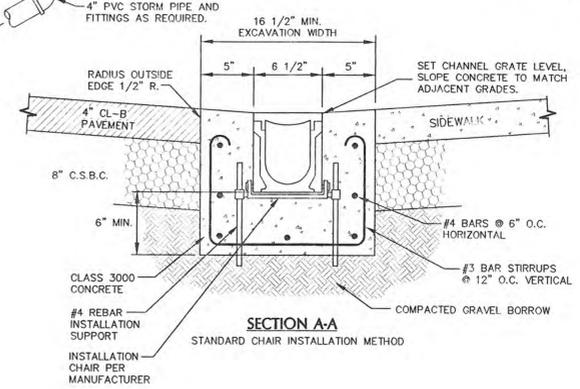
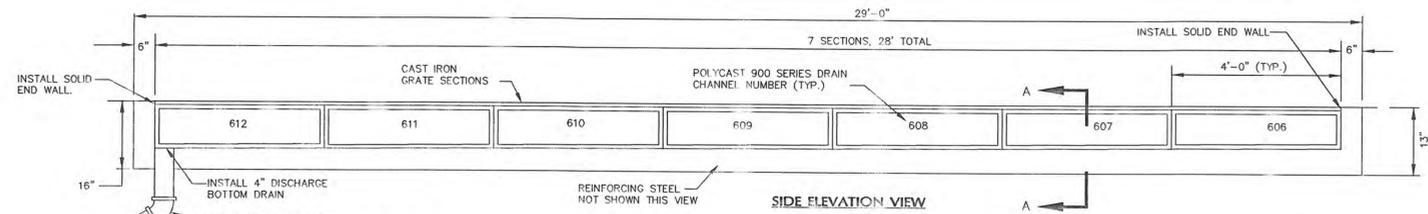
RETAINING WALL SECTION
NOT TO SCALE



PLAN VIEW - CONCRETE PAD
NOT TO SCALE

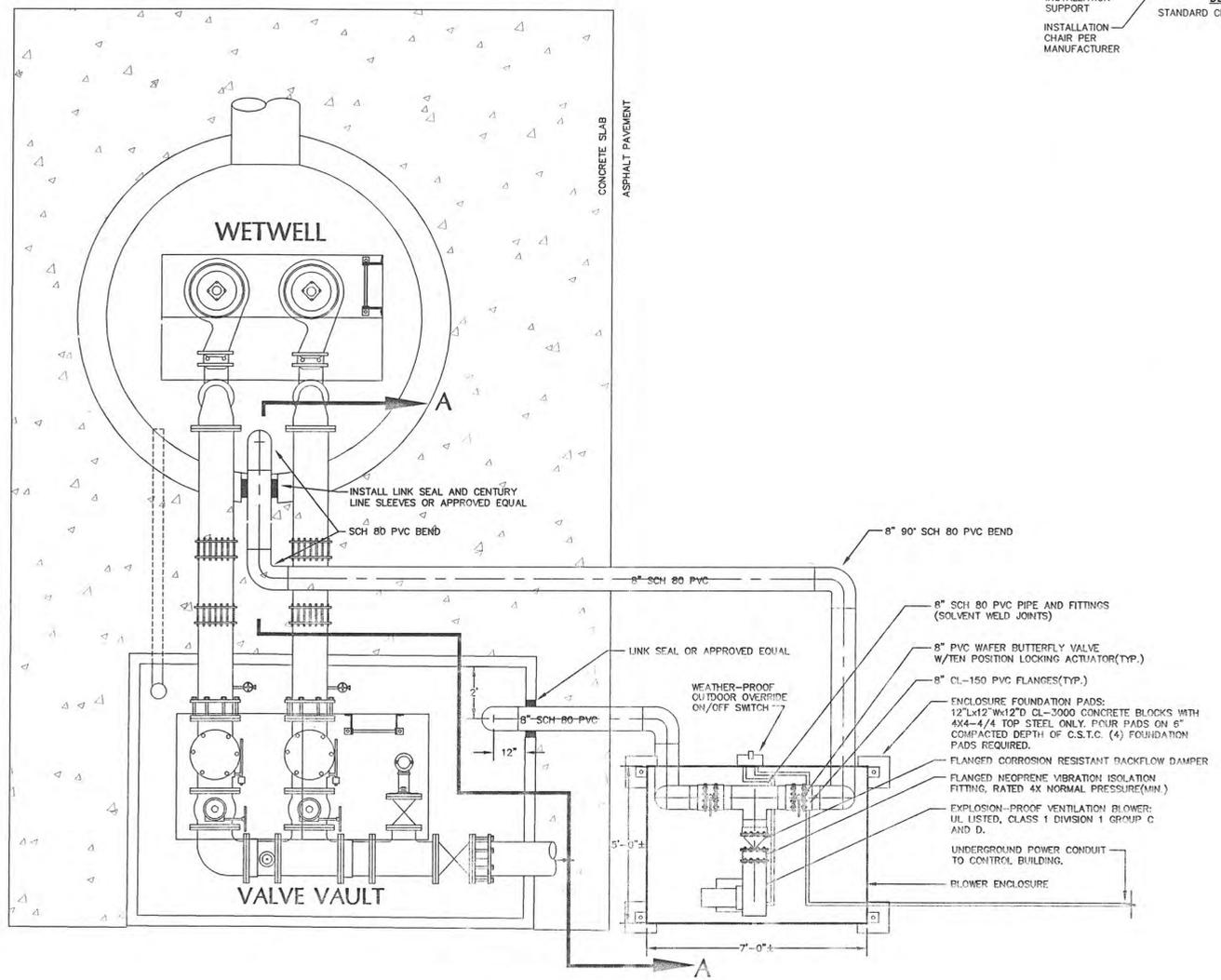


NO.		DATE	REVISIONS	BY	APVD	<p>Leonard, Boudinot & Skodje Inc. PROFESSIONAL ENGINEERS & LAND SURVEYORS 603 South First Street; P.O. Box 1228 Mount Vernon, WA 98273 Tel: 360-336-5751 Fax: 360-336-3981</p>	<p>SHEET DESCRIPTION</p> <p>SITE DETAILS PUMP STATION SITE</p>	<p>SCALE: AS NOTED DRAWN BY: SCP DESIGNED BY: CL CHECKED BY: FIELD BOOK/PAGE: DATE: AUGUST 2000</p>	<p>PROJECT</p> <p>CITY OF MOUNT VERNON SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENTS</p>	<p>DWG NO. DETPS-9 JOB NO. 99099 SHEET PS9 of 11</p>

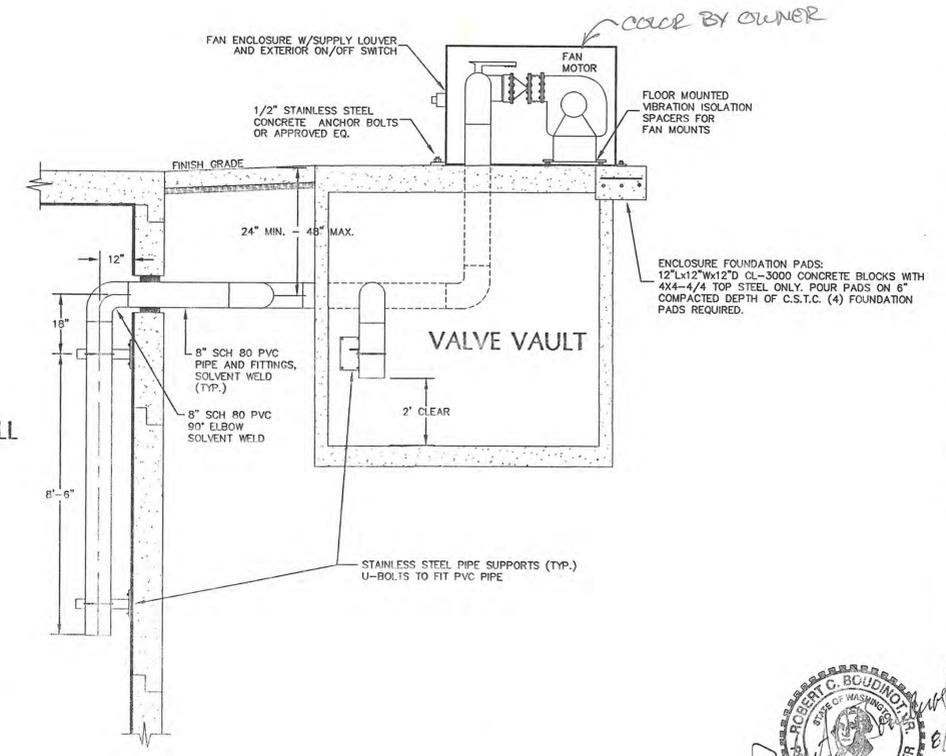


- NOTES:
1. THE GRATES MUST BE SECURED WITH THE LOCK DOWN MECHANISM WHEN THE SYSTEM IS IN USE.
 2. SPACERS MUST BE INSTALLED BETWEEN THE GRATE AND THE POLYCAST CHANNEL ON ONE SIDE PRIOR TO POURING CONCRETE, TO ALLEVIATE TIGHT FITTING GRATES.
 3. THE AVERAGE SLOPE OF EACH SLOPED CHANNEL SHALL BE A MINIMUM OF 0.64%.
 4. CHANNEL AND GRATE SYSTEM SHALL BE H-20 RATED.
 5. ALL REINFORCING BARS SHALL MAINTAIN 2 INCHES MINIMUM CLEAR DISTANCE TO OUTSIDE FACE OF CONCRETE.

**SOUTH SIDE CONTROL BUILDING
PRE-SLOPED TRENCH DRAIN DETAIL**
NOT TO SCALE



PLAN VIEW
SCALE: N.T.S.



SECTION A - A
SCALE: N.T.S.



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			RCB	

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SHEET DESCRIPTION
**AIR VENTILATION SYSTEM
AND TRENCH DRAIN DETAILS**

SCALE: AS SHOWN
DRAWN BY: PRL
DESIGNED BY: CCL
CHECKED BY: RCB
FIELD BOOK/PAGE:
DATE: AUGUST 2000

PROJECT
**CITY OF MOUNT VERNON
SOUTH SERVICE AREA
SEWER SYSTEM IMPROVEMENTS**

DWG NO. DETPS-11.DWG
JOB NO. 99099
SHEET PS11 OF 11

STRUCTURAL NOTATION

SHOP DRAWINGS: THE CONTRACTOR OR BUILDER IS REQUIRED TO SUBMIT SHOP DRAWINGS TO THE STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND ERECTION OF THE STRUCTURAL STEEL PORTIONS OF THE PROJECT.

INSPECTIONS: SPECIAL INSPECTIONS MUST BE DONE IF REQUIRED BY THE DRAWINGS OR BY THE LOCAL BUILDING OFFICIAL. SPECIAL INSPECTIONS MUST BE BY WABO CERTIFIED INSPECTORS. SPECIAL INSPECTIONS ARE TO BE COORDINATED BY CONTRACTOR, BUT HIRED BY AND PAID FOR BY OWNER/DEVELOPER.

BASIS OF DESIGN - APPLICABLE CODES: THIS DESIGN IS BASED ON THE UBC 1997 AND ASCE - NINTH EDITION. ALL CONSTRUCTION SHALL ADHERE TO THE MINIMUM REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA AND STATE LABOR AND INDUSTRIES STANDARDS. CONTRACTOR ASSUMES FULL RESPONSIBILITY AS TO CONSTRUCTION METHODS USED, SAFETY PROVISIONS EMPLOYED, OR THE FINISHED AS-BUILT CONDITION OF THE STRUCTURE AND RELATED SYSTEMS.

COMPETENT CONSTRUCTION PERSONNEL: ONLY COMPETENT PERSONNEL FAMILIAR WITH CONSTRUCTION AND SAFETY PRACTICES GERMANE TO THE PROJECT SHOWN HEREIN SHOULD BE EMPLOYED TO ASSEMBLE AND CONSTRUCT THE WORK.

TEMPORARY SUPPORT AND BRACING: GENERAL. PROVIDE ADEQUATE TEMPORARY SUPPORT TO ALL WALLS, ROOFS, AND FLOORS DURING CONSTRUCTION. CONTRACTOR OR OWNER SHALL CHECK ALL TEMPORARY-SUPPORTING DEVICES WITH THE ENGINEER OR OTHER QUALIFIED PERSONNEL. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADEQUACY OF ALL TEMPORARY AND/OR PERMANENT SUPPORT SYSTEMS.

RETAINING WALLS. DO NOT BACKFILL AGAINST RETAINING WALLS THAT ARE TO BE CONNECTED TO HORIZONTAL FLOOR DIAPHRAGMS UNTIL SUCH HORIZONTAL DIAPHRAGMS ARE IN PLACE AND NAILED OFF.

CONFLICTS OR ERRORS IN PLANS: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIT CONDITIONS IN THE FIELD. SHOULD THE CONTRACTOR OR FABRICATOR NOTE ANY CONFLICTS OR ERRORS IN THE PLANS AND/OR SPECIFICATIONS, THEY SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER. IF ANY QUESTIONS ARISE DURING CONSTRUCTION PERTAINING TO ANY STRUCTURAL MATTER, THE ENGINEER SHALL BE CONSULTED IMMEDIATELY.

FOOTINGS, FOUNDATIONS, SLABS ON GRADE: GEOTECHNICAL REPORT. SOILS ANALYSIS AND GEOTECHNICAL ENGINEERING ARE NOT A SPECIALTY OF THE STRUCTURAL ENGINEER. THE STRUCTURAL ENGINEER DEPENDS ON OTHERS FOR THE PROVISION OF SOILS DATA, WHICH INCLUDES BUT IS NOT LIMITED TO: ALLOWABLE BEARING CAPACITY, LIQUEFACTION POTENTIAL, SLOPE STABILITY, ACTIVE AND PASSIVE LATERAL PRESSURES, INTERNAL FRICTION ANGLE, AND COHESION. THE STRUCTURAL ENGINEER STRONGLY RECOMMENDS THAT A QUALIFIED GEOTECHNICAL ENGINEER FOR ALL LAND BASED CONSTRUCTION PROJECTS PERFORM A GEOTECHNICAL REPORT.

FOUNDATIONS, FOOTINGS ON SOIL: GENERAL. ALL FOOTINGS TO BEAR ON UNDISTURBED EXISTING SOIL, UNLESS OTHERWISE SHOWN IN THE PLANS OR CALCULATIONS. ALL ORGANIC AND DELETERIOUS MATERIAL BENEATH THE FOOTINGS, FOUNDATIONS AND SLABS TO BE REMOVED AND REPLACED WITH GRANULAR FILL COMPACTED TO 95% RELATIVE COMPACTION. BOTTOM OF FOOTINGS TO BE BELOW LOCALLY PRESCRIBED FROST ZONE, NOT LESS THAN 12". REPLACE ALL OVER-EXCAVATED AREAS WITH GRANULAR MATERIAL COMPACTED TO 95% RELATIVE COMPACTION RC. ALL FOOTINGS ARE PROPORTIONED AND DESIGNED FOR 2,000 PSF ALLOWABLE BEARING PRESSURE, UNLESS OTHER INFORMATION IS SUPPLIED BY A GEOTECHNICAL CONSULTANT.

SLABS ON GRADE. SUBGRADE BELOW SLABS SHALL BE SIMILAR TO THE ABOVE, EXCEPT THAT 92% RELATIVE COMPACTION IS ACCEPTABLE. A LAYER OF FREE DRAINING MATERIAL AND A SUITABLE VAPOR BARRIER DESIGNED BY OTHERS ARE RECOMMENDED FOR ALL INTERIOR SLABS.

CONTINUOUS FOOTINGS, GENERAL. MIN. THICKNESS OF FOOTING = 10" UNLESS OTHERWISE SPECIFIED. FOOTING WIDTH PER CALCULATIONS, OR IF NOT IN CALCULATIONS, PER MINIMUM UBC. UNLESS OTHERWISE SPECIFIED, USE TWO ROWS OF #4 REBAR CONTINUOUS AT THE FOOTING BOTTOM AND ONE ROW OF #5 AT THE TOP OF FOOTING OR STEM WALL. STEM WALLS SHALL BE 8" MIN. THICK, UNLESS OTHERWISE SHOWN, AND SHALL HAVE #4 CONTINUOUS AT 24" OC, HORIZONTALLY, AND #4 VERTICAL BARS AT 48" OC. VERTICAL BARS SHALL BE ALTERNATIVELY BENT 6" MINIMUM INTO FOOTING. STEM WALLS MAY RETAIN UP TO 2 FEET OF EARTH WITHOUT ENGINEERING ANALYSIS. FOR STEM WALLS RETAINING OVER 2 FEET OF EARTH, CONTACT ENGINEER. JOINT BETWEEN STEM WALL AND FOOTING MAY BE A COLD JOINT, PROVIDED THE JOINT IS CLEAN AND FREE OF DEBRIS AND LANTACE PRIOR TO THE STEM WALL POUR.

FOOTING DRAINS. FOOTING DRAINS, WITH WASHED DRAIN ROCK EXTENDING TO WITHIN ONE FOOT OF TOP OF FINISHED GRADE, SHALL BE PROVIDED AT THE BASE OF ALL FOOTINGS AND RETAINING WALLS WHICH WILL HAVE EARTH PLACED AGAINST THEM. FOOTING DRAINS SHALL BE 4" PERFORATED PIPE ROUTED DOWNGRADIENT TO DAYLIGHT, UNLESS OTHERWISE SPECIFIED.

POURED CONCRETE: STRENGTH, MIX, PLACING. ALL CONCRETE, UNLESS OTHERWISE SPECIFIED IN THE PLANS OR CALCULATIONS, SHALL ATTAIN A 28 DAY STRENGTH OF FC = 2,500 PSI, AND SHALL CONTAIN NOT LESS THAN 5 SACKS OF CEMENT PER CUBIC YARD. MAXIMUM WATER/CEMENT RATIO SHALL BE 0.54, AND MAXIMUM SLUMP = 4". MAX. AGGREGATE SIZE = 7/8". MIXING AND PLACING OF ALL CONCRETE AND SELECTION OF MATERIAL TO BE IN ACCORDANCE WITH UBC AND ACI 304 LATEST EDITIONS. PROVIDE 5% AIR ENTRAINING IN ALL CONCRETE EXPOSED TO THE EARTH OR WEATHER.

WATERPROOF CONCRETE. FOR CONCRETE APPLICATIONS THAT ARE REQUIRED TO BE WATERPROOF, THE CONTRACTOR SHALL USE KIM ADMIXTURE BY KRYTOL INTERNATIONAL INC. (OR PRE APPROVED EQUAL). CONTRACTOR SHALL FOLLOW MANUFACTURER'S RECOMMENDATIONS IN USE OF KIM. NO OTHER ADMIXTURES SHALL BE ALLOWED UNLESS APPROVED IN ADVANCE BY THE ENGINEER.

CONCRETE REINFORCING: STRENGTH, SPLICING, BENDING. REINFORCING BARS REBAR SHALL BE GRADE 60 Fy = 60 KSI, EXCEPT BARS TO BE FIELD BENT OR WELDED SHALL BE GRADE 40 Fy = 40 KSI. LAP ALL BARS 30 BAR DIAMETERS, OR AS SPECIFIED ELSEWHERE. ALL REINFORCING SHALL BE DETAILED, BOLSTERED AND SUPPORTED IN ACCORDANCE WITH APPLICABLE ACI CODE. BARS SHALL BE BENT WITH MINIMUM 6-BAR DIAMETER RADIUS FOR SIZES UP TO AND INCLUDING NO. 8, AND 8-BAR DIAMETER RADIUS FOR BARS LARGER THAN NO. 8. TIES. FOR REINFORCED CONCRETE BEAMS, WALLS, COLUMNS, PILASTERS, AND ANY OTHER ELEMENT WHEREIN THE MAIN REINFORCEMENT BARS ARE ENVELOPED WITH TIE BARS A.K.A. STIRRUPS, THE TIES SHALL BE BENT WITH THE LEAST RADIUS OF BEND SO AS TO ENVELOP THE MAIN REBARS WITHOUT THE TIE BARS CRACKING OR BREAKING. THE TIE BAR ENDS SHALL OVERLAP THE MAIN BARS AT LEAST ONE BAR DIAMETER. THE DIAMETER OF BEND SHALL NOT BE SMALLER THAN THE DIAMETER OF THE MAIN BARS IN CONTACT.

SLABS. REINFORCEMENT IN SLABS ON GRADE WHICH WILL BE SUBJECTED TO VEHICULAR TRAFFIC SHALL BE #4 CENTERED IN A 6" MINIMUM SLAB, AT 16" O.C. EACH WAY, UNLESS OTHERWISE SHOWN HEREIN OR IN THE PLANS. SUCH SLABS SHALL HAVE THICKENED EDGES CONSISTING OF A 12" X 12" MONOLITHIC FOOTING WITH 2 EA. #4 CONTINUOUS AT THE TOP AND BOTTOM OF THE FOOTING.

REINFORCEMENT FOR SLABS WHICH WILL NOT BE SUBJECTED TO VEHICULAR TRAFFIC SHALL BE WWF, 6"X6"X10GA, OR #3 AT 24" O.C. EACH WAY, CENTERED IN A 4" SLAB.

WELDED WIRE FABRIC. WELDED WIRE FABRIC WWF SHALL BE ASTM A-185. SPLICE BY LAPPING ONE MESH 4" AT ALL SIDES.

HOOKS. FOR 180 DEGREE HOOKS, PROVIDE A MINIMUM OF 2-1/2 INCHES OR 4 BAR DIAMETERS EXTENDING BEYOND THE BEND. FOR 90 DEGREE HOOKS, PROVIDE A MINIMUM OF 12 INCHES EXTENDING BEYOND THE BEND.

COVER. PROVIDE THE FOLLOWING MINIMUM COVER: FOOTINGS AND OTHER UNFORMED SURFACES, DISTANCE FROM THE BAR TO EARTH FACE...3" FORMED SURFACES IN DIRECT CONTACT WITH EARTH2" SURFACES EXPOSED TO WEATHER.....1-1/2"

MASONRY: STRENGTH, BOND, MORTAR, GROUT. CONCRETE MASONRY UNITS (CMU) SHALL BE PLACED IN RUNNING BOND UNLESS OTHERWISE SHOWN. MINIMUM COMPRESSIVE STRENGTH OF INDIVIDUAL UNITS SHALL BE 2500 PSI, AND THE STRENGTH OF MASONRY, FM SHALL BE NOT LESS THAN 2500 PSI. MORTAR SHALL BE TYPE M. GROUT SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 2,000 PSI. IN 28 DAYS. MAXIMUM HEIGHT OF GROUT POUR SHALL BE FOUR FEET UNLESS CLEAN OUTS ARE PROVIDED, AND SPECIAL PERMISSION BY THE ENGINEER HAS BEEN OBTAINED.

SPECIAL INSPECTION. SPECIAL INSPECTION IS NOT REQUIRED, UNLESS SPECIFICALLY SHOWN IN THE PLANS. IF SPECIAL INSPECTION IS REQUIRED, THE ENGINEER, OR HIS REPRESENTATIVE SHALL BE PRESENT DURING ALL MASONRY AND RELATED REBAR OPERATIONS.

EXPANSION JOINTS. EXPANSION JOINTS SHALL BE PROVIDED WHERE SHOWN ON THE PLANS, BUT IN NO CASE AT LESS THAN 25-FOOT INTERVALS ALONG THE RUNNING LENGTH OF A WALL. THERE SHALL BE NO REBAR, GROUT, OR MORTAR ACROSS ANY EXPANSION JOINTS. EXPANSION JOINTS SHALL MATCH EXISTING JOINT WIDTH, BUT IN NO CASE BE LESS THAN 0.5 INCHES, NOR GREATER THAN 1 INCH IN WIDTH. ALL EXPANSION JOINTS SHALL BE FILLED WITH BACKER ROD AND HIGH QUALITY SEALANT SUITABLE FOR PAINTING.

MASONRY REINFORCING: GENERAL. REBAR SHALL BE PLACED IN THE CENTER OF ALL CELLS, UNLESS OTHERWISE SHOWN IN THE PLANS. ONLY CELLS CONTAINING REBAR NEED BE GROUTED, HOWEVER, ALL CELLS MAY BE GROUTED AT THE CONTRACTOR'S OPTION, AND WITH PERMISSION OF THE ENGINEER. ALL REINFORCING SHALL BE DETAILED, BOLSTERED AND SUPPORTED IN ACCORDANCE WITH THE UBC.

MINIMUM REINFORCEMENT. REINFORCING SHALL BE AS SHOWN IN THE PLANS, HOWEVER IN NO CASE SHALL MINIMUM REINFORCING SHALL BE LESS THAN THE FOLLOWING:

FOR 12-INCH BLOCK, USE #5 AT 36 INCHES ON CENTER HORIZONTAL, AND #6 AT 24 INCHES ON CENTER, VERTICAL.

FOR 8 INCH BLOCK, USE #5 AT 48 INCHES ON CENTER HORIZONTAL, AND #5 AT 36 INCHES ON CENTER VERTICAL. OR USE #4 AT 36 INCHES ON CENTER HORIZONTAL, AND #4 AT 18 INCHES ON CENTER VERTICAL.

FOR 6 INCH BLOCK, USE #4 AT 48 INCHES ON CENTER HORIZONTAL AND #5 AT 48 INCHES ON CENTER VERTICAL. OR USE #4 AT 48 INCHES ON CENTER HORIZONTAL, AND #4 AT 24 INCHES ON CENTER VERTICAL.

PROVIDE JAMB, SILL, MULLION, CORNER, AND LINTEL STEEL AS SHOWN IN THE PLANS, HOWEVER NEVER LESS THAN ONE #5 EXTENDING 18 INCHES BEYOND ALL SIDES OF ALL OPENINGS. WHERE NOT SHOWN IN THE PLANS, PROVIDE MINIMUM REBAR IN ACCORDANCE WITH THE UBC.

MAXIMUM REINFORCEMENT. MAXIMUM SIZE OF REBAR SHALL BE #8 UNLESS OTHERWISE APPROVED BY THE ENGINEER.

STRENGTH OF REINFORCEMENT. REINFORCING BARS REBAR SHALL BE GRADE 60 Fy = 60 KSI, EXCEPT BARS TO BE FIELD BENT OR WELDED SHALL BE GRADE 40 Fy = 40 KSI.

SPLICING, DEVELOPMENT LENGTH. DEVELOPMENT LENGTHS FOR REBARS SHALL BE 80 BAR DIAMETERS, OR AS SHOWN IN THE PLANS. LAP ALL SPLICE BARS 40 BAR DIAMETERS, OR AS SPECIFIED IN THE PLANS. TENSION BARS SHALL EXTEND A MINIMUM OF 12 INCHES BEYOND THE TENSION ZONE.

BENDING. BARS SHALL BE BENT WITH MINIMUM 6 BAR DIAMETERS FOR SIZES UP TO AND INCLUDING NO. 8, AND 8 BAR DIAMETERS FOR BARS LARGER THAN NO. 8.

HOOKS. FOR 180 DEGREE HOOKS, PROVIDE A MINIMUM OF 2-1/2 INCHES OR 4 BAR DIAMETERS EXTENDING BEYOND THE BEND. FOR 90 DEGREE HOOKS, PROVIDE A MINIMUM OF 12 INCHES EXTENDING BEYOND THE BEND.

EPOXY BOLT CONNECTIONS: GENERAL. USE SIMPSON EPOXY-TIE BOLT SYSTEM WITH SET HIGH STRENGTH EPOXY, WITH ZINC PLATED, A307 ALL-THREAD BOLTS AS SHOWN IN THE SKETCHES. DRILLING OF HOLES AND INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.

EXISTING REINFORCING. IT IS IMPERATIVE THAT NO EXISTING REBARS ARE DRILLED OR CUT DURING THE INSTALLATION EPOXY BOLTING. FIRST LOCATE EXISTING REINFORCING BARS USING NON-DESTRUCTIVE METHODS PACHOMETER AND MARK THE LOCATIONS OF THE REINFORCEMENTS. LOCATE EPOXY-BOLTS AND BOLT HOLES SUCH AS TO AVOID HITTING ANY EXISTING REINFORCEMENTS. SHOULD THE LOCATION OF THE BOLTS BE GREATER THAN ONE INCH FROM THE SUGGESTED LOCATION IN THE DRAWINGS, OR IF MINIMUM EDGE DISTANCES CANNOT BE MAINTAINED CONSULT WITH THE STRUCTURAL ENGINEER FOR FURTHER GUIDANCE.

STRUCTURAL STEEL: GENERAL. ALL FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL COMPLY WITH THE REQUIREMENTS OF AISC NINTH EDITION. SHOP DRAWINGS ARE TO BE PREPARED UNDER THE SUPERVISION OF A WASHINGTON STATE REGISTERED ENGINEER, AND SHOULD BEAR HIS STAMP AND SIGNATURE.

MATERIALS. ALL MATERIALS SHALL COMPLY WITH THE FOLLOWING STANDARDS EXCEPT WHERE NOTED OTHERWISE. WIDE FLANGE, ANGLES, CHANNELS, AND PLATES: ASTM A96 Fy=36 KSI OR BETTER. STEEL PIPE SHALL BE ASTM A53, TYPE E OR S Fy = 35 KSI, OR ASTM A501 Fy = 36 KSI. STRUCTURAL STEEL TUBE SECTIONS SHALL BE ASTM A500, GR. B Fy = 46 KSI.

WELDING. ALL WELDING BY W.A.B.O. CERTIFIED WELDERS. FOR SHIELDED METAL ARC WELDING, USE ONLY LOW HYDROGEN ELECTRODES, MIN. TO KSI, IN CONFORMANCE WITH CURRENT ANSI / AWS CODE. ALL BARE PLATES, BEAM END PLATES, STEEL END CONNECTORS, STIFFENER PLATES, AND BENT PLATES AT COLUMN ENDS SHALL BE SHOP FABRICATED UNLESS OTHERWISE NOTED OR SHOWN IN THE PLANS OR STRUCTURAL SKETCHES. WELD SIZE SHALL BE EQUIVALENT TO OR BETTER THAN THE ELEMENT BEING WELDED, AND SHALL BE WELDED ALL AROUND UNLESS OTHERWISE NOTED. CARE SHALL BE TAKEN TO AVOID EXCESS WARPING OF WELDED ELEMENTS.

BOLTS. BOLTS AND ANCHOR BOLTS TO BE ASTM A307 GRADE A, UNLESS OTHERWISE SHOWN. ALL FRAME BOLTED MOMENT CONNECTIONS SHALL CONFORM TO ASTM A325F. PROVIDE STANDARD WASHERS UNDER ALL NUTS AND ANCHOR BOLTS, UNLESS SPECIFICALLY PROHIBITED ELSEWHERE.

STEEL FRAME ANCHOR BOLTS. USE ASTM A-307 BOLTS POSITIONED PER THE FRAME END PLATE HOLE PATTERN. BOLTS MAY HAVE BENT OR HEADED ENDS. BED BASE PLATES ON NON-SHRINK GROUT OR DRY-PACK FOR FULL BEARING. FILL OVERSIZE HOLES IN BASE PLATES WITH GROUT. NUTS TO BE TIGHTENED WITH TURN OF THE NUT METHOD AFTER CONCRETE HAS ATTAINED 2,000 PSI, MIN.

STEEL COATING SYSTEMS: GENERAL. ALL COATING SYSTEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. TOUCH UP SHALL ALSO BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

STRUCTURAL STEEL SYSTEMS THAT WILL BE EXPOSED TO THE ATMOSPHERE SHALL BE SHOP COATED WITH A 3-COAT SYSTEM. PREPARATION SHALL BE A COMMERCIAL SANDBLAST, 2-3 MIL ANCHOR PATTERN. THE PRIME COAT SHALL BE A 3-MIL THICK ORGANIC ZINC PRIMER, THE INTERMEDIATE AND TOPCOATS SHALL BE 3 MILS THICK EACH USING A VINYL HIGH-BUILD COATING SYSTEM. UNLESS OTHERWISE SPECIFIED BY THE OWNER, THE FINAL COLOR SHALL BE PRIMER GREY. CONTRACTOR SHALL VERIFY THIS COLOR WITH OWNER PRIOR TO ANY PAINT APPLICATION.

STEEL WHICH WILL NOT BE EXPOSED TO THE ATMOSPHERE SHALL BE SHOP OR FIELD COATED WITH A 2 COAT SYSTEM CONSISTING OF A 2 MIL RED OXIDE ZINC CHROMATE ALKYD PRIMER UNDER A 2 MIL LONG OIL ALKYD ENAMEL. PREPARATION SHALL BE WIRE BRUSH CLEANING. UNLESS OTHERWISE SPECIFIED BY THE OWNER, THE FINAL COLOR SHALL BE PRIMER RED. CONTRACTOR SHALL VERIFY THIS COLOR WITH OWNER PRIOR TO ANY PAINT APPLICATION.

POWDER ACTUATED PIN CONNECTIONS "POWER PINS": GENERAL. UNLESS OTHERWISE SPECIFIED IN THE PLANS, USE 1/4" DIAMETER MINIMUM FOR CONCRETE OR STEEL. MINIMUM EMBEDMENT LENGTH INTO CONCRETE SHALL BE 1-1/4". MINIMUM EMBEDMENT LENGTH INTO STEEL SHALL BE: 3/8" OR PIN SHAFT THROUGH THE MEMBER, WHICHEVER IS SHORTER. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

CONCRETE USE. FOR USE WITH CONCRETE, ADJUST SPAING OF PINS OR PRE-DRILL WITH 1/16" DIAMETER SMALLER BIT THAN PIN, AS NECESSARY TO AVOID CRACKING OF CONCRETE.

TIMBER FRAMING: GENERAL. ALL SAWN FRAMING LUMBER SHALL BE DOUGLAS FIR - LARCH, NUMBER 2 OR BETTER, UNLESS OTHERWISE SHOWN. PROVIDE STUDS DIRECTLY UNDERNEATH ALL TOP PLATE SPLICE LOCATIONS. PREDRILL ALL NAIL HOLES WHERE REQUIRED TO AVOID SPLITTING. CONNECT ALL WOOD MEMBERS PER THE UBC.

ANCHOR BOLTS. ANCHOR BOLTS TO MUJ SILL, USE 5/8" DIAMETER X 10" EMBEDMENT AT 45' OC, WITH STANDARD STEEL PLATE WASHERS, WRENCH TIGHT, UNLESS OTHERWISE SHOWN.

LEDGERS. WOOD LEDGERS 2X8 P.T. MIN. TO CONCRETE OR MASONRY USE 5/8" DIAMETER ANCHOR BOLTS WITH 6-INCH MINIMUM EMBEDMENT SPACED 16 INCHES ON CENTER, STAGGERED, UNLESS OTHERWISE SHOWN.

WOOD 2X LEDGERS TO STUDS OR OTHER WOOD, USE 1/8" AT 4 INCHES ON CENTER TO CONTINUOUS MEMBER, OR 3, 1/8" PER STUD, STUDS SPACED 16" OC OR LESS, UNLESS OTHERWISE SHOWN.

BUILT-UP BEAMS. BUILT-UP BEAMS CONSISTING OF DIMENSION LUMBER TYPICALLY 2X STOCK ARE PERMITTED IN LIEU OF SAWN SOLID BEAMS ONLY IF THE 2X'S ARE ORIENTED SUCH THAT THEY ARE NOT STACKED ON TOP OF EACH OTHER WITH THE SUM OF THEIR WEAK AXES RESISTING LOAD, BUT ARE NAILED TOGETHER SIDE-BY-SIDE, WITH THE SUM OF THEIR STRONG AXES RESISTING LOAD. USE 1/8" FACE NAILS AT 6" OC STAGGERED INTO ALL TREBUTARY MEMBERS.

PRESSURE TREATED LUMBER. USE PRESSURE TREATED LUMBER IN CONTACT WITH CONCRETE.

BLOCKING / BRIDGING. PROVIDE BRIDGING OR BLOCKING AT 8' OC MAX. IN JOIST OR RAFTERS WITHOUT CONTINUOUS DIAPHRAGM SUPPORT ON THE TOP AND BOTTOM I.E. PLYWOOD ON THE TOP AND GYP. ON THE BOTTOM.

PROVIDE SOLID BLOCKING AT ALL BEARING POINTS, AND DOUBLE JOISTS UNDER ALL PARTITION WALLS.

FRAMED FLOORS WHICH SUPPORT POSTS SHALL BE SOLIDLY BLOCKED WITHIN THE FLOOR TO POSITIVELY TRANSFER POSTS LOADS THROUGH THE FLOOR TO THE SUPPORTS BENEATH.

BEAM SUPPORTS TRIMMERS. ALL GLU LAMS OR PARALLAM BEAMS SHALL HAVE AT A MINIMUM DOUBLE TRIMMER OR A 4X POST AT EACH BEARING POINT UNLESS OTHERWISE SHOWN. SAWN BEAMS 6X12 OR LESS MAY USE SINGLE TRIMMER AT BEARING POINTS, LARGER SIZE SAWN BEAMS TO USE DOUBLE TRIMMER OR 4X POST.

BOLTS. UNLESS OTHERWISE SPECIFIED, USE WASHERS ON ALL BOLTS; TIGHTEN ALL BOLTS TO A VERY SNUG WRENCH TIGHT CONDITION. USE STANDARD A307 BOLTS; USE HOOKS ON ALL EMBEDDED ANCHOR BOLTS. PROVIDE THE FOLLOWING MINIMUM EDGE DISTANCES BETWEEN CENTERLINE OF BOLT AND ALL EDGES OF BOLTED WOOD, AND BETWEEN CENTERLINE OF MULTIPLE BOLTS:

Table with 2 columns: Bolt size and Edge distance. 1/2 inch diameter bolts: 2.5 inches; 5/8 inch diameter bolts: 3 inches; 3/4 inch diameter bolts: 3.75 inches; 7/8 inch diameter bolts: 4.3 inches; 1 inch diameter bolts: 4.75 inches; 1-1/4 inch diameter bolts: 5 inches.

MINIMUM DISTANCE BETWEEN EDGE OF BOLT AND ANY EDGE OF STEEL PLATE ANGLES, GUSSETTS, FLANGES, WEBS, ETC SHALL BE ONE INCH.

ENGINEER MUST MAKE PRIOR APPROVAL OF ANY BOLTED CONNECTION USING LESS EDGE DISTANCE THAN SHOWN ABOVE. PRE-FABRICATED FRAMING CONNECTORS: MANUFACTURER SIMPSON BRAND IS SPECIFIED, HOWEVER ANY OTHER NATIONALLY RECOGNIZED BRAND SILVER, K.G, ETC. MAY BE USED PROVIDED THAT THEY ARE EQUIVALENT IN THEIR ABILITY TO CARRY ALL APPLIED LOADS IN ALL ORIENTATIONS.

INSTALLATION: THE CONTRACTOR SHALL INSTALL ALL PREFABRICATED ITEMS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS. THE LOAD CARRYING CAPACITY OF THE PREFABRICATED ITEM CANNOT BE GUARANTEED IF THIS PROVISION IS NOT ADHERED TO.

HOLD-DOWNS: WHERE HOLD-DOWNS ARE SHOWN ON THE PLANS, CONTRACTOR SHALL SUPPLY THE HOLD-DOWN, THE FACTORY SPECIFIED ANCHOR BOLTS, AND FACTORY SPECIFIED BOLTS, LAGS, OR NAILS THAT CONNECT TO THE VERTICAL MEMBER. VERTICAL MEMBERS SHALL BE DOUBLE 2X OR SINGLE 4X MATERIAL UNLESS OTHERWISE SPECIFIED. ANCHOR BOLTS THAT ARE TOO LONG TO FIT IN THE FOOTING IN A VERTICAL ORIENTATION MAY BE BENT IN A SMOOTH CURVE TO A MAXIMUM OF 90 DEGREES AND EXTENDED HORIZONTALLY WITHIN THE FOOTING. ALL -THREAD MAY BE SUBSTITUTED FOR LONG ANCHOR BOLTS.

USE WITH PREFABRICATED WOOD PRODUCTS, I.E. PARALLAM, TJI, ETC.: THE CONTRACTOR SHALL VERIFY WITH THE PREFAB. WOOD MANUFACTURER THAT THE SPECIFIED CONNECTORS WILL WORK AS INTENDED WITH THEIR PRODUCT.

Table with 2 columns: Connector type and Series. PC SERIES, PB SERIES, TOP FLANGE TYPE, HB, JB, PF, HU, HUF, OR EQUAL, LUS SERIES, LSU FOR SLOPED, LSSU FOR SLOPED / SKEWED, H2.5 AT EACH HEEL TO DOUBLE PLATE, HD2A, 5/8" X 12" EMBEDMENT AB @ 2.5/8" X 4-1/2" LONG STUD BOLTS.

SHEAR TRANSFER. SHEAR TRANSFER AT DIAPHRAGM BOUNDARIES...L50 AT 24" OC, RM JOIST OR RIM BLOCKING TO DOUBLE PLATE. THIS IS ONLY NECESSARY IF WALL SHEATHING IS DISCONTINUOUS AT THE TOP OF PLATE LEVEL.

PREFABRICATED WOOD PRODUCTS: PREFABRICATED TRUSSES: WHERE SHOWN ON THE PLANS, ALL PREFABRICATED STRUCTURAL ROOFING MEMBERS SHALL BE DESIGNED BY A CERTIFIED PROFESSIONAL ENGINEER. THE PREFABRICATED STRUCTURAL ROOFING DESIGNER SHALL PROVIDE STAMPED DESIGN DRAWINGS WITH APPROPRIATE NOTES SHOWING MEMBER SIZES, FORCES, INSTALLATION PROCEDURES, BLOCKING, BRACING, ETC. THE CONTRACTOR SHALL CONFORM TO THESE DRAWINGS IN THE INSTALLATION OF THE STRUCTURAL ROOF SYSTEM. THE CONTRACTOR SHALL ENSURE THAT ADEQUATE DIAGONAL BRACING FROM THE ROOF DIAPHRAGM TO THE CEILING DIAPHRAGM IS PERMANENTLY INSTALLED.

I-BEAM COMPOSITE WEB / FLANGE JOIST PRODUCTS. UNLESS OTHERWISE NOTED ON THE PLANS, THESE PRODUCTS SHALL BE BY TRUS JOIST MACHILLIN CORPORATION T.J.M. OTHER MANUFACTURER'S PRODUCTS MAY BE SUBSTITUTED PROVIDED THAT THEY ARE CAPABLE OF RESISTING AT LEAST THE LOADS AS THOSE PRODUCTS SPECIFIED HEREIN. THE CONTRACTOR SHALL INSTALL THE T.J.M PRODUCTS COMPLETE WITH WEB STIFFENERS AND OTHER BLOCKING / BRACING AS SHOWN ON THE PLANS AND / OR AS RECOMMENDED BY THE MANUFACTURER. ALL MANUFACTURER'S INSTALLATION RECOMMENDATIONS BEARING, BLOCKING, BRACING, HANGERS, PROVISIONS FOR DOUBLE JOIST, ETC. SHALL BE FOLLOWED.

PARALLAM OR OTHER PROPRIETARY RESIN / STRAND BEAM PRODUCTS. IF SHOWN ON THE DRAWINGS, THESE PRODUCTS ARE SPECIFIED DUE PRIMARILY TO THEIR EXTREMELY HIGH STRENGTH VALUES. THEY MUST BE STORED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. NO SUBSTITUTIONS ARE ALLOWED.

GLUE-LAMINATED TIMBERS. UNLESS OTHERWISE NOTED, ALL GLU-LAMS SHALL BE 24F-V4 DF/DI INDUSTRIAL GRADE, MANUFACTURED BY AN AITC APPROVED FABRICATOR. STORE AND INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

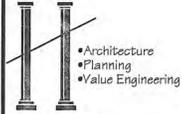
PLYWOOD. USE A P.A. TRADEMARK CDX PLYWOOD UNLESS OTHERWISE NOTED. STORE AND INSTALL IN ACCORDANCE WITH THE RECOMMENDATIONS OF A.P.A. AND UBC FOR SHEAR RESISTING VERTICAL AND HORIZONTAL DIAPHRAGMS.

T&E OSB ORIENTED STRAND BOARD, WITH SHEAR RESISTANCE VALUES SIMILAR TO 1/2" PLYWOOD MAY BE SUBSTITUTED FOR PLYWOOD ON SHEAR WALLS AND ON ROOF, UNLESS OTHERWISE SPECIFIED ON THE PLANS. IF OSB IS USED, THE SAME NAILING AND BLOCKING SCHEDULE AS PER PLYWOOD SHALL BE ADHERED TO. WHERE USED ON ROOF, CONTRACTOR SHALL ENSURE THAT OSB MEETS OR EXCEEDS THE PROPER SPAN RATING FOR THE TRUSSES AND/OR RAFTERS AS INSTALLED. ALL OSB SHALL BE STORED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

PLYWOOD OR OSB SHEAR WALLS. ALL PLYWOOD ON SHEAR WALLS SHALL HAVE ALL EDGES BLOCKED. ALL BLOCKING TO RECEIVE EDGE NAILING. IF NOT OTHERWISE SPECIFIED ON THE PLANS, STANDARD SHEAR WALL CONSTRUCTION SHALL CONSIST OF 1/2" PLYWOOD OR 7/16" OSB, NAILED WITH 8D AT 6" ON EDGES, AND 12" IN FIELD. ALL SHEAR WALLS SHALL BE POSITIVELY CONNECTED TO HORIZONTAL DIAPHRAGMS AT THEIR TOPS AND BOTTOMS PER THE ABOVE, OR AS CALLED OUT IN THE PLANS.

PLYWOOD ROOF. IF ROOF DIAPHRAGM IS NOT SPECIFIED IN PLANS OR CALCULATIONS, USE 1/2" OVER NON-BLOCKED SUPPORTS AT 24" OC. USE UBC CASE 1 PATTERN. NAIL WITH 10D AT 6" ON EDGES, AND 12" IN FIELD. CONTRACTOR TO VERIFY ALL SPAN RATINGS.

FLOORS. ALL WOOD FLOOR DIAPHRAGMS SHALL BE GLUED AND NAILED. USE THICKNESS AS SHOWN ON THE PLANS. CONTRACTOR TO VERIFY ALL SPAN RATINGS OF PLYWOOD. WHERE OTHERWISE NOT SHOWN ON PLANS, NAIL FLOOR DIAPHRAGM USING 8 PENNY SCREW TYPE NAILS RECOMMENDED AT 6" ON EDGES, 12" IN FIELD, NON-BLOCKED, PER UBC CASE 1 PATTERN.



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CONTROL BUILDING FOR SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENT FOR THE CITY OF MOUNT VERNON, WA.

STRUCTURAL NOTES

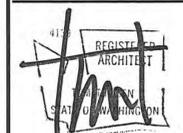
DATE: JULY 23, 1999

REVISION DATE: AUGUST 12, 1999

DRAWN BY: M. RALLAYONS

CHECKED BY: T. THEISEN

SHEET



CONTROL BUILDING FOR SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENT FOR THE CITY OF MOUNT VERNON, WA.

WALL SECTIONS and NOTES

DATE: JULY 23, 1999

REVISION DATE: AUGUST 12, 1999

DRAWN BY: M. RALL LYONS

CHECKED BY: T. THEISEN

SHEET

CONCRETE MASONRY UNITS (CMU)
fm = 2500 PSI (CMU STRENGTH)
RUNNING BOND FULLY GROUTED
FG = 2500 PSI (GROUT STRENGTH)

REBARS OF CMU:
UNO
VERT. REINF. = #5 @ 24" O.C. (MIN. 2 PER RUN, CORNER OR WALL ENDS)
HORIZONTAL REINF. = #4 @ 16" O.C. CONTINUOUS

AT 12" DOOR OPENING (PROVIDE LENTEL BEAM BLOCK 16" DEEP)
PROVIDE 2 #5 TOP & BOTTOM CONT. TO WALL END CORNERS
CW #3 CLOSED TIES AT 8" O.C. FROM FACE OF WALL OPENING TO L/4, SYMM. AT 16" O.C. REST TO $\frac{1}{2}$ OPENING

PROVIDE EXTRA 1# #6 AT JAMBS, FULL HEIGHT, EACH END AT DOOR OPENINGS 4' OR LESS
PROVIDE 1# #5 TOP & BOTTOM (MIN. DEPTH = 16") HORIZONTAL #3 @ 8" O.C. VERT.

AT ALL WALL ENDS, CORNERS & INTERSECTIONS PROVIDE 1#6 VERT. CONTINUOUS REBAR. SEE SK3 and SK4

NOTES:

1) MIN. ROOF RAFTERS = 2X6 @ 24" O.C. 15 OK DF # 2 OR BETTER

2) MIN. ATTIC SPACE FLOOR JOIST = MIN. 2X6 @ 16" O.C. AFR2 OR BETTER. LEDGER TO MASONRY = PT. 4X CW 3/4" DIA. AB "J" @ 16" O.C. 5" EMBED TO CMU, 2" END HOOK (OR 3/4" DIA. SIMPSON SET BOLTS)

3) STUB POST SUPPORTING B2 INTO B3 SHALL BE SECURELY FASTENED USING SIMPSON TYPE POST/BEAM CONNECTOR TO B2 AND STUB POST SECURELY FASTENED TO B3 TOP PLATE.

TOP PLATE (P.T. 2X) SHALL BE BOLTED TO B3 WITH MIN. 5/8" DIA. BOLTS @ 16" O.C. STAGGERED (ONE BOLT AT EVERY STUD SPACE).

4) B1 & B1a & B3 SHALL BE BOLTED DOWN INTO THE CMU WITH FOLLOWING ANCHOR BOLTS (5/8" DIA. @ 16" O.C.)

FIRST AND LAST ANCHOR BOLTS TO CMU WALL SHALL BE EMBEDDED 20" MIN. INTO CMU OTHERS IN BETWEEN SHALL HAVE MIN. 12" EMBEDMENT.

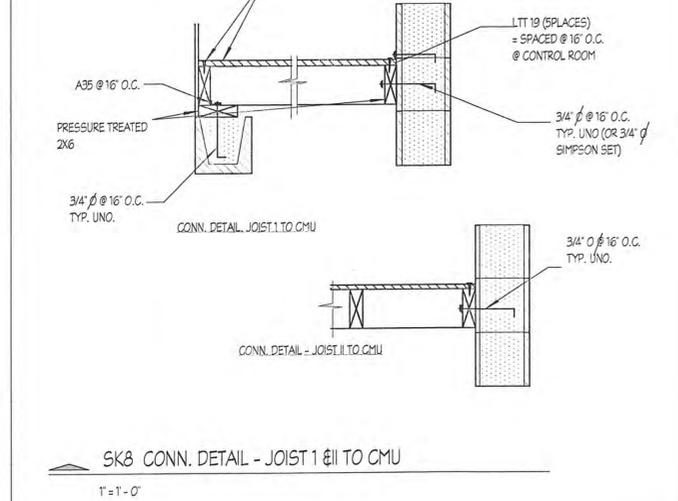
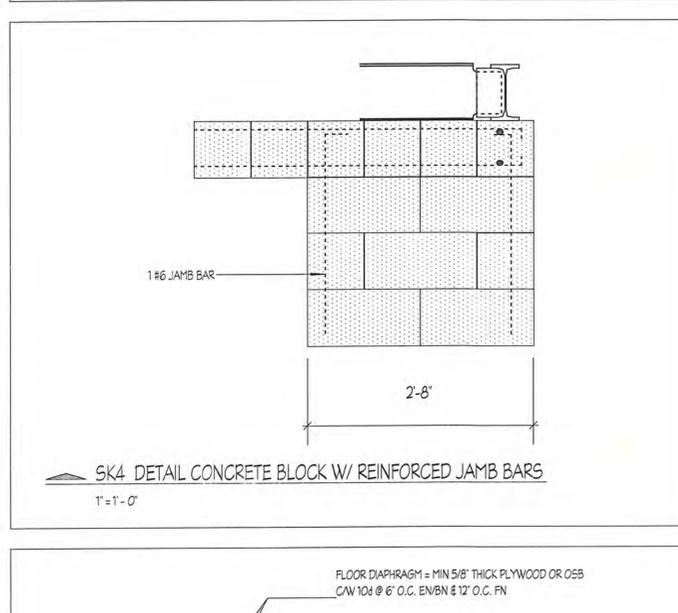
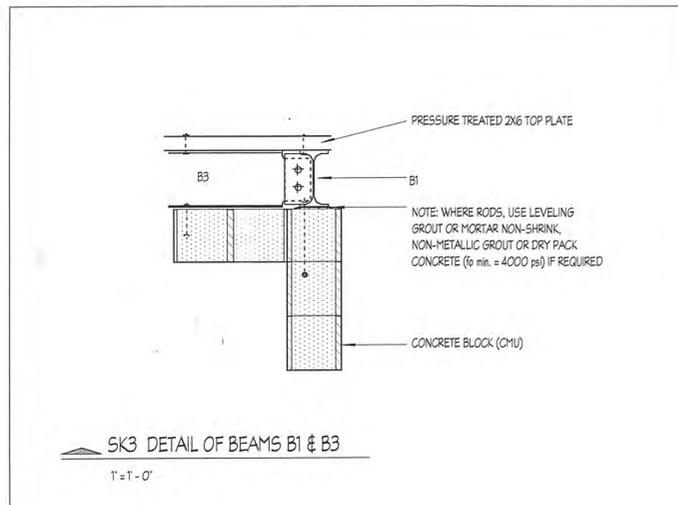
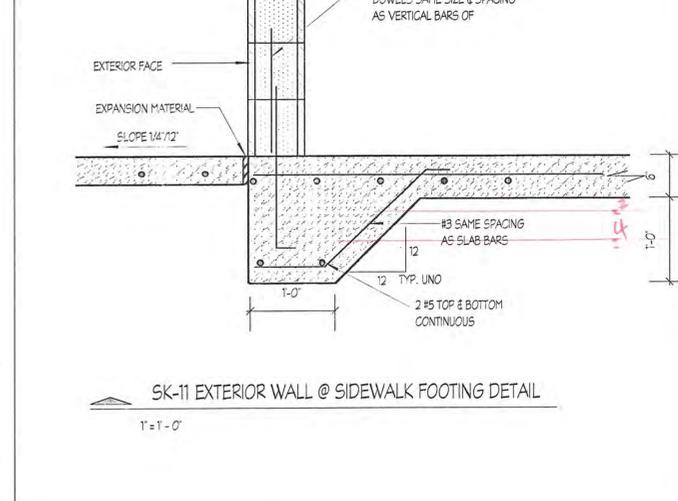
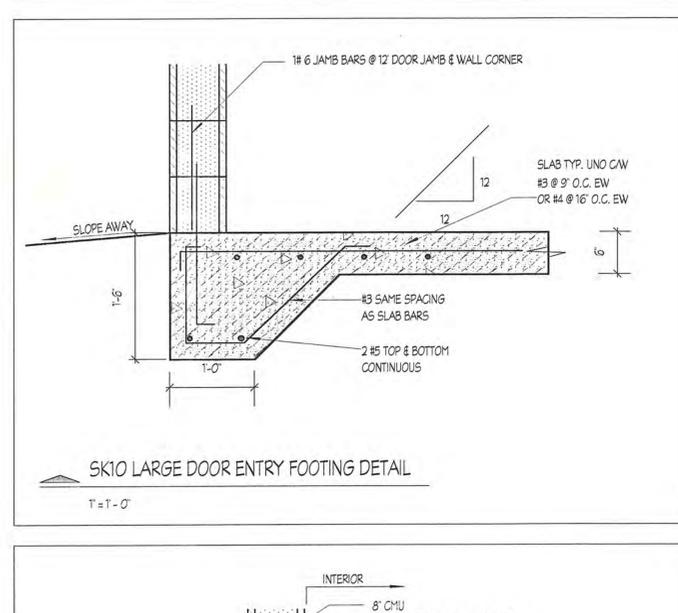
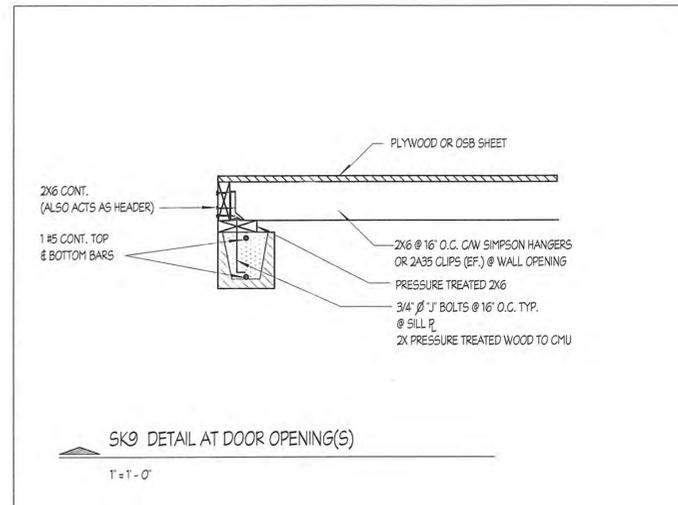
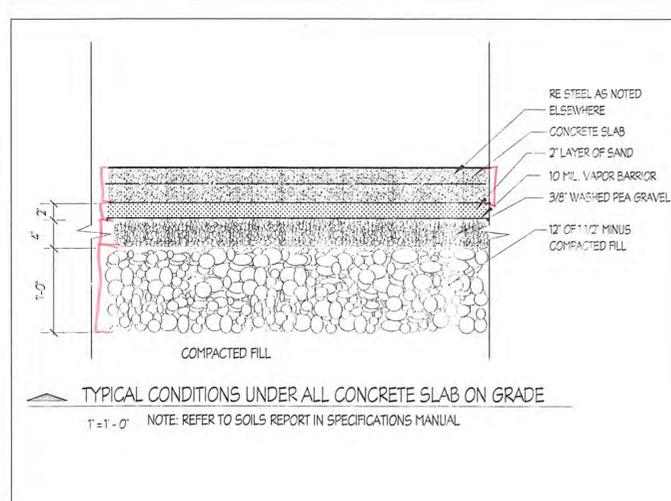
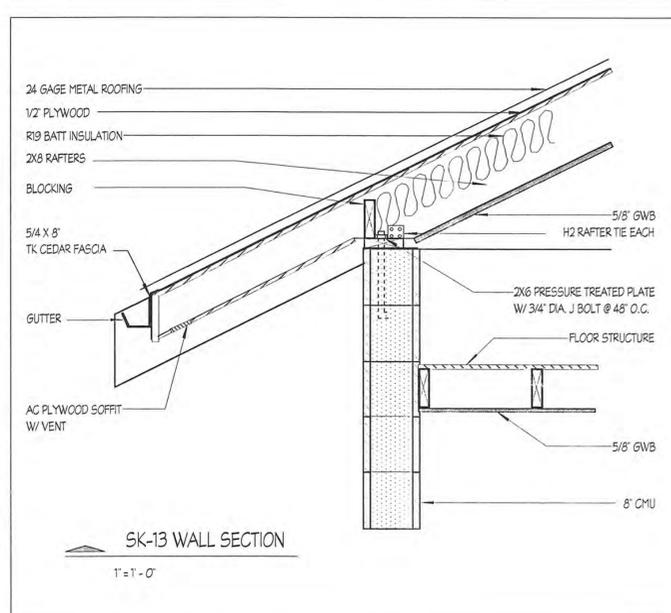
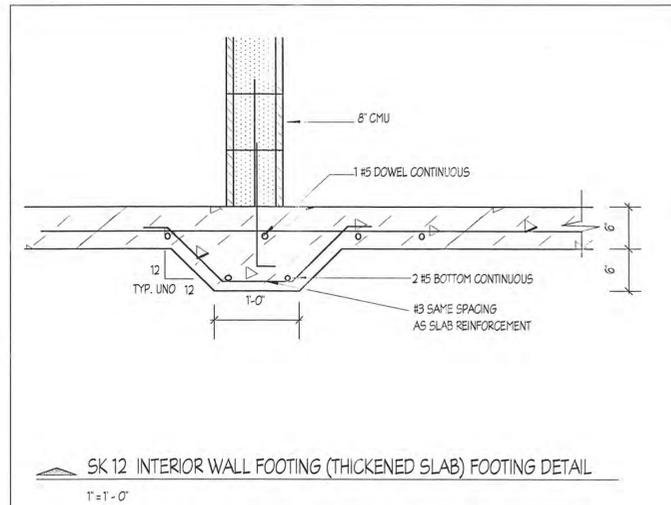
5) B3 SHALL BE BOLTED TO B1 WITH 2-1" DIA. BOLTS EACH END OF B3

6) B1 AT LARGE DOOR SHALL HAVE 3/8" THE PLATE STIFFENER WELDED ALL AROUND TO FLANGES & WEB OF W 8X10

B3 SHALL BE BOLTED ONTO B1 VIA THE PL. STIFFENER

SEE DETAILS SK3 & SK4

7) ALL CONCRETE TO BE PLACED ON COMPACTED STRUCTURAL FILL MIN. 95% COMPACTED UNLESS NOTED OTHERWISE



DATE: JULY 23, 1999
REVISION DATE: AUGUST 12, 1999
DRAWN BY: M. RALL LYONS
CHECKED BY: T. THEISEN
SHEET



CONTROL BUILDING
 FOR
 SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENT
 FOR THE CITY OF MOUNT VERNON, WA.

FLOOR PLAN
 FOUNDATION PLAN
 CEILING FRAMING PLAN
 REFLECTED CEILING PLAN

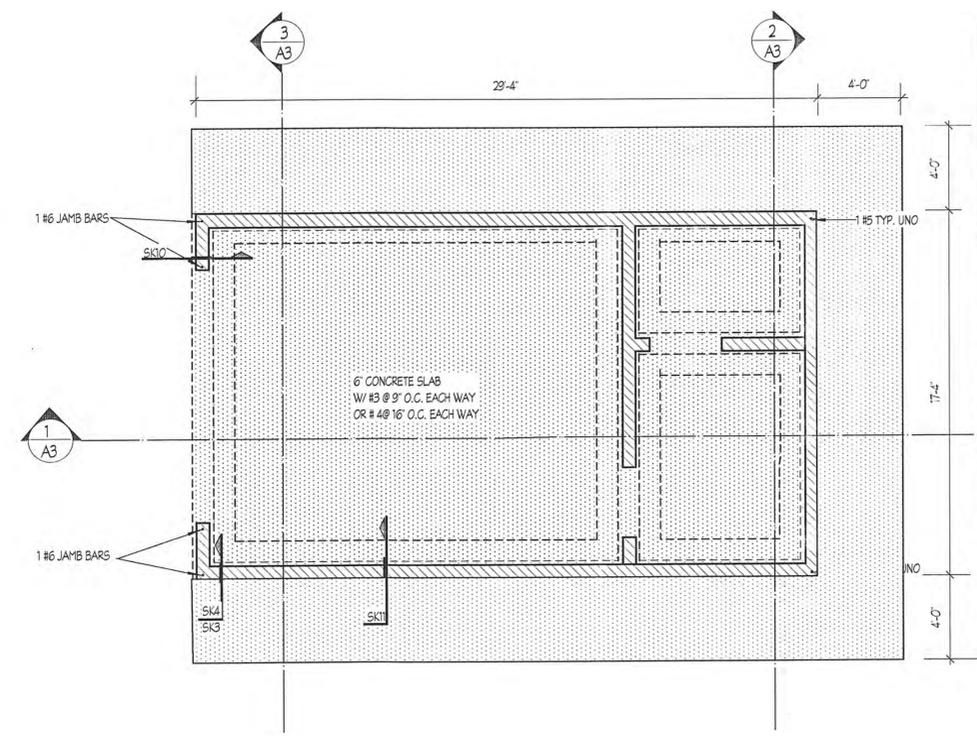
DATE: JULY 26, 1999

REVISION DATE:
AUGUST 12, 1999

DRAWN BY:
M. RALLIYONS

CHECKED BY:
T. THEISEN

SHEET




SLAB/FOOTING FLOOR PLAN
 1/4"=1'-0"

TOILET ROOM

LAVATORY:
 WALL HUNG KOHLER "KINGSTON" NO. 2005
 WITH GRID DRAIN, NO. K-1354-5 FAUCET WITH
 0.5 GPM AERATOR. PROVIDE TRUEBRO INC. "LAV GUARD"
 INSULATION KIT AND SPECIFIED SUPPLIES AND TRAP. ADA COMPLIANT.

ADA TOILET:
 FLOOR-MOUNT VITREOUS CHINA, ELONGATED BOWL, WITH
 OPEN FRONT, PLASTIC SEAT, 1.6 GAL./FLUSH, 17-1/4" HIGH BOWL.
 SUCH AS CRANE 3-354.

GRAB BARS: BOBRICK B-6237, HORIZONTAL TWO-WALL 36" X 48".
 MOUNT 33"-36" AFF.

PROVIDE AND INSTALL PER ARCHITECT'S INSTRUCTIONS
 THE FOLLOWING TOILET ROOM ACCESSORIES:
 •16" X 30" MIRROR
 •TOILET TISSUE DISPENSER
 •SOAP DISPENSER
 •SURFACE MOUNT PAPER TOWEL DISPENSER
 BOBRICK TYPE 304 SATIN FINISH STAINLESS STEEL
 OR POLISHED CHROME-PLATED BRASS AS
 STANDARD OF QUALITY.

INTERIOR FINISH NOTES

ALL PAINTING OF ALL MATERIALS TO BE AS SPECIFIED BY THE
 ARCHITECTURAL SPECIFICATION MANUAL (ASM), PUBLISHED BY
 SPECIFICATION SERVICES, KENT, WA 98032

Insert: "All paint and paint products shall be Tnemec, as manufactured by
 Tnemec, North Kansas City, Missouri, or approved equal. All paint and paint
 products shall be submitted to the Engineer for approval".

ALL EXPOSED CONCRETE MASONRY (CMU) TO BE SEALED,
 W/ 2 COATS CLEAR SEALER.

ALL EXPOSED GWB TO BE 5/8" INCH, BE THE WATER RESISTANT
 TYPE AND BE PRIMED AND PAINTED.

ALL EXPOSED WOOD AND MISC METAL TO BE PRIMED AND
 PAINTED (EXCEPT PORTIONS OF MECHANICAL AND
 ELECTRICAL EQUIPMENT NOT NORMALLY PAINTED).

TOILET ROOM TO HAVE ALL WALLS WITH PAINTED WAINSCOT 4
 FEET HIGH. WAINSCOT TO BE EPOXY PAINT APPLIED AS PER
 MANUFACTURERS RECOMMENDATIONS.

ALL CONCRETE FLOOR SLABS TO BE SEALED WITH MINIMUM OF
 2 COATS OF CLEAR SEALER HARDENER (SONNEBORN BUILDING
 PRODUCTS, LAPIDOLITH OR APPROVED EQUAL).

REGARDING DOORS/FRAMES

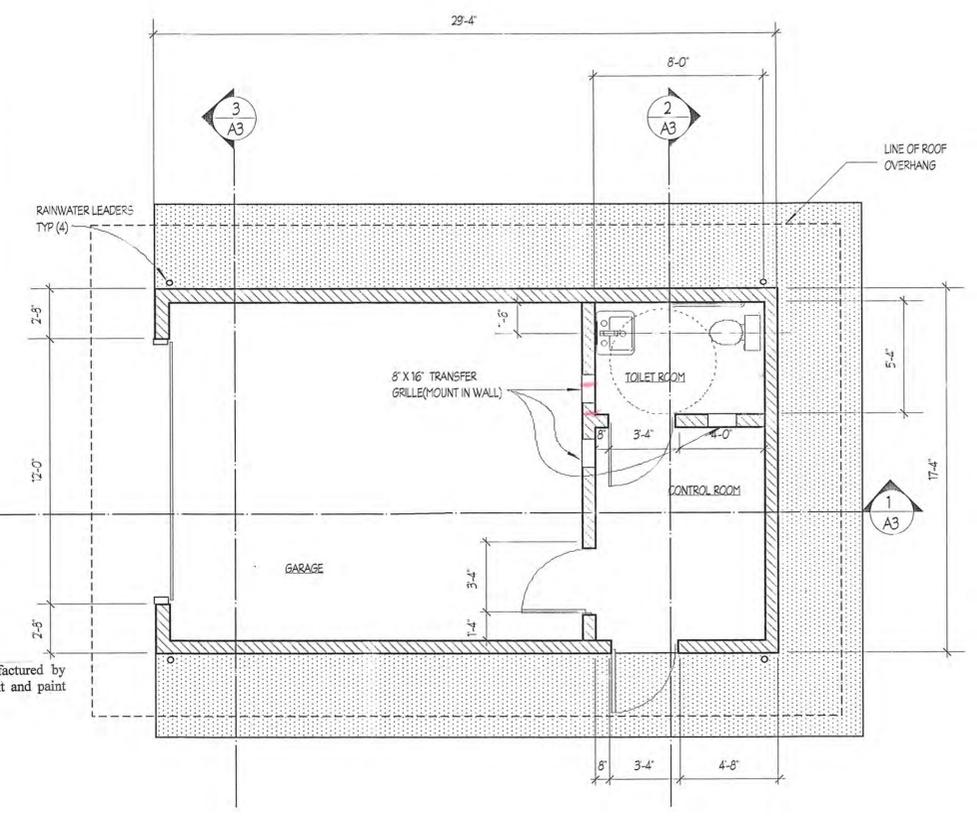
ALL DOORS AND FRAMES INCLUDING OVERHEAD AND MAN
 DOORS ARE TO INCLUDE ALL PARTS AND PIECES NORMALLY
 ASSOCIATED WITH A COMPLETE AND FINISHED INSTALLATION.

OVERHEAD DOOR TO BE HEAVY DUTY, STEEL SKINNED,
 INSULATED, SECTIONAL, 12 W X 8 H, 1/3 HP JST SIDE MOUNT
 OPERATOR WITH INTERIOR PUSH BUTTON (UP, DOWN, STOP)
 WEATHERSTRIPPING, ETC.

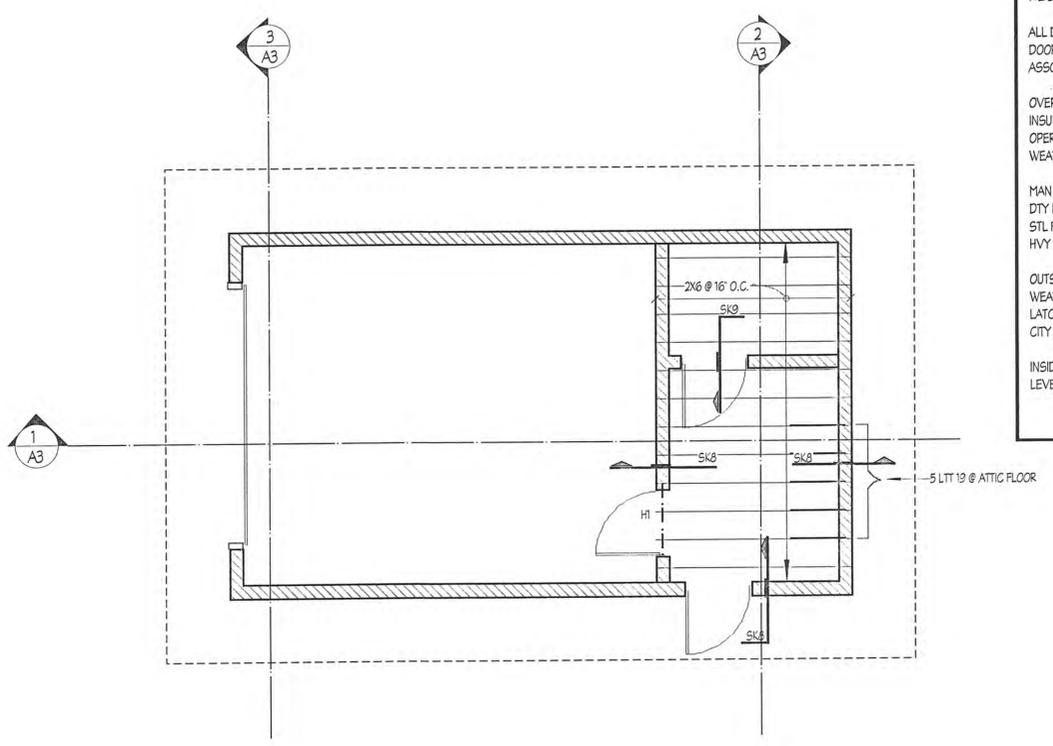
MAN DOORS TO BE 3'-0" X 7'-0", ANS/SDH-100, GRADE 3, HYV
 DTY MODEL 4, 16 GA GALV STL WITH 16 GA GALV WELDED
 STL FRAME WITH 4" HEAD". ALL HARDWARE/CLOSERS TO BE
 HYV DUTY INSTITUTIONAL GRADE. ALL EDGES SEALED.

OUTSIDE MAN DOOR TO INCLUDE INSTITUTIONAL GRADE HINGES,
 WEATHERSTRIPPING, THRESHOLD AND ADA LEVER HANDLE LOCK AND
 LATCH SET. COORDINATE FINISHED CORE AND KEYING WITH
 CITY OF MOUNT VERNON.

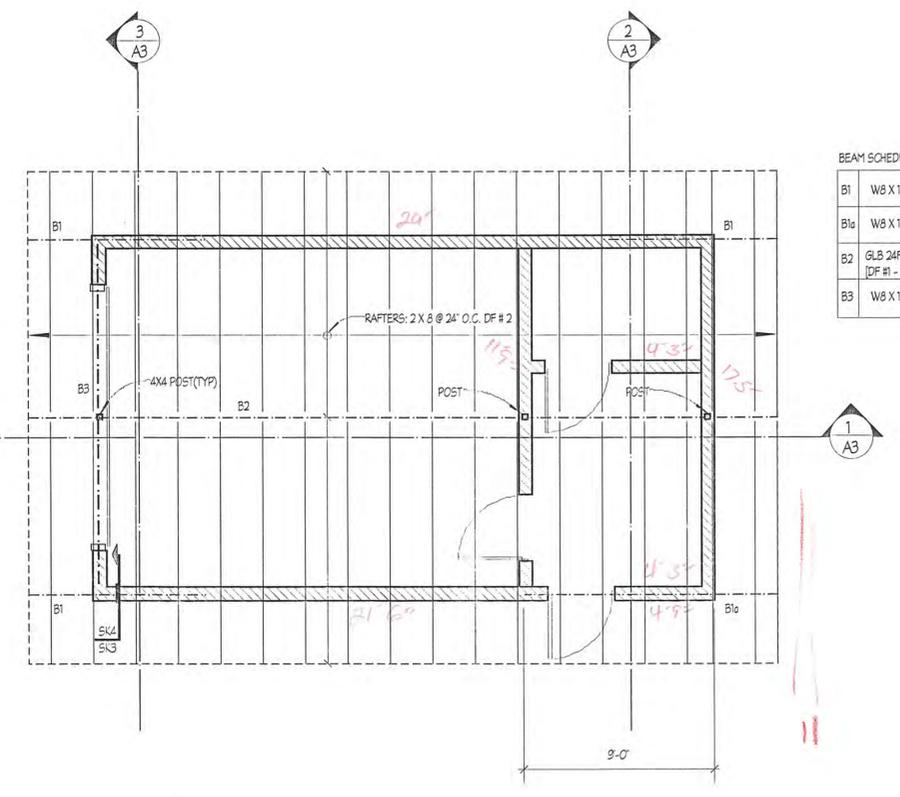
INSIDE MAN DOORS TO INCLUDE INSTITUTIONAL GRADE HINGES, AND ADA
 LEVER HANDLE LATCHSET. TOILET ROOM DOOR TO INCLUDE PRIVACY LOCK




FLOOR PLAN
 1/4"=1'-0"



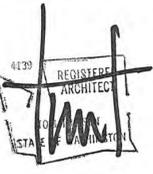

CEILING FRAMING PLAN
 1/4"=1'-0"



BEAM SCHEDULE

B1	W8 X 10
B1a	W8 X 10
B2	GLB 24FV4 = 3 1/8" X 15 OR 5 1/8" X 12 [DF #1 - 6X14]
B3	W8 X 18


ROOF FRAMING PLAN
 1/4"=1'-0"



CONTROL BUILDING FOR SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENT FOR THE CITY OF MOUNT VERNON, WA.

ELECT/MECH PLAN
 ROOF FRAMING PLAN
 ROOF PLAN

DATE: JULY 26, 1999

REVISION DATE:
 AUGUST 11, 1999

DRAWN BY:
 M. RALL/LYONS

CHECKED BY:
 T. THEISEN

SHEET

A-2

99099

ELECTRICAL AND MECHANICAL NOTATION/EQUIPMENT SCHEDULE

NOTE:
 CONFIRM AND COORDINATE WITH ALL ELECTRICAL EQUIPMENT WITH THAT INDICATED ON CIVIL DRAWINGS

RIGID PIPE FOR ALL CONDUITS

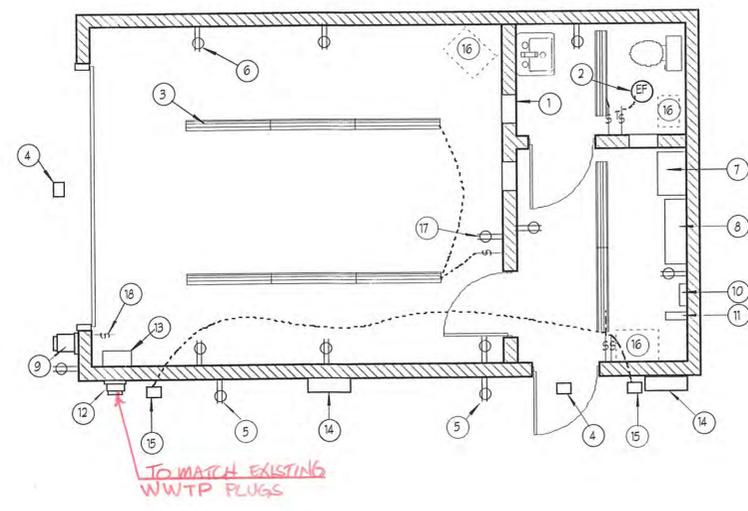
ALL ELECTRICAL EQUIPMENT AND INSTALLATIONS TO BE AS REQUIRED BY THE MOST CURRENT NEC CODES AND GOVERNING AGENCIES.

'DOMESTIC' ELECTRICAL TO BE SERVED BY MINIMUM OF 200 AMP PANEL COORDINATED WITH ALL OTHER ELECTRICAL EQUIPMENT FULLY DESCRIBED ELSEWHERE.

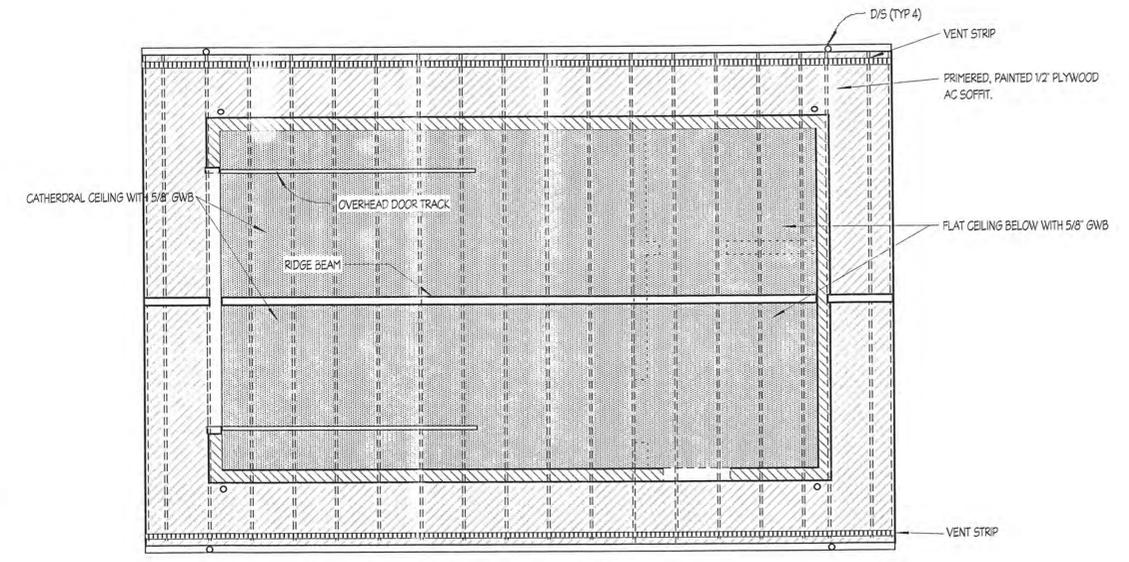
ALL INTERIOR ELECTRICAL TO BE EXPOSED CONDUIT WELL ANCHORED TO STRUCTURE WITH UNISTRUT. COORDINATE LOCATIONS OF ALL ELECTRICAL DEVICES AND CONDUITS WITH ARCHITECT.

ALL MECHANICAL EQUIPMENT AND INSTALLATIONS TO BE AS REQUIRED BY THE MOST CURRENT UMC CODES AND GOVERNING AGENCIES.

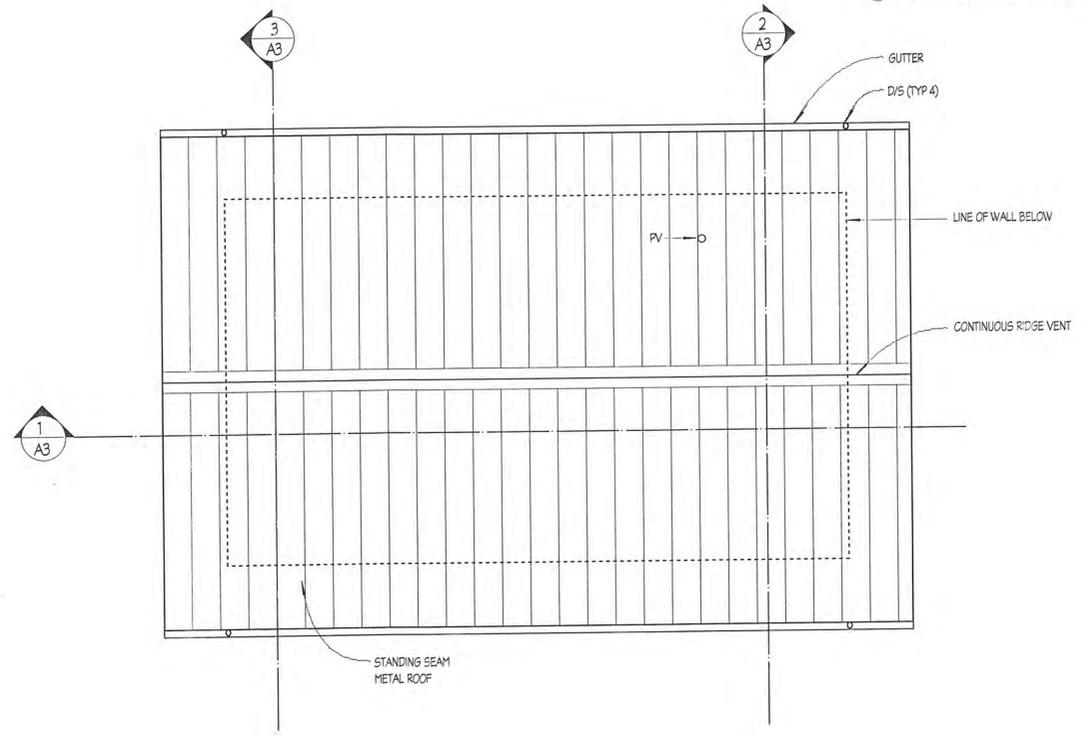
- ① TRANSFER GRILL IN CMU WALL 8X16 TYPICAL OF 3 (WITH OPERABLE VANES)
- ② 100 CFM 'QUIET' TYPE EXHAUST FAN TO OUTSIDE WALL. PROVIDE TIMER SWITCH AND REMOTE TIME CLOCK
- ③ 2 LAMP, 4' STRIP FLUORESCENT FIXTURE W/ELECTRONIC BALLAST AND T8 LAMPS TOTAL OF 2.
- ④ EXTERIOR LIGHT FIXTURE 70W EXTERIOR WALL PAK WITH DOWNWARD THROW WITH PHOTOCELL. LUMARK HP1N-070H OR SIM.
- ⑤ EXTERIOR DUPLEX GFI RECEPTACLE WITH LOCKABLE, VANDAL RESISTENT HOUSING.
- ⑥ INDICATES INSTITUTIONAL QUALITY DUPLEX RECEPTACLE. PROVIDE 'IN PANEL' GFI BREAKER, TYP OF 8.
- ⑦ AIR BUBBLER COMPRESSOR
- ⑧ LIFT STATION POWER AND CONTROL PANEL
- ⑨ ELECTRICAL METER
- ⑩ 200 AMP 'DOMESTIC' PANEL
- ⑪ PRIMARY POWER DISCONNECT SWITCH
- ⑫ EMERGENCY POWER INLET RECEPTACLE
- ⑬ AUX. POWER TRANSFER SWITCH
- ⑭ EXTERIOR NEMA 3R METAL ENCLOSURE WITH NEMA 4X J-BOX INSIDE
- ⑮ 500W HALOGEN FIXTURE ON SWIVEL (2 AXIS) MOUNTING BASE.
- ⑯ FORCED AIR ELECTRICAL HEATERS (CEILING HUNG) COORDINATE LOCATION WITH ARCHITECT CHROMOLOX UB32 240V (2)-2KW AND (1) 5KW EACH WITH WR80 TSTAT
- ⑰ THIS RECEPTACLE IS FOR BLOCK HTR AND NEEDS DEDICATED 220 CIRCUIT
- ⑱ OVERHEAD DOOR CLOSER SWITCH (UP, DOWN, STOP)



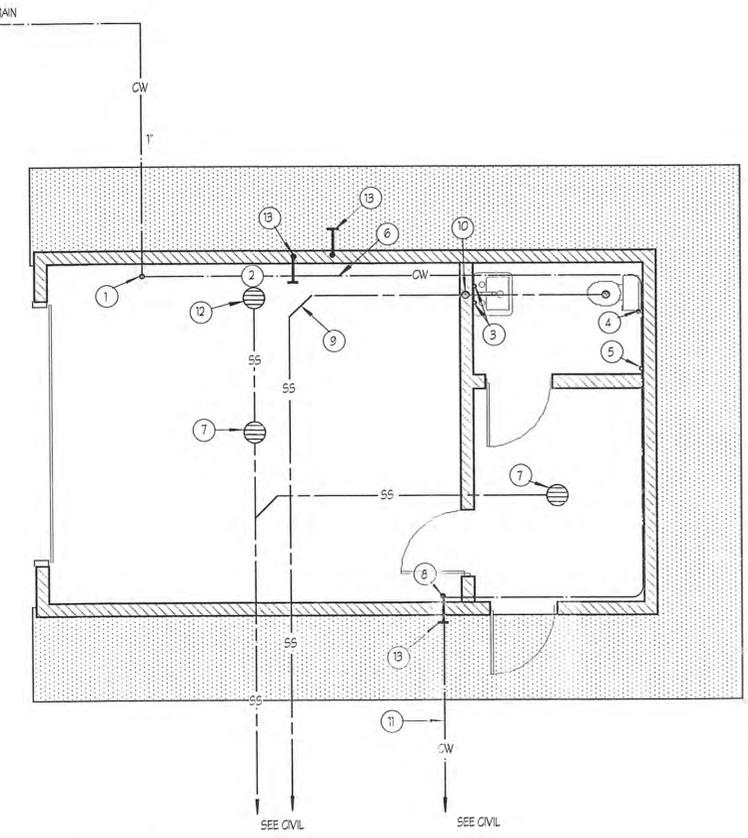
ELEC/HVAC PLAN
 1/4"=1'-0"



REFLECTED CEILING PLAN
 1/4"=1'-0"



ROOF PLAN
 1/4"=1'-0"



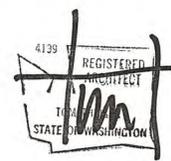
PLUMBING PLAN
 1/4"=1'-0"

PLUMBING NOTATION
 ALL PLUMBING EQUIPMENT AND INSTALLATIONS TO BE AS REQUIRED BY THE MOST CURRENT NPC CODES AND GOVERNING AGENCIES.

ALL WASTELINES TO BE CAST IRON SUITABLE FOR BELOW SLAB AND MASONRY CAVITY INSTALLATIONS.

ALL WATER LINES TO BE COPPER AS SUITABLE FOR BELOW SLAB AND MASONRY INSTALLATIONS. ALL WATER LINES TO BE WRAPPED WITH MINIMUM 1 INCH SEMI-RIGID FOAM INSULATION.

- ① MAIN SHUT OFF VALVE FOR 1" COPPER (ALL LINES 1').
- ② BACKFLOW PREVENTION DEVICE 825Y FEBCO.
- ③ SINK SHUTOFFS AND ELECTRIC 'ON DEMAND' HOT WATER DEVICE
- ④ TOILET SHUTOFF
- ⑤ WATER LINE UP TO ABOVE DECK
- ⑥ WATER LINE SUPPORTED BY UNISTRUT ON CMU 24" FROM FF
- ⑦ 4" ZURN CAST IRON FLOOR DRAIN
- ⑧ WATER LINE FROM ABOVE TO ZURN FROST FREE HOSE BIB
- ⑨ 4" CAST IRON WASTE LINE FROM TOILET AND SINK WITH CLEANOUT
- ⑩ CAST IRON SINK VENT TO ROOF
- ⑪ BURIED LINE TO REMOTE FIXTURE SEE CIVIL
- ⑫ ZURN FLOOR DRAIN FOR BACK FLOW DEVICE
- ⑬ ZURN HOSE-BIB TYP (3) FROST FREE IF EXTERIOR



CONTROL BUILDING FOR SOUTH SERVICE AREA SEWER SYSTEM IMPROVEMENT FOR THE CITY OF MOUNT VERNON, WA

ELEVATIONS

DATE: JULY 26, 1999

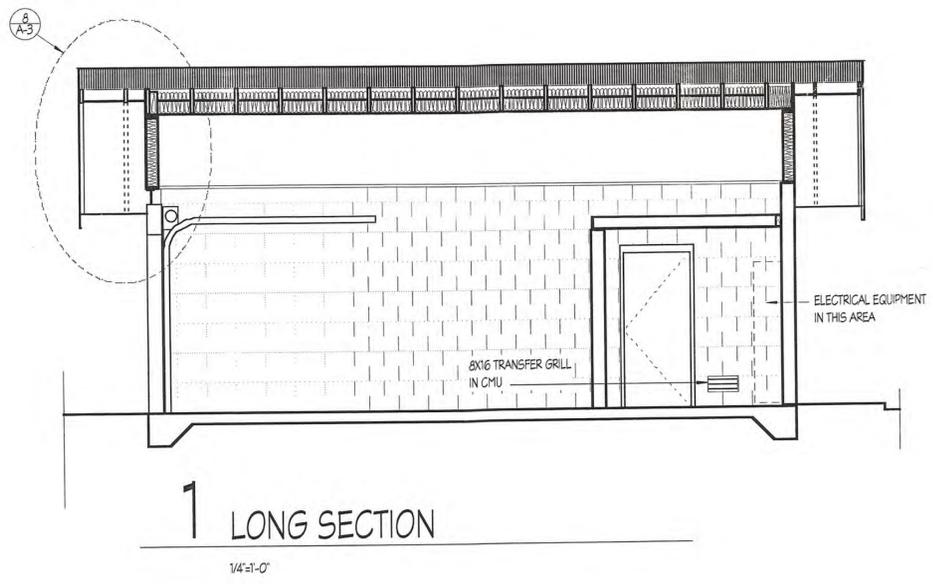
REVISION DATE: AUGUST 12, 1999

DRAWN BY: M. RALLYONS

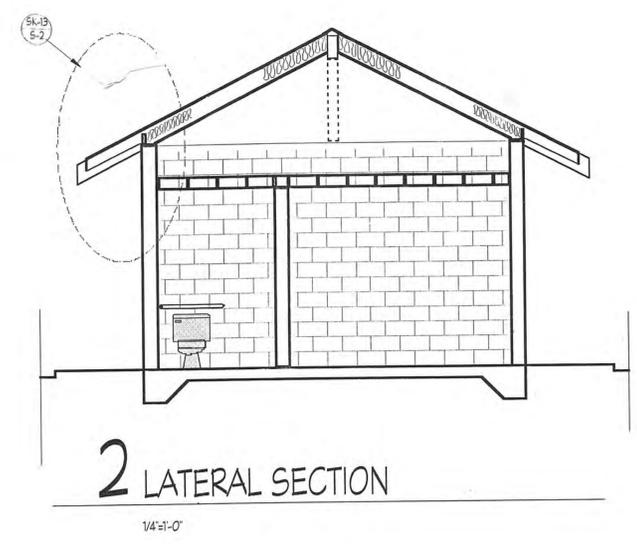
CHECKED BY: T. THEISEN

SHEET

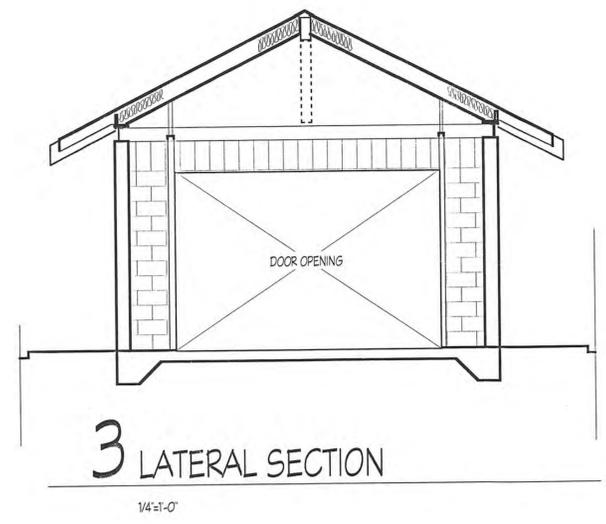
A-3
99099



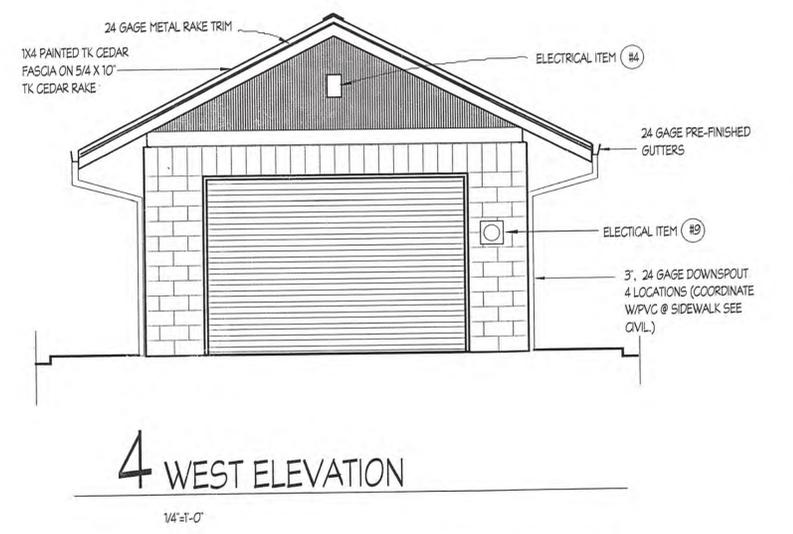
1 LONG SECTION
1/4"=1'-0"



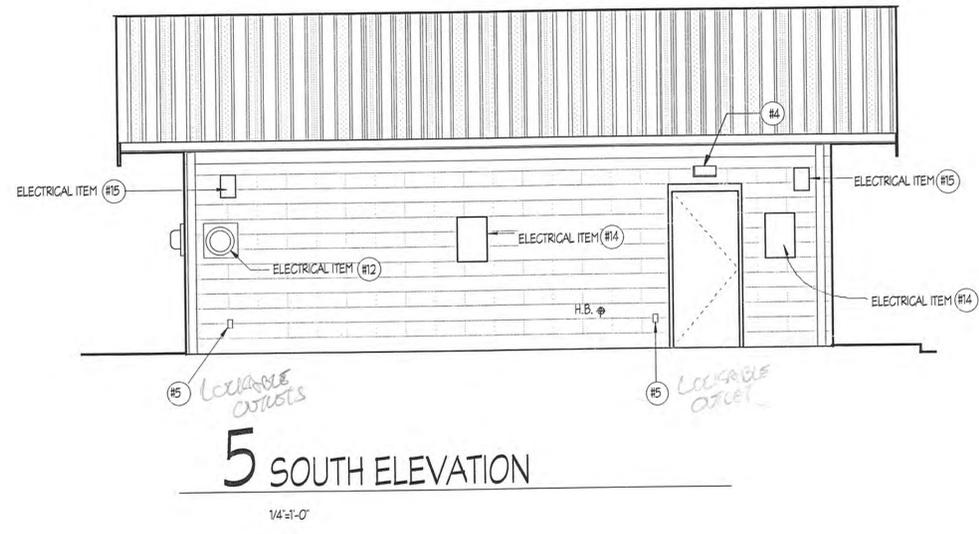
2 LATERAL SECTION
1/4"=1'-0"



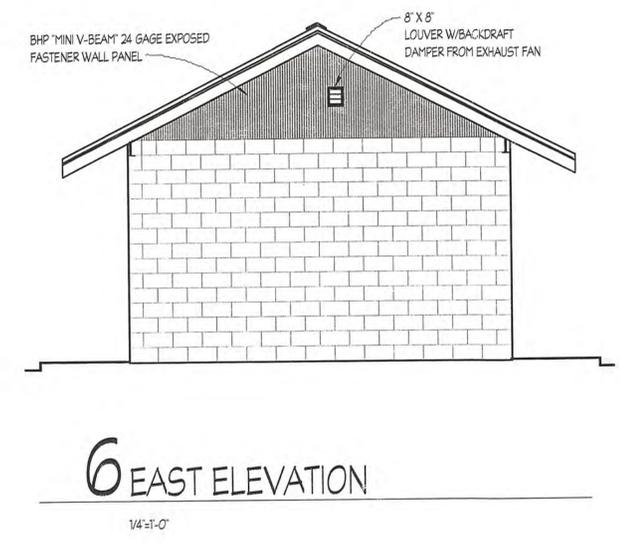
3 LATERAL SECTION
1/4"=1'-0"



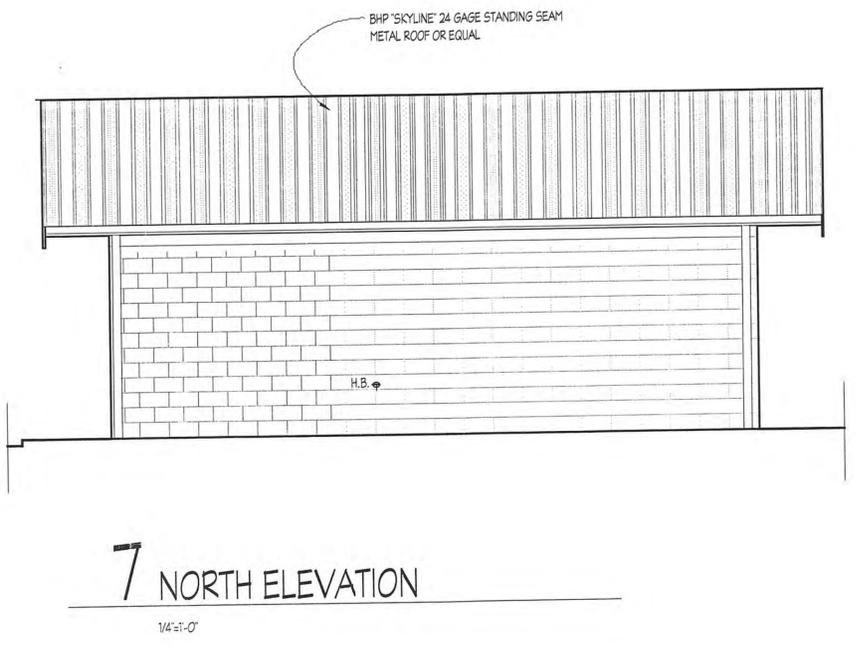
4 WEST ELEVATION
1/4"=1'-0"



5 SOUTH ELEVATION
1/4"=1'-0"



6 EAST ELEVATION
1/4"=1'-0"



7 NORTH ELEVATION
1/4"=1'-0"

EXTERIOR FINISH NOTES

ALL PAINTING OF ALL MATERIALS TO BE AS SPECIFIED BY THE ARCHITECTURAL SPECIFICATION MANUAL (ASM), PUBLISHED BY SPECIFICATION SERVICES, KENT, WA 98032

Insert: "All paint and paint products shall be Tnemec, as manufactured by Tnemec, North Kansas City, Missouri, or approved equal. All paint and paint products shall be submitted to the Engineer for approval".

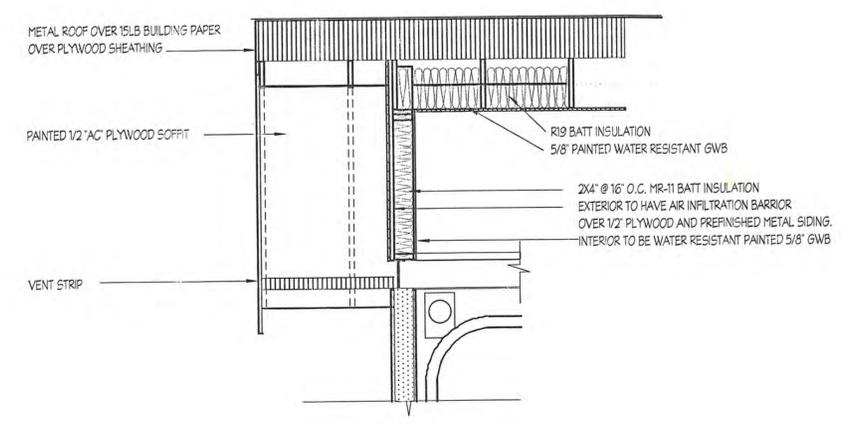
ALL CMU TO BE 7 GRID COLORED 'SPLIT FACE'.

ALL EXPOSED CONCRETE MASONRY (CMU) TO BE SEALED, WITH 2 COATS CLEAR SEALER.

ALL SHEET METAL ROOFING AND SIDING TO PREFINISHED BY MANUFACTURER. ALL PREFINISHED METAL TO HAVE 24 GAUGE PREFINISHED FLASHINGS FOR ALL EDGES AND EDGE CONDITIONS. CONFIRM FLASHING PROFILES WITH ARCHITECT.

ALL EXTERIOR WOOD TO BE PRIMED AND PAINTED.

ALL EXPOSED MISC. METAL TO BE PRIMED AND PAINTED (UNLESS PREFINISHED).



8 DETAIL WALL SECTION
1/2"=1'-0"

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 45

RESTRICTIONS

1. Short Plot Number and Date of Approval shall be included in all deeds and contracts.
2. All maintenance and construction of private roads are the responsibility of the lot owners and the responsibility of maintenance shall be in direct relationship to usage of road.

SEWAGE DISPOSAL

The method of sewage disposal shall continue to be by that septic drainfield system presently serving the existing residence upon Tract "B" of this Short Plat. The required soil logs and percolation tests for Tracts "A", "B", "C" and "D", shown annotated hereon, have been approved and are currently on file with the Skagit County Permit Center.

WATER SUPPLY

Water of sufficient quantity and/or quality for normal domestic purposes is available to each Tract of this Short Plat by the Skagit County Public Utility District No. One's 6" Water Mains in Old Hwy No. 99 and Anderson Road.

LEGAL DESCRIPTION

- The Southwest Quarter (SW $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$) of Section Twenty-nine (29), Township Thirty-four (34) North, Range Four (4) East of the Willamette Meridian, EXCEPT road rights of way and EXCEPT the following described tracts:
1. Beginning at the intersection of the North line of the County road along the South line of Section 29 with the East line of said Southwest Quarter (SW $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$); thence West along the North line of the County road 100 feet; thence North to the North line of said subdivision; thence East 100 feet to the Northeast corner of said Southwest Quarter (SW $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$); thence South along the East line of said Southwest Quarter (SW $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$) to the point of beginning.
 2. Beginning at a point on the South line of said subdivision 464.68 feet East of the Southwest corner thereof; thence North 88°37' East along the South line of said subdivision 100 feet; thence North 0°30' West parallel to the East line of said subdivision 217.8 feet; thence South 88°37' West 100 feet; thence South 0°30' East 217.8 feet to the point of beginning; EXCEPT the County road right of way along the South side thereof.
 3. Beginning at the intersection of the North line of said subdivision and the East line of Alfred Johnson Road, formerly State Highway No. 99; thence East along the North line of said subdivision, a distance of 375.52 feet; thence South parallel to the East line of said road 116 feet; thence West parallel to the North line of said subdivision 375.52 feet to the East line of said road; thence North along the East line of said road 116 feet to the point of beginning.
 4. The West 100 feet of the East 200 feet of said Southwest Quarter (SW $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$), EXCEPT the South 217.8 feet thereof.
 5. That portion conveyed to the State of Washington for Highway purposes by Deed dated March 24, 1972 and recorded June 16, 1972 under Auditor's File No. 769755.
 6. That portion conveyed to Skagit County for road purposes by Deed dated March 18, 1975 and recorded March 19, 1975 under Auditor's File No. 814839.

OWNER'S CERTIFICATE

I, the undersigned, owner of the land included within this SHORT PLAT do hereby CERTIFY that the decision to make this SHORT PLAT was my free act and deed, and in witness whereof I have caused my name to be hereunto subscribed this 16 day of June, 1982.

Bette B. Gauld
BETTE B. GAULD

ACKNOWLEDGEMENT

State of Washington } ss.
County of Skagit }

On this day personally appeared before me BETTE B. GAULD, as her separate property; to me known to be the individual who executed the within and foregoing instrument and acknowledged that she signed the same as her free and voluntary act and deed for the uses and purposes therein mentioned.

Given under my hand and official seal this 16 day of June, 1982.

Gwynne D. LeGros
Notary Public in and for the State of Washington, residing at Mount Vernon.

TREASURER'S CERTIFICATE

This is to certify that all taxes heretofore levied and which have become a lien upon the lands herein described have been fully paid and discharged according to the records of my office, up to and including the year of 1982.

This 21 day of June, 1982.

Ruth Wylie
Skagit County Treasurer

APPROVALS

Examined and approved this 20th day of July, 1982, by the Planning Department of Skagit County, Washington.

Robert C. Sampaio
Robert C. Sampaio

Examined and approved this 20th day of July, 1982, by the County Engineer of Skagit County, Washington.

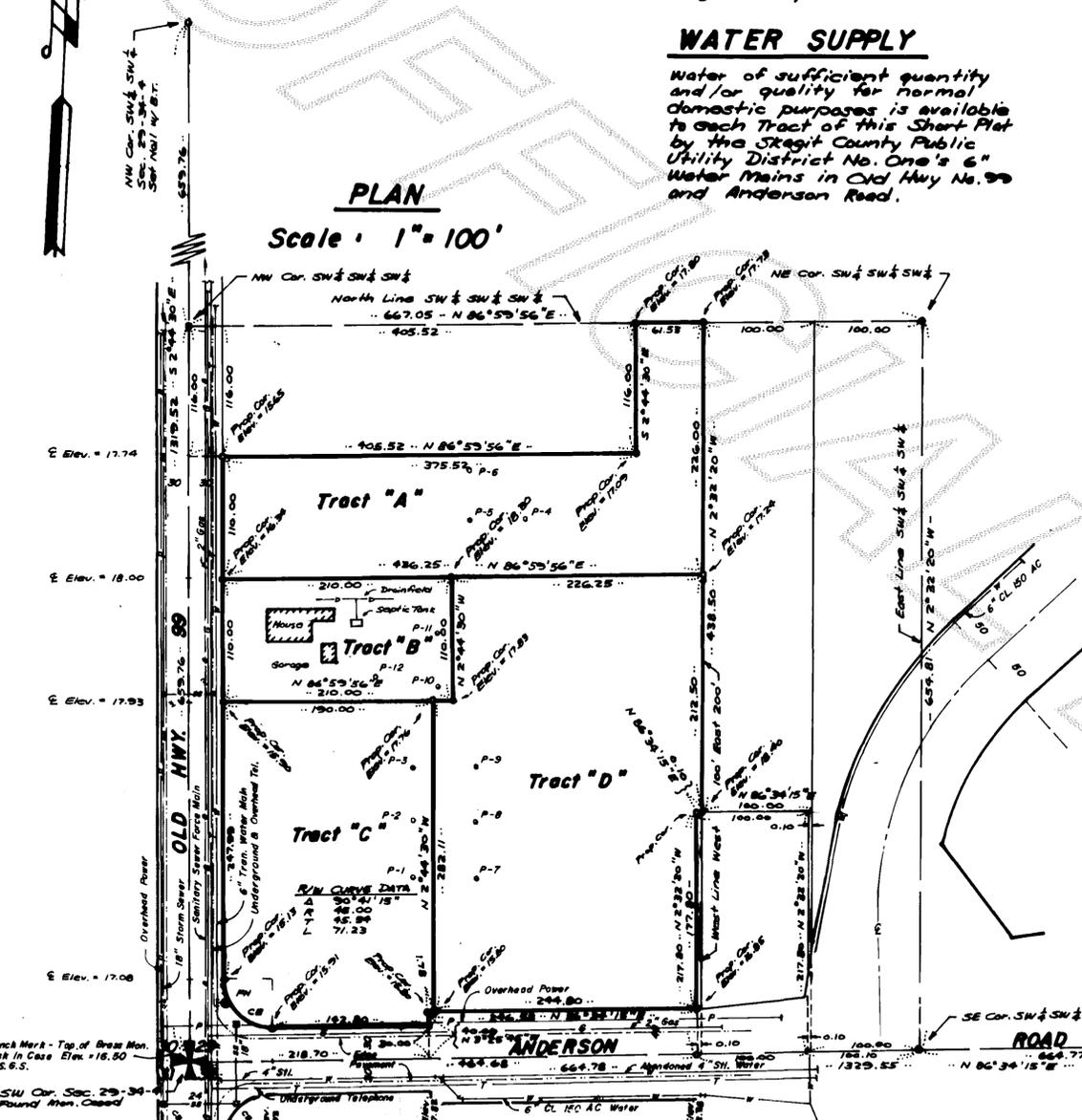
W. Eugene H. Wadley
W. Eugene H. Wadley

OWNER-DEVELOPER

BETTE B. GAULD
2341 NW 96 TH, Seattle, Wa. 98117

PLAN

Scale: 1" = 100'



LEGEND

- Prop. Cor.
 - IN
 - CB
 - FH
 - P-4
 - CENTER-LINE ELEVATION = 17.08 FEET U.S.S.
- Property Corner, Set 5/8" x 18" Steel Re-bar with yellow plastic cap imprinted "JUBY" 7538
- INLET
CATCH BASIN
FIRE HYDRANT
PERCOLATION TEST HOLE # 4
CENTER-LINE ELEVATION = 17.08 FEET U.S.S.

ZONING CLASSIFICATION

COMMERCIAL LOT AREAS

- Tract "A": 55,120.510 Sq. Ft. = 1.265 Acres
- Tract "B": 23,099.763 Sq. Ft. = 0.530 Acres
- Tract "C": 55,171.251 Sq. Ft. = 1.267 Acres
- Tract "D": 93,897.727 Sq. Ft. = 2.154 Acres

NOTES

1. Buyer should beware that this subdivision is located in the flood plain and significant elevation may be required as a condition for a building permit.

AUDITOR'S CERTIFICATE

Filed for the record this 22 day of July, 1982, at 32 minutes past 9 o'clock A.M. in Volume 19 of Short Plats at page 3 and recorded under Auditor's File No. 8207220006 at the request of Bette B. Gauld.

Luella Henry
Luella Henry
Auditor, Skagit County
By *Jandra Chang*

SURVEYOR'S CERTIFICATE

This map correctly represents a survey made by me or under my direction in conformance with the requirements of Skagit County short subdivision Ordinance No. 5544 as amended September 3, 1974, at the request of Bette B. Gauld.

LEGROS & JUDY
Engineers & Surveyors
815 Cleveland Avenue
Mount Vernon, Washington

Gwynne D. LeGros
GWYNNE D. LEGROS
Registered Professional
Engineer & Land Surveyor

SHORT PLAT NO. 21-82 6-30-82

BETTE B. GAULD PROPERTY SURVEY
PTN. SW $\frac{1}{4}$ SW $\frac{1}{4}$ SW $\frac{1}{4}$
SEC. 29, T. 34 N., R. 4 E.W.M.
SKAGIT COUNTY, WASHINGTON

UNRECORDED
FILED

After recording return document to:
JOHN G. KAMB
MOUNT VERNON WA 98273

SKAGIT COUNTY RECORDER
KATHY HILL

99 APR 14 P3:03

9904140112

RECORDED _____ FILED _____
REQUEST OF _____

Document Title: Statutory Warranty Deed
Grantor(s): Carl S. Hansen and Dixie M. Hansen, husband and wife
Grantee(s): Mark D. Hansen (1/2) and Daniel C. Hansen/Erin E. Hansen h/w (1/2)
Abbreviated Legal Description: Tr C & D, SP 21-82 in SW 1/4 SW 1/4 SW 1/4 Sec 29, Twp 34 N R 4 E
Assessor's Tax/Parcel Number(s): 340429-3-016-0504 P28724

STATUTORY WARRANTY DEED

The Grantor(s) *Carl S. Hansen and Dixie M. Hansen*, husband and wife, for and in consideration of transfer to family partnership, in hand paid, convey and warrant to *Mark D. Hansen and undivided one-half (1/2) interest and Daniel C. Hansen and Erin E. Hansen, husband and wife and undivided one-half (1/2) interest*, in the following described real estate, situated in the County of Skagit, State of Washington:

Tract C of Skagit County Short Plat No. 21-82 as approved July 20, 1982, and recorded July 22, 1982, in Volume 6 of Short Plats, page 3, under Auditor's File No. 8207220006, records of Skagit County, Washington; being a portion of the Southwest Quarter of the Southwest Quarter of the Southwest Quarter of Section 29, Township 34 North, Range 4 East W.M., Skagit County, Washington.

Tract D of Short Plat No. 21-82 as approved July 20, 1982, and recorded July 22, 1982, in Volume 6 of Short Plats, page 3, under Auditor's File No. 8207220006, records of Skagit County, Washington; being a portion of the Southwest Quarter of the Southwest Quarter of the Southwest Quarter of Section 29, Township 34 North, Range 4 East of W.M., Skagit County, Washington.

Dated April 1st, 1999

28814 *Carl S. Hansen*
SKAGIT COUNTY WASHINGTON
Carl S. Hansen

APR 14 1999 *Dixie M. Hansen*
Dixie M. Hansen

STATE OF WASHINGTON
COUNTY OF SKAGIT
Amount Paid \$ _____
By *[Signature]* Skagit County Treasurer

I certify that I know or have satisfactory evidence that Carl S. Hansen and Dixie M. Hansen signed this instrument and acknowledged it to be their free and voluntary act for the uses and purposes mentioned in the instrument. Dated April 1st, 1999:



John G. Kamb
Notary Public for the State of Washington
Residing at Mount Vernon
My Commission Expires: 9/24/01

9904140112

BK 1974 PG 0320

Name: John B. Frey Frey

Address: PO Box 2956

City and State: Mount Vernon, WA 98273

Tax Account Number: portion P28740 to P28095
Escrow #: JM-1271

STATUTORY WARRANTY DEED

THE GRANTOR WW Pond LLC, a Washington LLC,

for and in consideration of \$6,000.00

in hand paid, conveys and warrants to John B. Frey and Michelle ^{Frey}~~Frey~~, husband and wife,

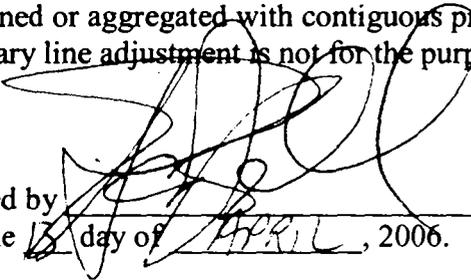
the following described real estate, situated in the County of Skagit, State of Washington:

That portion of the Southwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M. described as follows:

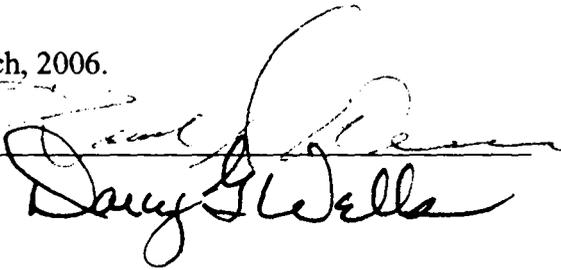
The South 217.8 feet of the East 100 feet of the East 200 feet of the Southwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M.

EXCEPT that portion thereof acquired by the State of Washington by Judgment and Decree of Appropriation filed February 15, 1973 as Item 1 in Skagit County Cause No. 33040.

The above described property will combined or aggregated with contiguous property owned by the Grantees to the West. This boundary line adjustment is not for the purposes of creating an additional building lot.

This boundary line adjustment is approved by 
the City Engineer of Mount Vernon on the 13 day of APRIL, 2006.

Dated this ____ day of March, 2006.

WW Pond, LLC by: 

STATE OF WASHINGTON, }
County of SKAGIT } SS.

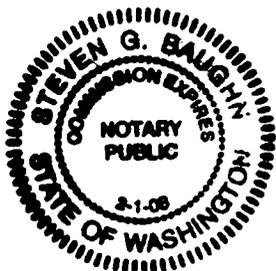
ACKNOWLEDGMENT - Representative Capacity

I certify that I know or have satisfactory evidence that PAUL S. WELLS AND DARCY G. WELLS
~~is~~ ^{ARE} the person who appeared before me, and said person acknowledged that ~~he~~ ^{they} signed this instrument, on oath stated that ~~he~~ ^{they}
~~was~~ ^{ARE} authorized to execute the instrument and acknowledged it as the THEY MANAGERS ^{THEY}

_____ of
WV POND, LLC

to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

GIVEN under my hand and official seal the day and year last above written.



Notary Public in and for the State of Washington,
residing at MOUNT VERNON
My appointment expires 02-01-2008

EXHIBIT "A"

THAT PORTION OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., DESCRIBED AS FOLLOWS:

THE SOUTH 217.8 FEET OF THE EAST 100 FEET OF THE EAST 200 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M.

EXCEPT THAT PORTION ACQUIRED BY THE STATE OF WASHINGTON BY JUDGMENT AND DECREE OF APPROPRIATION FILED FEBRUARY 15, 1973 UNDER SC#33040, ITEM 1.

SITUATE IN COUNTY OF SKAGIT, STATE OF WASHINGTON.

28687 P28702 P28714
 28688 P28705 P28715
 P28670
 P28654

SURVEY
 VOL. 14, PG. 61

P28234

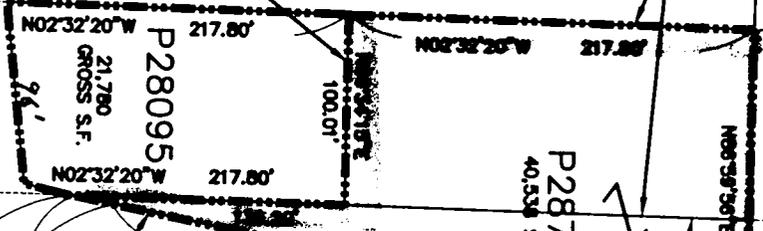
TRACT "A", SHORT PLAT
 NO. 21-82, A.F. NO.
 8207220006, RECORDS
 OF SKAGIT COUNTY,
 WASHINGTON
 P28722

THE WEST 100 FEET OF THE
 EAST 200 FEET OF THE SW 1/4
 OF THE SW 1/4 OF THE SW 1/4,
 SECTION 29, TOWNSHIP 34
 NORTH, RANGE 4 EAST, W.M.

S/P 21-82

THE NORTH LINE OF THE
 SOUTH 277.8 FEET OF THE
 WEST 100 FEET OF THE EAST
 200 FEET OF THE SW 1/4 OF
 THE SW 1/4 OF THE SW 1/4,
 SECTION 29, TOWNSHIP 34
 NORTH, RANGE 4 EAST, W.M.

ANDERSON ROAD



THE EASTERLY PROLONGATION OF
 THE SOUTH LINE OF TRACT "A",
 SHORT PLAT NO. 21-82, A.F. NO.
 8207220006, RECORDS OF SKAGIT
 COUNTY, WASHINGTON

HENSON ROAD

THE EAST 100 FEET OF
 THE EAST 200 FEET OF
 THE SW 1/4 OF THE
 SW 1/4 OF THE SW 1/4,
 SECTION 29, TOWNSHIP 34
 NORTH, RANGE 4 EAST,
 W.M.

THAT PORTION ACQUIRED BY
 THE STATE OF WASHINGTON
 BY JUDGMENT AND DECREE
 OF APPROPRIATION FILED
 FEBRUARY 15, 1973 UNDER
 SC03040, ITEM 1,

INCLUDED IN AREA CALCULATION



SCALE: 1 INCH = 100 FEET

BEFORE BOUNDARY LINE ADJUSTMENT

INTERSTATE HIGHWAY 5

EXHIBIT "A"

Tax Parcel ID#P28740

THAT PORTION OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., AND THAT PORTION OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., DESCRIBED AS FOLLOWS:

THE WEST 1/2 OF SAID SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, LYING NORTHWESTERLY OF THAT CERTAIN STRIP OF LAND CONVEYED TO THE STATE OF WASHINGTON, BY DEED, DATED DECEMBER 21, 1972, RECORDED DECEMBER 29, 1972, UNDER AUDITOR'S FILE NUMBER 778773.

TOGETHER WITH THE EAST 200.00 FEET OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29.

EXCEPTING FROM THE ABOVE DESCRIBED SUBDIVISIONS, ANY PORTIONS LYING NORTH OF THE EASTERLY PROLONGATION OF THE SOUTH LINE OF THAT REAL PROPERTY KNOWN AS TRACT "A", OF SHORT PLAT NUMBER 21-82, IN VOLUME 6, OF SHORT PLATS, PAGE 3, RECORDED UNDER AUDITOR'S FILE NUMBER 8207220006, RECORDS OF SKAGIT COUNTY, STATE OF WASHINGTON.

ALSO EXCEPTING THERE FROM, ANY PORTIONS LYING WITHIN THE SOUTH 217.80 FEET OF SAID SUBDIVISIONS.

ALSO EXCEPTING THERE FROM, THAT PORTION ACQUIRED BY THE STATE OF WASHINGTON BY JUDGMENT AND DECREE OF APPROPRIATION FILED FEBRUARY 15, 1973 UNDER SC#33040, ITEM 1.

SITUATE IN THE COUNTY OF SKAGIT, STATE OF WASHINGTON.

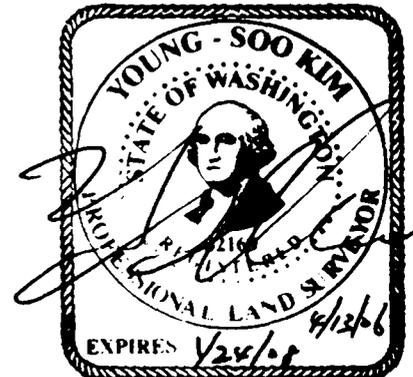


EXHIBIT "A"

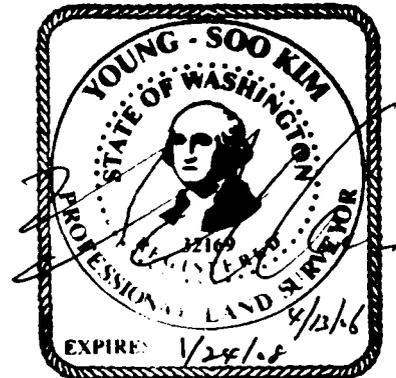
Tax Parcel ID#P28095

THAT PORTION OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., DESCRIBED AS FOLLOWS:

THE SOUTH 217.8 FEET OF THE EAST 200 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M.

EXCEPT THAT PORTION ACQUIRED BY THE STATE OF WASHINGTON BY JUDGMENT AND DECREE OF APPROPRIATION FILED FEBRUARY 15, 1973 UNDER SC#33040, ITEM 1.

SITUATE IN COUNTY OF SKAGIT, STATE OF WASHINGTON.





PLEASE TYPE OR PRINT
SEE BACK PAGE

REAL ESTATE EXCISE TAX AFFIDAVIT

CHAPTER 82.45 RCW - CHAPTER 458-61 WAC
FOR USE AT COUNTY TREASURER'S OFFICE

This form is your receipt
when stamped by cashier.

(Use Form No. 84-0001B for Reporting Transfers of Controlling Interest of Entity Ownership to the Department of Revenue)

THIS AFFIDAVIT WILL NOT BE ACCEPTED UNLESS ALL AREAS 1-7 ARE FULLY COMPLETED

SELLER GRANTOR	Name <u>WW Pond LLC</u>	BUYER GRANTEE	Name <u>John B Frey Frey</u> <u>Michelle Frey Frey</u>
	Street <u>PO Box 1223</u>		Street <u>PO Box 2956</u>
	City/State/Zip <u>Mount Vernon, WA 98273</u>		City/State/Zip <u>Mount Vernon, WA 98273</u>
ADDRESS TO SEND ALL PROPERTY TAX RELATED CORRESPONDENCE		ALL TAX PARCEL NUMBERS	COUNTY TREASURER PLACE ASSESSED VALUE IF TAX EXEMPT
Name <u>same as buyers</u>		<u>portion P 78740</u>	
Street _____			
City/State/Zip _____			

LEGAL DESCRIPTION OF PROPERTY SITUATED IN UNINCORPORATED _____ COUNTY OR IN CITY OF Mount Vernon

Street Address (if property is improved): _____

See attached

Is this property currently:

	YES	NO
Classified or designated as forest land? Chapter 84.33 RCW	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Classified as current use land (open space, farm and agricultural, or timber)? Chapter 84.34 RCW	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exempt from property tax as a nonprofit organization? Chapter 84.36 RCW	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Seller's Exempt Reg. No. _____		
Receiving special valuation as historic property? Chapter 84.26 RCW	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Property Type: land only land with new building
 land with previously used building land with mobile home
 timber only building only

Principal Use: Apt. (4+ unit) residential
 timber agricultural commercial/industrial
 other _____

(1) NOTICE OF CONTINUANCE (RCW 84.33 OR RCW 84.34)
 If the new owner(s) of land that is classified or designated as current use or forest land wish to continue the classification or designation of such land, the new owner(s) must sign below. If the new owner(s) do not desire to continue such classification or designation, all compensating or additional tax calculated pursuant to RCW 84.33.120 and 140 or RCW 84.34.108 shall be due and payable by the seller or transferor at the time of sale. The county assessor must determine if the land transferred qualifies to continue classification or designation and must so indicate below. Signatures do not necessarily mean the land will remain in classification or designation. If it no longer qualifies, it will be removed and the compensating taxes will be applied. All new owners must sign.

This land does does not qualify for continuance.

Date _____

 DEPUTY ASSESSOR

(2) NOTICE OF COMPLIANCE (Chapter 84.26 RCW)
 If the new owner(s) of property with special valuation as historic property wish to continue this special valuation the new owner(s) must sign below. If the new owner(s) do not desire to continue such special valuation, all additional tax calculated pursuant to Chapter 84.26 RCW, shall be due and payable by the seller or transferor at the time of sale.

(3) OWNER(S) SIGNATURE

Description of personal property included in gross selling price, both tangible (eg: furniture, equipment, etc.) or intangible (eg: goodwill, agreement not to compete, etc.)

If exemption claimed, list WAC number and explanation. (If claiming a gift transfer, see instruction sheet.)
 WAC No. (Sec/Sub) _____
 Explanation _____

Type of Document Warranty Deed
 Date of Document March, 2006

Gross Selling Price \$ 6,000.00
 Personal Property (deduct) \$ _____
 Taxable Selling Price \$ _____
 Excise Tax: State \$ _____
 Local \$ _____
 Delinquent Interest: State \$ _____
 Local \$ _____
 Fee Delinquent Penalty \$ 5.00
 Total Due \$ 111.80

A MINIMUM OF \$2.00 IS DUE AS A PROCESSING FEE AND TAX.

AFFIDAVIT

I Certify Under Penalty of Perjury Under The Laws of The State of Washington That The Foregoing Is True And Correct. (See back page of this form).

Signature of Grantor/Agent [Signature]
 Name (print) Darcy S. Wells
 Date and Place of Signing: 4/4/06

Signature of Grantee/Agent [Signature]
 Name (print) John B. Frey / Michelle Frey
 Date & Place of Signing: 4/4/06

Perjury: Perjury is a class C felony which is punishable by imprisonment in the state correctional institution for a maximum term of not more than five years, or by a fine in an amount fixed by the court of not more than five thousand dollars (\$5,000.00), or by both imprisonment and fine (RCW 9A.20.020 (1C)).

Name: John B. ~~Frye~~ Frey

Address: PO Box 2956

City and State: Mount Vernon, WA 98273

Tax Account Number: portion P28740 to P28095

Escrow #: JM-1271

STATUTORY WARRANTY DEED

THE GRANTOR WW Pond LLC, a Washington LLC,

for and in consideration of \$6,000.00

in hand paid, conveys and warrants to John B. Frey and Michelle ^{Frey} Frey, husband and wife,

the following described real estate, situated in the County of Skagit, State of Washington:

That portion of the Southwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M. described as follows:

The South 217.8 feet of the East 100 feet of the East 200 feet of the Southwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M.

EXCEPT that portion thereof acquired by the State of Washington by Judgment and Decree of Appropriation filed February 15, 1973 as Item 1 in Skagit County Cause No. 33040.

The above described property will combined or aggregated with contiguous property owned by the Grantees to the West. This boundary line adjustment is not for the purposes of creating an additional building lot.

This boundary line adjustment is approved by
the City Engineer of Mount Vernon on the 15th day of April, 2006.

Dated this _____ day of March, 2006.

WW Pond, LLC by: Darryl Wells

Name: John B. Frey Frey

Address: PO Box 2956

City and State: Mount Vernon, WA 98273

Tax Account Number: portion P28740 to P28095
Escrow #: JM-1271

STATUTORY WARRANTY DEED

THE GRANTOR WW Pond LLC, a Washington LLC,

for and in consideration of \$6,000.00

in hand paid, conveys and warrants to John B. Frey and Michelle ^{Frey}~~Frey~~, husband and wife,

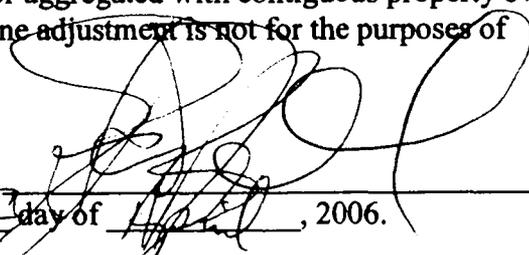
the following described real estate, situated in the County of Skagit, State of Washington:

That portion of the Southwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M. described as follows:

The South 217.8 feet of the East 100 feet of the East 200 feet of the Southwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M.

EXCEPT that portion thereof acquired by the State of Washington by Judgment and Decree of Appropriation filed February 15, 1973 as Item 1 in Skagit County Cause No. 33040.

The above described property will combined or aggregated with contiguous property owned by the Grantees to the West. This boundary line adjustment is not for the purposes of creating an additional building lot.

This boundary line adjustment is approved by  the City Engineer of Mount Vernon on the 13th day of April, 2006.

Dated this _____ day of March, 2006.

WW Pond, LLC by: Darcy Wells

Name: John B. Frey Frey

Address: PO Box 2956

City and State: Mount Vernon, WA 98273

Tax Account Number: portion P28740 to P28095

Escrow #: JM-1271

STATUTORY WARRANTY DEED

THE GRANTOR WW Pond LLC, a Washington LLC,

for and in consideration of \$6,000.00

in hand paid, conveys and warrants to John B. Frey and Michelle ^{Frey}~~Frye~~, husband and wife,

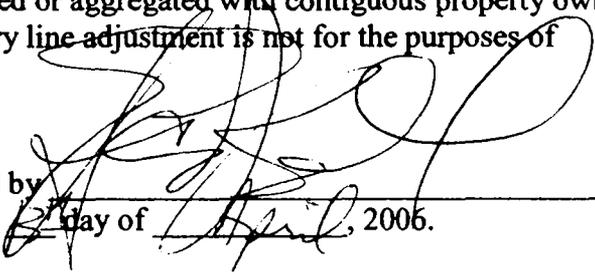
the following described real estate, situated in the County of Skagit, State of Washington:

That portion of the Southwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M. described as follows:

The South 217.8 feet of the East 100 feet of the East 200 feet of the Southwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M.

EXCEPT that portion thereof acquired by the State of Washington by Judgment and Decree of Appropriation filed February 15, 1973 as Item 1 in Skagit County Cause No. 33040.

The above described property will combined or aggregated with contiguous property owned by the Grantees to the West. This boundary line adjustment is not for the purposes of creating an additional building lot.

This boundary line adjustment is approved by  the City Engineer of Mount Vernon on the 2 day of April, 2006.

Dated this _____ day of March, 2006.

WW Pond, LLC by: 

Name: John B. ~~Frye~~ Frey

Address: PO Box 2956

City and State: Mount Vernon, WA 98273

Tax Account Number: portion P28740 to P28095
Escrow #: JM-1271

STATUTORY WARRANTY DEED

THE GRANTOR WW Pond LLC, a Washington LLC,

for and in consideration of \$6,000.00

in hand paid, conveys and warrants to John B. Frey and Michelle ^{Frey}~~Frye~~, husband and wife,

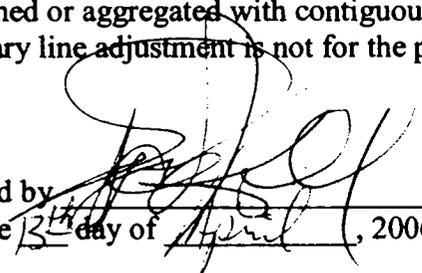
the following described real estate, situated in the County of Skagit, State of Washington:

That portion of the Southwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M. described as follows:

The South 217.8 feet of the East 100 feet of the East 200 feet of the Southwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M.

EXCEPT that portion thereof acquired by the State of Washington by Judgment and Decree of Appropriation filed February 15, 1973 as Item 1 in Skagit County Cause No. 33040.

The above described property will combined or aggregated with contiguous property owned by the Grantees to the West. This boundary line adjustment is not for the purposes of creating an additional building lot.

This boundary line adjustment is approved by 
the City Engineer of Mount Vernon on the 13th day of April, 2006.

Dated this ____ day of March, 2006.

WW Pond, LLC by: 

P28095

AFTER RECORDING MAIL TO:
Mr. and Mrs. John B. Frey
PO Box 2956
Moult Vernon, WA 98273

200512290147
Skagit County Auditor
12/29/2005 Page 1 of 1 1:36PM

Filed for Record at Request of
First American Title Of Skagit County
Escrow Number: 86559

Statutory Warranty Deed

Grantor(s): James B. Koetje and Richard E. Lemmon
Grantee(s): John B. Frey and Michelle Frey
Assessor's Tax Parcel Number(s): 340429-3-023-0206, P28095
FIRST AMERICAN TITLE CO.
86559E-1

THE GRANTOR James B. Koetje, as his separate estate, Richard E. Lemmon, as his separate estate for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid, conveys and warrants to John B. Frey and Michelle Frey, husband and wife the following described real estate, situated in the County of Skagit, State of Washington.

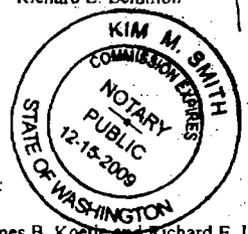
That portion of the Southwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M., described as follows:

Beginning at a point on the South line of said subdivision that is 464.68 feet East of the Southwest corner thereof; thence North 88 degrees 37' East along said South line, 100 feet; thence North 0 degrees 30' West parallel to the East line of said subdivision, 217.8 feet; thence South 88 degrees 37' West, 100 feet; thence South 0 degrees 30' East, 217.8 feet to the point of beginning; EXCEPT County road right-of-way along the South line thereof EXCEPT that portion, if any, lying within the East 100 feet of the South 544.5 feet of said subdivision; AND EXCEPT that portion condemned by the State of Washington in Judgment and Decree of Appropriation entered March 23, 1973 under Skagit County Superior Court Cause No. 33040.

Dated: December 20, 2005

James B. Koetje
James B. Koetje

Richard E. Lemmon
Richard E. Lemmon



STATE OF Washington)
COUNTY OF Skagit) SS:

I certify that I know or have satisfactory evidence that James B. Koetje and Richard E. Lemmon, the persons who appeared before me, and said person(s) acknowledged that he/she/they signed this instrument and acknowledge it to be his/her/their free and voluntary act for the uses and purposes mentioned in this instrument.

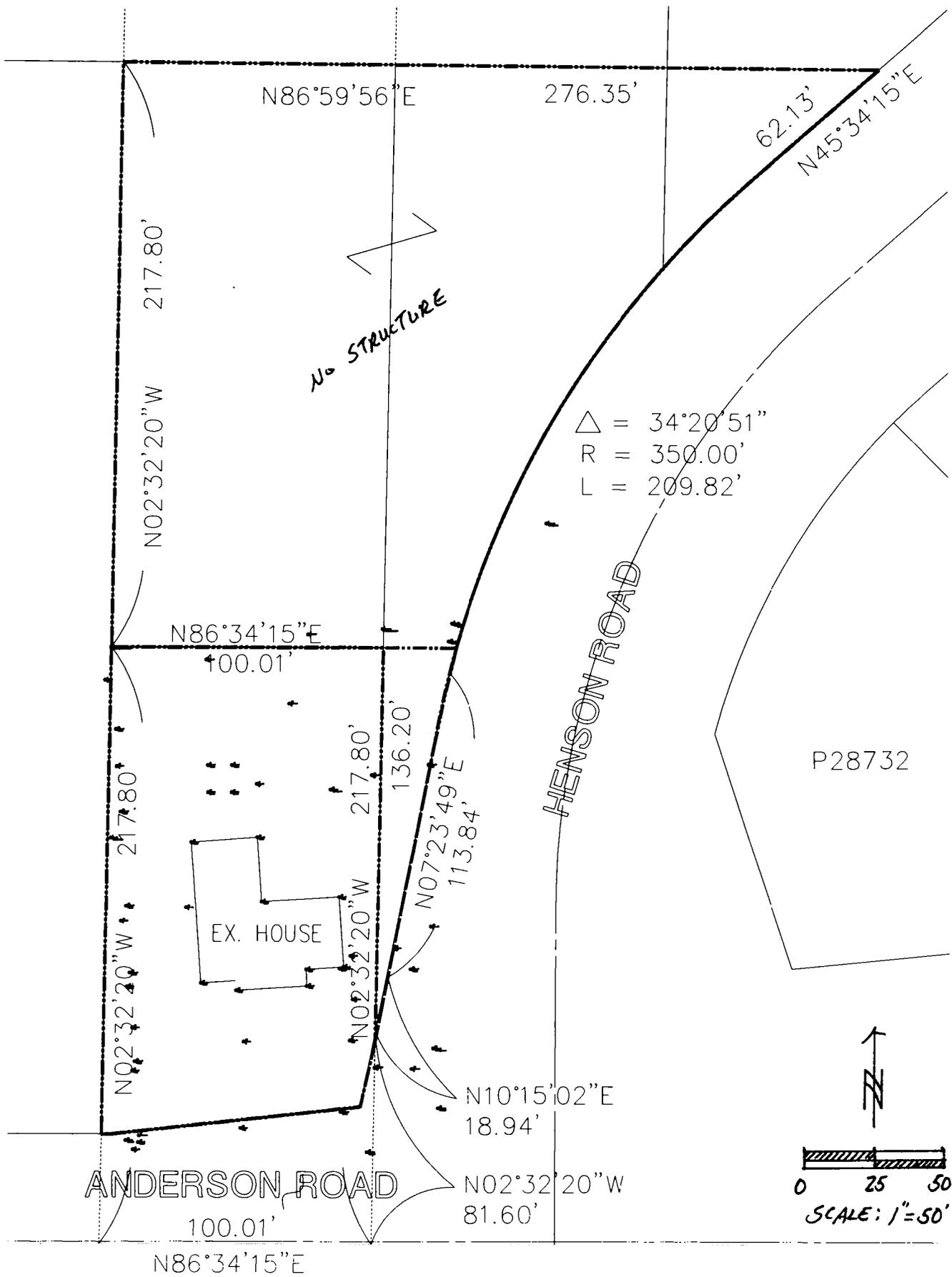
Date: 12/28/05

Kim M. Smith
Notary Public in and for the State of Washington
Residing at Moult Vernon
My appointment expires: 12/15/09

7179
SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

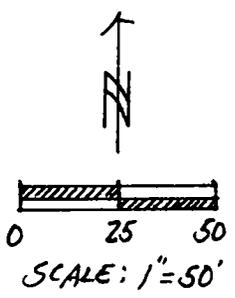
DEC 29 2005

Amount Paid: 3565.60
Skagit Co. Treasurer
By *[Signature]*



No STRUCTURE

$\Delta = 34^{\circ}20'51''$
 $R = 350.00'$
 $L = 209.82'$



**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 46

KATHY HILL
SKAGIT COUNTY AUDITOR

When recorded return to:

Rosemary Kamb
702 Main Street
Mount Vernon, WA 98273

9806110036

98 JUN 11 A9 54

RECORDED _____ FILED _____
REQUEST OF _____

QUIT CLAIM DEED

THE GRANTOR Dan Hansen

for and in consideration of transfer to Limited Liability Company

conveys and quit claims to Central Moving & Storage, L.L.C.

the following described real estate, situated in the County of Skagit State of Washington, together with all after acquired title of the grantor(s) therein.

Tract "B" of Skagit County Short Plat NO. 21-82, approved July 20, 1982, and recorded July 22, 1982, under Auditor's File No. 8207220006, in Volume 6 of Short Plats, page 3, records of Skagit County, Washington; being a portion of the Southwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 29, Township 34 North, Range 4 East, W.M.

SUBJECT TO: Paragraph 9, Schedule B, and Paragraphs A and B, Schedule "B-1", of First American Title Insurance Company Preliminary Commitment for Title Insurance No. 17824.

Tax Parcel # 340429-3-016-0009

23852
SKAGIT COUNTY WASHINGTON
Real Estate Excise Tax

JUN 11 1998

Dated April 21, 19 98

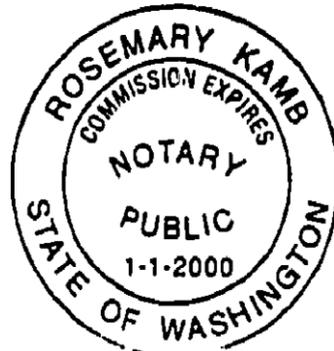
Dan Hansen
Dan Hansen

Amount Paid \$
By Skagit Co. Treasurer Deputy

State of Washington }
County of Skagit }

On this day personally appeared before me

Dan Hansen
to me known to be the individual described in and who executed the within and foregoing instrument, and acknowledged that he signed the same as his free and voluntary act and deed, for the used and purposes therein mentioned.



GIVEN under my hand and official seal this 21 day of April, 1998.

Rosemary Kamb
Notary Public in and for the State of Washington, residing at Mount Vernon, Wa.
My appointment expires: Jan. 1, 2000

9806110036

BK 1824 PG 0352

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 47

When recorded return to:

Mr. and Mrs. James C. Weber
221 Baker View Lane
Camano Island, WA 98282



200810240114
Skagit County Auditor

10/24/2008 Page 1 of 2 3:40PM

Filed for Record at Request of
Land Title and Escrow
Escrow Number: 131301-PE

Grantor: Vernon V. Curtis
Grantee: James C. Weber and Katherine A. Weber

LAND TITLE OF SKAGIT COUNTY

Statutory Warranty Deed

THE GRANTOR VERNON V. CURTIS, a single man, on the date of acquiring title, August 8, 2008 and all times since for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid, conveys and warrants to JAMES C. WEBER and KATHERINE A. WEBER, husband and wife the following described real estate, situated in the County of Skagit, State of Washington:

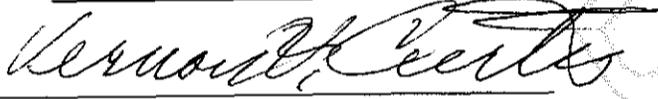
Abbreviated Legal: Ptn NW 1/4 Of SW 1/4 Of SW 1/4, 29-34-4 E W.M.

SEE ATTACHED EXHIBIT "A" HERETO FOR LEGAL DESCRIPTION

Tax Parcel Number(s): 340429-3-014-0001, P28652

Subject to all covenants, conditions, restrictions, reservations, agreements and easements of record including, but not limited to, those shown on Schedule "B-1" of Land Title Company's Preliminary Commitment No. 131301-PE.

Dated October 24, 2008


Vernon V. Curtis

3493
SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

OCT 24 2008

Amount Paid \$ 2230.00
Skagit Co. Treasurer
By Man Deputy

STATE OF Washington }
COUNTY OF Skagit } SS:

I certify that I know or have satisfactory evidence that Vernon V. Curtis
the person(s) who appeared before me, and said person(s) acknowledged that he
signed this instrument and acknowledge it to be his free and voluntary act for the
uses and purposes mentioned in this instrument.

Dated: October 24, 2008


Karen Ashley
Notary Public in and for the State of Washington
Residing at Sedro-Woolley
My appointment expires: 9/11/2010



EXHIBIT A

The West 135 feet of the East 434 feet of the North 120 feet of the Northwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 29, Township 34 North, Range 4 East, W.M., EXCEPT the North 20 feet thereof.

TOGETHER WITH a non-exclusive easement for ingress and egress to and from the state highway over that portion of the North 20 feet of said subdivision, lying West of the East line extended of said tract.

Situate in the City of Mount Vernon, County of Skagit, State of Washington.



200810240114
Skagit County Auditor

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 48

EXHIBIT "A"

The West 30 feet of the following described property:

The West 135 feet of the East 434 feet of the North 120 feet of the Northwest ¼ of the Southwest ¼ of the Southwest ¼ Section 29, Township 34 North, Range 4 East, W.M.

Together with a non-exclusive easement for ingress and egress to and from the State Highway over that portion of the North 20 feet of said subdivision, lying West of the East line extended of said tract.

Situate in the County of Skagit, State of Washington

BOUNDARY ADJUSTMENT

Reviewed and approved

in accordance with S.C.

Code Chapter 14.18

Grace Roeder

SKAGIT CO. PLANNING & PERMIT CNTR

Date: 3/6/2003



200303060122

Skagit County Auditor

EXHIBIT "B"

The North 120 feet of the Northwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 29,
Township 34 North, Range 4 East, W.M.

EXCEPT the North 20 feet thereof,

EXCEPT the East 434 feet thereof, and

EXCEPT the West 30 feet thereof for Pacific Highway.

Situate in the County of Skagit, State of Washington



200303060122

Skagit County Auditor

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 49

Land Segments for Parcel: P28650

LAND SEGMENT 1

Land Segment Size: 0.6000Acre

Land Segment Size: 26136.00 Square Feet

Appraisal Method: SQUARE FOOT

Description: CLEARED

Market Value: \$107,800.00

Comment: NEEDS APPROX 2FT FILL + DEV

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 50



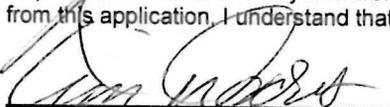
Building Permit

City of Mount Vernon
 910 Cleveland Avenue
 Mount Vernon, WA 98273
 (360) 336-6214
 Inspection Line: (360) 336-6243

Issue Date: Friday, October 25, 2013	Parcel#: P28645	Permit#: PR20130000507
Site Address: 2501 HENSON ROAD	Sign Size:	Use Zone: Commercial
Owner's Name: CYMBALUK FAMILY LLC <NO STREET ADDRESS>, 4103 100TH PL SE EVERETT, WA 98208	Square Footage Building: Porch: Garage: Deck:	Setbacks Front: Side: Side: Rear:
Contractor's Name: CYMBALUK FAMILY LLC <NO STREET ADDRESS>, 4103 100TH PL SE EVERETT, WA 98208	Conditions/Comments:	Occupancy Use: Business Construction type: Type V B Dwelling Units: No. of Bedrooms: Total Valuation: \$100,000
To perform the following work: Construct TI and addition-Enclose existing wash bay and construct new canopy on west side of bldg.		
Legal Description: ACRES 3.62, DK 3: THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, SECTION 29, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., EXCEPT THE WEST 31 FEET THEREOF; AND EXCEPT 200 FOOT STRIP OF LAND CONVEYED TO STATE OF WASHINGTON FOR PSH NO. 1,		

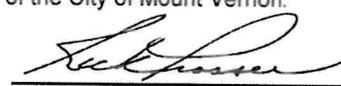
Condition	Description	Status	Department	Total Fees	Amount
				Building Valuation Fee - 2020	\$887.25
				State Surcharge - 8240	\$4.50
				Plan Check Fee - 2020	\$576.71
				Tech Fee - 4136	\$43.92
Total Due					\$1,512.38

Notice: This permit is issued by the Building Official and, under provisions of the international Building Code, shall expire by limitation and become null and void if the building or work authorized by such permit is not commenced within 180 days from the date of permit issuance, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days. By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not, including calls for inspections. I will do all of my own work or use only registered and licensed contractors to do work performed under the permit resulting from this application. I understand that L & I provides information regarding contractor registration laws. (RCW 18.27.110)


 Signature of Owner/Agent

10-25-13
 Date

When signed and dated below, this is your permit. Permission is hereby given to do the aboved described work, according to the conditions hereon and according to the approved plans and specifications pertaining thereto, subject to compliance with the ordinances of the City of Mount Vernon.


 Building Official


 Permit Issued By

10-25-13
 Date



13-507

RECEIVED
CITY OF MOUNT VERNON

AUG 02 2013

C.E.D. DEPARTMENT
BY _____

City of Mount Vernon – Community & Economic Development Department
910 Cleveland/P.O. Box 809
Mount Vernon, WA 98273
360-336-6214

Building Permit Application

Site
 Address: 2501 Henson Road, Mt Vernon, WA 98273
 Parcel Number: P28645 Lot Number: _____
 Plat Name: _____ Flood Zone: _____
 Owner Name: Cymbaluk Family, LLC

 Address (if different than the site): 4103 100TH PL SE, Everett, WA 98208
 Phone: _____ Cell Phone: _____
 E-mail: _____

Contractor
 Name: TBD
 Labor & Industries License
 number: _____
 L & I expiration date: _____ City Business License #: _____
 Contact Name: Brian Ludwig, Innova Architects Phone: (253) 572-4903
 Cell Phone: _____ E-mail: bludwig@innovaarchitects.com
 Lender Name, address &
 phone: _____

Valuation of Project: \$100,000.00
 Detailed Project Description: Please see attached Project Description

I certify that I am the owner, or am acting as the owner's authorized agent, and that the application and documents contained with this submittal are complete and accurate to the best of my knowledge and abilities.
Signature: [Signature] INNOVA ARCHITECTS
Signature of Owner /Agent

Amount of Plan Reviewed paid: 576.71



Building Inspection Record

City of Mount Vernon
910 Cleveland Avenue
Mount Vernon, WA 98273
(360) 336-6214

Inspection Line: (360) 336-6243

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Condition	Description	Status	Department
-----------	-------------	--------	------------

1. Foundation. Property lines must be staked <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr><th>Inspection</th><th>Date</th><th>By</th></tr> </thead> <tbody> <tr><td>Temp Erosion Control</td><td></td><td></td></tr> <tr><td>Temp Address</td><td></td><td></td></tr> <tr><td>Setbacks</td><td></td><td></td></tr> <tr><td>Footing Reinforcement*</td><td>9-6-14</td><td>AB</td></tr> <tr><td>Wall & Reinforcement</td><td></td><td></td></tr> <tr><td>Monopour</td><td></td><td></td></tr> <tr><td>Slab w/ Insulation</td><td></td><td></td></tr> <tr><td>Ground Work Plumbing</td><td></td><td></td></tr> <tr><td>Hold Downs</td><td></td><td></td></tr> </tbody> </table> 2. 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Conditions Notes:

* Footings for bollards OK. 9-3-14 AB
 ** Bolting @ base plate OK for burial. 10-7-14 AB

S06-028

CITY OF MOUNT VERNON
APPLICATION FOR COMMERCIAL SEWER CONNECTION
Mount Vernon Development Services Department (360) 336-6214

RECEIVED
DEC 06 2006

Site Address 2501 Henson Rd

Owner Tenant Registered Agent C.E.D. BY

Name Cymbaluk Family LLC

Address MOTOR TRUCKS INC

City _____ **Zip** _____ **Phone** _____

Contractor's Name CATAPULT

Address _____

City _____ **Zip** _____ **Phone** _____

Labor & Industries License/Exp. Date _____

Property Tax Account Number (Required) ("P" #)
P 28645
12/11 email sent to let know permit ready

Occupancy Use

Manufacturing Restaurant Office

Retail Church

School Storage

Square Footage of Structures Hooking Up to Sewer:

Building 1: _____

Building 2: _____

Building 3: _____

By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent, and that the application and documents contained with this submittal are complete and accurate to the best of my knowledge and abilities.

Tim Dacor 12-6-06
Signature of Owner/Agent _____ **Date** _____

Project Contact 428-0213 **Phone Number** _____

Fax Number _____ **E-mail Address** _____

DEPARTMENT PLUMBING		
No.	Type of Fixture	Fixture Unit
	Water Closet	
	Bathtub	
	Lavatory	
	Shower	
	Kitchen Sink	
	Dishwasher	
	Laundry Tray	
	Clothes Washer	
	Urinal/Bidet	
	Drinking Fountain	
	Floor Sink or Drain	
	Slop Sink	
	Grease Trap/Interceptor	

Application Checklist		
Applicant	Item	Office
	Application	
	Certified Legal Description	
	Certified Documentation of Ownership	
	Site Plan to scale - 2 sets	

FEES		
Engineering Fees		
Capacity Charge		
Expansion Charge		
Other/Review		
Total Fees		

City provided main no assistance more than that.

City of **Mount** **ernon**

Wastewater Division

1401 Britt Road
Mount Vernon, WA 98273-6511

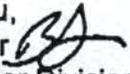
Phone (360) 336-6219
FAX (360) 424-8749
E-Mail mvwwtp@ci.mount-vernon.wa.us
www.ci.mount-vernon.wa.us

MEMORANDUM

Date: 8/29/06
To: Mike Cheek
From: Bill Fullner
RE: International Motor Truck Grit Sump

Mike,

I looked up the DOE BMPs for "Washing vehicle exteriors at new and used car/truck dealerships" Section 3 (DOE Pub WQ-R-95-56) and they recommend a 2.5' x 2.5' x 4' sump with an inverted elbow for an outlet with the floor being at least 24" below the outlet invert. I told Dennis Carlson with the City of Mount Vernon Development Services Department that I would approve a connection to the sanitary sewer for the truck hand washing station if you would install a vault with these dimensions. This approval is made with the condition that no pressure washing or engine cleaning will be done there. Please let the Motor Truck employees know that the vault will have to be periodically maintained and cleaned. Contact me if you have any questions.

Thank you,
Bill Fullner 
Wastewater Division Manager

Post-It® Fax Note	7671	Date	8/30/06	# of pages	3
To	Mike Cheek	From	Bill Fullner		
Co./Dept	CATAULT CONST	Co.	MV WWTP		
Phone #	661-0508	Phone #	336-6219		
Fax #	424-5466	Fax #	424-8749		

MOTOR TRUCKS INC.

2501

LT

INSTALL 50 LF 8" PVC W/CAP
S = 0.005

200' LF SS 18" PVC
S = 0.0025

SSEM PROP. STA. 16+60
TYPE II-48" DIA.
RIM EL. = 22.8 FT.
18" I.E. = 12.80 FT.
(W) 8" I.E. = 13.68 FT.

GRAPHIC SCALE

(IN FEET)
1 inch = 60 ft

SD 30" CONC.

EDGE OF ASPHALT

310 LF SS 18" PVC
S = 0.0025

HENSON RD

90 LF SS 18" PVC
S = 0.0025
SSEM PROP. STA. 13+50
TYPE II-48" DIA.
RIM EL. = 19.4 FT.
18" I.E. = 12.08 FT.

SD 18" CMP

260 LF SS 18" PVC
S = 0.0025

SSEM PROP. STA. 12+60
TYPE II-54" DIA.
RIM EL. = 18.3 FT.
SD 18" DIA I.E. = 11.90 FT. EXT.
SS 18" I.E. = 11.85 FT. PROP.
SEE DETAIL 2A

INTERSTATE 5

CEI

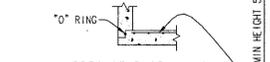
P 28645
 Permit S06-028
 2501 Henson Rd.

SEC. 29, TWP. 34N, RNG. 4E, W.M. MOUNT VERNON, SKAGIT COUNTY
 MOTOR TRUCK SIDE SEWER ETC.
 SIDE SEWER IMPROVEMENT PLAN

CALL 2-BUSINESS HOURS BEFORE YOU DIG
 1-800-424-5555



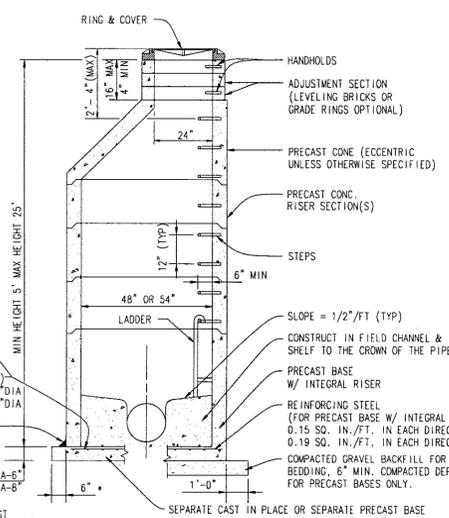
NOTE:
 FURNISH PRECAST SECTIONS WITH KNOCKOUTS FOR PIPE PENETRATIONS. KNOCKOUTS SHALL HAVE 2" MIN WALL THICKNESS AND KNOCKOUT DIAMETER SHALL EQUAL PIPE OUTSIDE DIA. PLUS MANHOLE WALL THICKNESS.



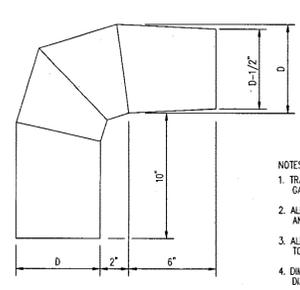
PRECAST BASE JOINT
 REINFORCING STEEL (FOR SEPARATE BASE ONLY)
 0.23 SQ. IN./FT. IN EACH DIRECTION FOR 48" DIA
 0.19 SQ. IN./FT. IN EACH DIRECTION FOR 54" DIA



* FOR SEPARATE CAST IN PLACE ONLY

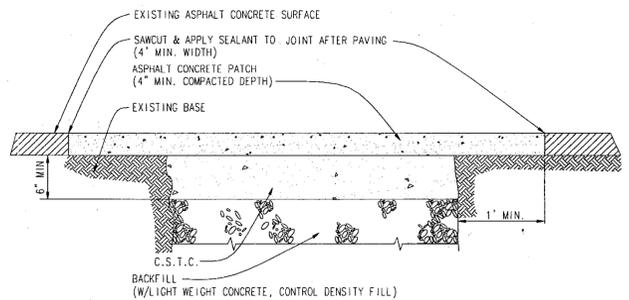
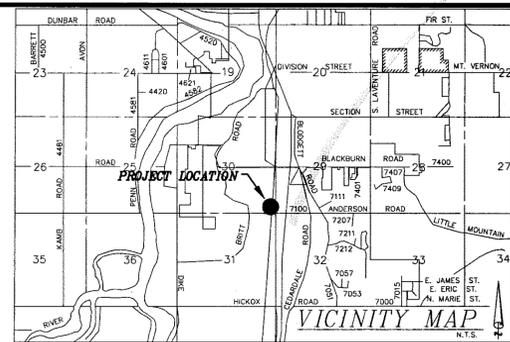


TYPE 1-48" SS MANHOLE DETAIL
 N.T.S.

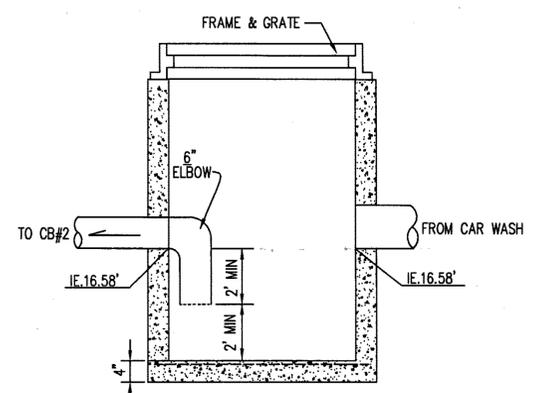


CATCH BASIN OUTLET TRAP/ELBOW DETAIL
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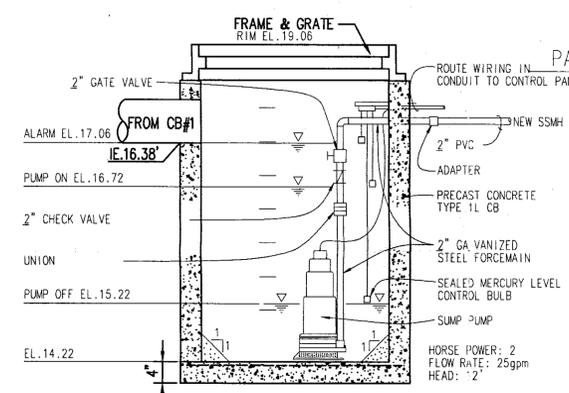
- NOTES:
 1. TRAP TO BE MADE OF 22 GA GALVANIZED SHEET METAL.
 2. ALL JOINTS TO BE SEALED AND SOLDERED.
 3. ALL LONGITUDINAL JOINTS TO BE RIVETED.
 4. DIMENSION "D" IS NOMINAL DIAMETER OF OUTLET PIPE.



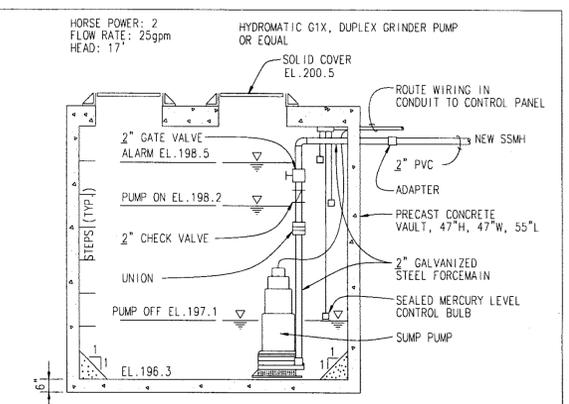
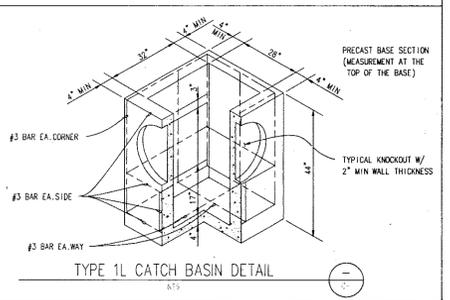
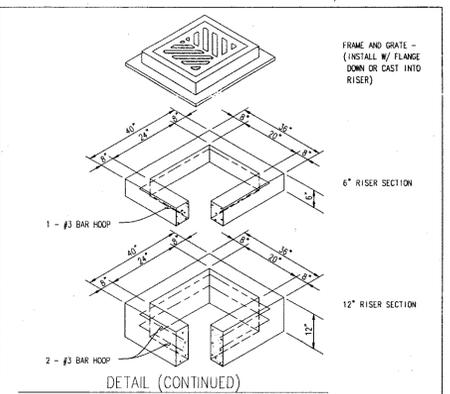
PAVEMENT REPAIR @ UTILITY CUT DETAIL
 N.T.S.



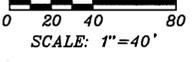
CB #1 STRUCTURE W/4' SUMP
 N.T.S.



CB #2 STRUCTURE PUMP
 N.T.S.



SIDE SEWER LIFT MH DETAIL
 N.T.S.



APPROVAL STATEMENT

THIS PLAN SHEET IS APPROVED FOR CONSTRUCTION in accordance with the City of Mount Vernon ordinances and policies. Actual conformance of the design with applicable laws is the sole responsibility of the professional Engineer, whose name and stamp appears on this sheet. Acquiring, complying with and providing mitigation for all federal, state, county, and local laws, permits and mandates, including but not limited to the Endangered Species Act, Federal Wetland Permits, State Department of Fisheries Hydraulic Permits, Federal Flood Plain Permits, and National Pollutant Discharge Elimination System Permits is the responsibility of the developer, Landowner, and their engineer. The issuance of this permit shall not be construed as proof of compliance with applicable laws and permit requirements.

Ann Z. Collier 12-8-06
 Assistant City Engineer



FILENAME: 06302MOT
 PLOT AT: N.T.S.
 LAST EDIT DATE: NOV-27-06

REVISIONS	DATE

SUMMIT Engineers & Surveyors, Inc.
 2218 Old Highway 99 So. Mount Vernon WA. 98273 Phone: (360) 416-4999 Fax: (360) 416-4949

SHEET DESCRIPTION
SIDE SEWER IMPROVEMENT PLAN

PROJECT
MOTOR TRUCKS INC.
 SITE ADDRESS: 2501 HENSON ROAD MOUNT VERNON, WA 98273
 DEVELOPER/OWNER: CYMBALUK FAMILY LLC 4103 100TH PL SE EVERETT, WA 98208

C1.1



200404070025

Skagit County Auditor

4/7/2004 Page 1 of 2 9:13AM

When Recorded Return to:

Anderson Hunter Law Firm
ATTN: Thomas R. Collins
P. O. Box 5397
Everett, WA 98206

QUIT CLAIM DEED

THE GRANTOR, MARSHALL CYMBALUK and KATHERINE CYMBALUK, husband and wife, conveys and quit claims to MARSHALL AND KATHERINE CYMBALUK FAMILY LLC all of their interest in the following described real estate, situated in the County of Skagit, State of Washington, together with all after acquired title of the Grantor therein.

The Northeast quarter of the Southwest quarter of the Southwest quarter, Section 29, Township 34 North, Range 4 East, W.M. except the West 31 feet thereof; and except 200 foot strip of land conveyed to State of Washington for PSH No. 1, Conway Junction to Junction PSH No. 1, North of Burlington, by deed dated February 6, 1953, recorded under Auditor's File No. 487100, records of Skagit County, and except portion of said subdivision lying east of said 200 foot strip of land.

Also except that portion conveyed to the State of Washington by deed dated February 16, 1957, recorded under Auditor's File No. 548106.

Also except that portion taken by the State of Washington by condemnation under Skagit County Cause No. 32903.

Together with easement for road purposes over the North 20 feet of the Northwest quarter of the Southwest quarter of the Southwest quarter of said section, and over the North 20 feet of the West 31 feet of the Northeast quarter of the Southwest quarter of the Southwest quarter of said section, as reserved in deed dated January 8, 1941, recorded under Auditor's file No. 333903, records of Skagit County, Washington.

Tax Parcel No. 340429-3-008-0009 (P28645)

SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

11029

APR 07 2004

Amount Paid \$
By Skagit Co. Treasurer
Deputy

2501 Henson Road
Mount Vernon, WA

DATED this 25 day of March, 2004.

Marshall Cymbaluk
Marshall Cymbaluk

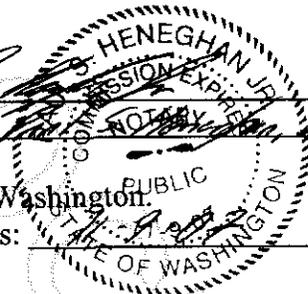
Katherine A Cymbaluk
Katherine Cymbaluk

STATE OF WASHINGTON)
) ss.
COUNTY OF SNOHOMISH)

On this day personally appeared before me MARSHALL CYMBALUK and KATHERINE CYMBALUK, husband and wife, to me known to be the individuals described in and who executed the within and foregoing instrument, and acknowledged to me that they signed the same as their free and voluntary act and deed for the uses and purposes therein mentioned.

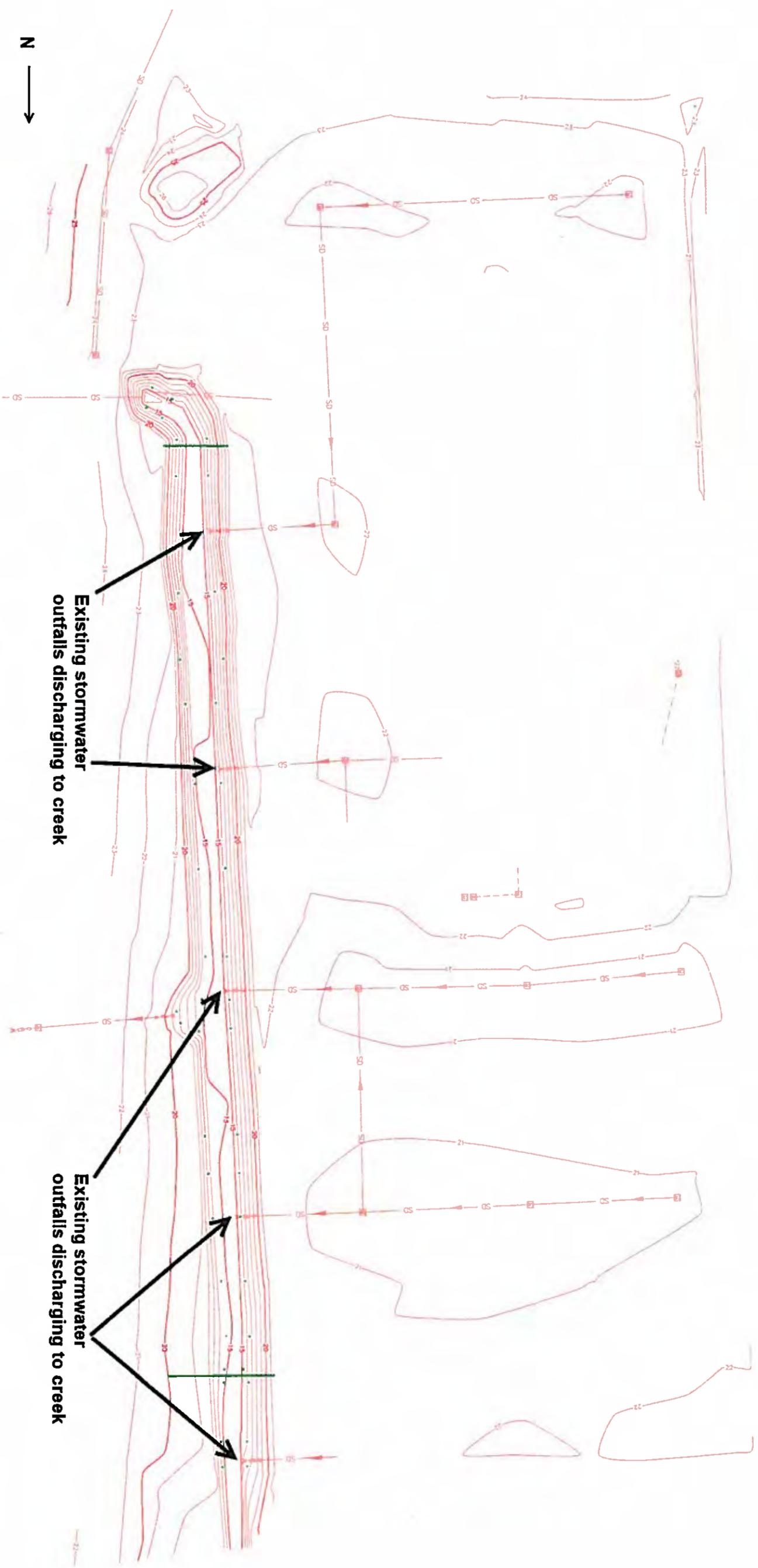
SUBSCRIBED AND SWORN TO before me by MARSHALL CYMBALUK and KATHERINE CYMBALUK on this 25 day of March, 2004.

Paul B. Heneghan
PRINTED NAME: _____
NOTARY PUBLIC _____
in and for the State of Washington.
My commission expires: _____

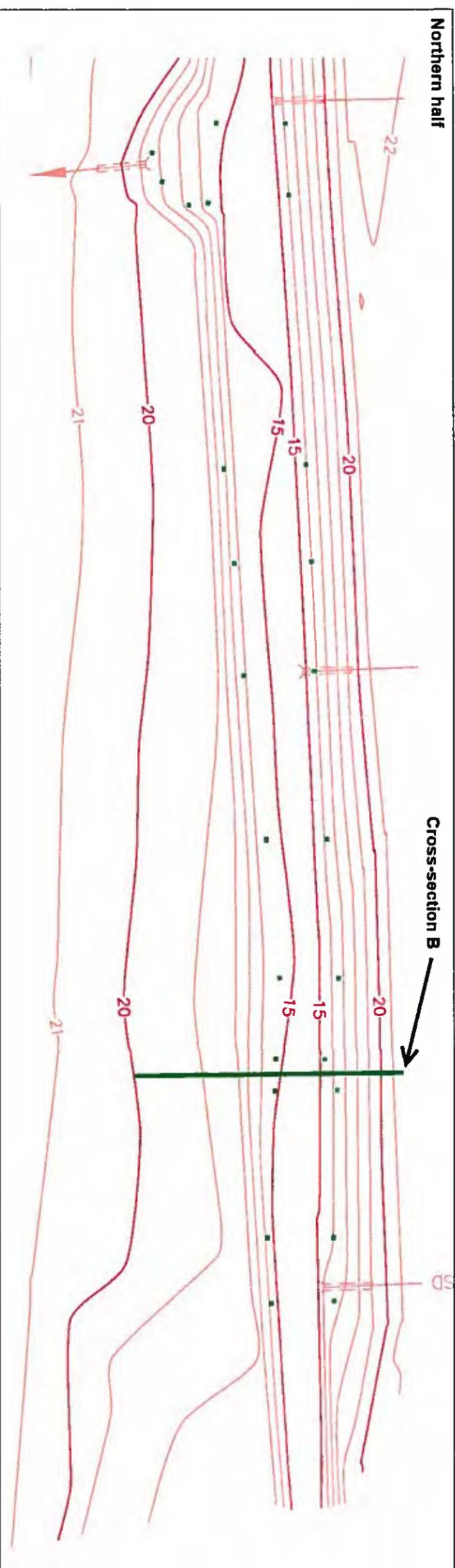
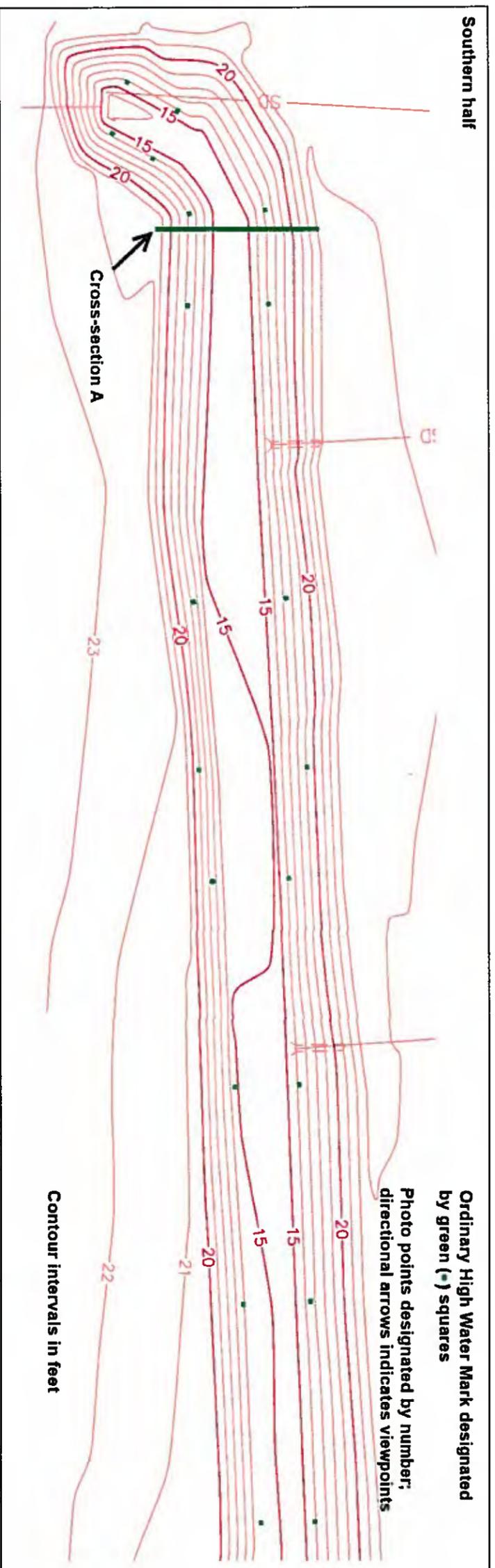




Site Map 1. Site features



Site Map 2. Contours and drainage



N →

20 ft

Site Map 3. OHWM designations

RECEIVED
CITY OF MOUNT VERNON

MAR 18 2014

C.E.D. DEPARTMENT
BY _____

14-016

**STREAM STUDY (STANDARD)
Martha Washington Creek
Motor Trucks Inc., 2501 Henson Road,
Mount Vernon, WA**

Prepared for:



INNOVA Architects
Tacoma, WA

For submittal to:

**City of Mount Vernon
Community & Economic Development Department
Mount Vernon, WA**

March 2014

Prepared by:



**Tad Deshler
Coho Environmental LLC
206.778.9274
Seattle, WA**

**Welch Ecological Services
Bellingham, WA**

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Acronyms

CAD	computer-aided design
Ecology	Washington State Department of Ecology
OWWM	ordinary high water mark

1 Introduction

Motor Trucks Inc., located at 2501 Henson Road, Mount Vernon, WA, is a commercial facility built in 1984 that is used for selling and repairing semi-trailer trucks. The site is nearly 100 percent covered with a building and asphalt paving. Stormwater discharges from the property are regulated by the Washington State Department of Ecology (Ecology) under the Industrial Stormwater General Permit (Permit Number WAR009122), which requires quarterly sampling of stormwater discharged from the property. Recent turbidity measurements have exceeded benchmark values set in the permit, resulting in the need for a Level 2 correction action. Such a corrective action consists of improvements to best management practices for stormwater management, specifically related to structural changes at the facility.

Motor Trucks hired INNOVA Architects to design the necessary structural changes. According to Ecology, the likely cause of the elevated turbidity is soil that has been exposed to stormwater because of cracks in the asphalt at the facility. The typical repair in such instances is to replace the damaged asphalt, which will be done at this facility. In addition, the existing stormwater outfalls will be capped and abandoned and replaced by a single outfall exiting a new stormwater pond to be built at the northern edge of the property. The existing outfalls and the planned new outfall empty into Martha Washington Creek, a low-gradient fish-bearing stream immediately to the east of the Motor Trucks facility. Because a rock splash pad will also be installed within the creek as part of the new outfall construction, a Stream Study must be conducted, per City of Mount Vernon Critical Area code [Section 15.40.120(E)].

2 Methods

The stream study site visit was conducted on February 27, 2013 by Tad Deshler, an aquatic biologist with Coho Environmental, and Perry Welch, a biologist and professional wetland scientist with Welch Ecological Services. Visual observations of stream characteristics, vegetation, and site drainage patterns were made and documented in field notes and photographs. Distances from benchmarks such as outfall pipes were measured with a 100-ft tape. Site topography had been previously determined by Baseline Engineering (Tacoma, WA), so no additional measurements of elevation were necessary.

One of the primary tasks conducted during the site visit was the field determination of the Ordinary High Water Mark (OHWM) mark. OHWM determination was conducted in accordance with methods developed by Washington State Department of Ecology staff (Olson and Stockdale 2010), using indicators such as channel pattern, plant communities, scoured channel location, floodplain features, drift marks, flood or over-bank deposits, water stains or marks, flood debris, wrack deposits, drainage patterns, and flattened

vegetation. OHWM points were field flagged with pink flagging pins and labeled from upstream to downstream in left and right bank pairs.

Site maps were created from base maps with aerial photography and CAD layers.

3 Results

The results of the stream study are organized by site description (Section 3.1), general observations (Section 3.2), OHWM determination (Section 3.3), and habitat functions and values (Section 3.4). Site maps are provided in Appendix A, including an aerial photograph showing the property boundaries and the proposed improvements to the stormwater infrastructure (Site Map 1), the site contours and drainage patterns taken from the CAD file for the project (Site Map 2), and the OHWM designations (Site Map 3). A grading plan for the proposed asphalt replacement at the Motor Trucks facility has been prepared and submitted to the City of Mount Vernon along with other application materials. A photo appendix is provided in Appendix B. The vantage points for each photo in Appendix B are indicated on Site Map 1.

3.1 SITE DESCRIPTION

Martha Washington Creek, a ditched stream channel and tributary to Maddox Creek, borders the Motor Trucks facility to the east. The creek flows south, parallel to Henson Road, for about 530 feet adjacent to the facility, before continuing through a culvert that runs underneath Henson Road and Interstate 5 (Photo 1). An additional culvert, located approximately mid-way through this reach of the creek, runs underneath Henson Road and can take excess flow from the creek to the east (Photo 2). Four primary stormwater outfalls draining the Motor Trucks facility empty into the creek approximately three feet up the west bank of the creek (Photos 3-6). A fifth outfall at the northern end of this reach, as shown on Site Map 2, was not apparent during the site visit.

This reach of Martha Washington Creek was evaluated for ecosystem conditions and functions for the City of Mount Vernon in 2007, as shown in Figure 1, which is excerpted from Lee (2007). Lee (2007) characterized this section of Martha Washington Creek as significantly degraded with respect to all 17 indicators related to hydrology, biogeochemistry, plant community, and faunal support/habitat functions.

According to a map of streams, drainage basins, and potential wetlands prepared for the City of Mount Vernon,¹ this section of Martha Washington Creek is designated as a fish-bearing stream, although no fish were observed during the site visit. Immediately north of the Motor Trucks facility, the creek runs through a designated wetland (palustrine emergent)(Photo 7). No field verification of this wetland was attempted during the site visit since it is located outside the project boundaries.

¹ <http://www.mountvernonwa.gov/DocumentCenter/View/55>, accessed December 16, 2013

Although this specific parcel is not included in any of the flood insurance rate maps prepared by the Federal Emergency Management Agency, the creek is likely within the 100-year floodplain boundary based on nearby parcels of similar elevation to the west of Interstate 5.

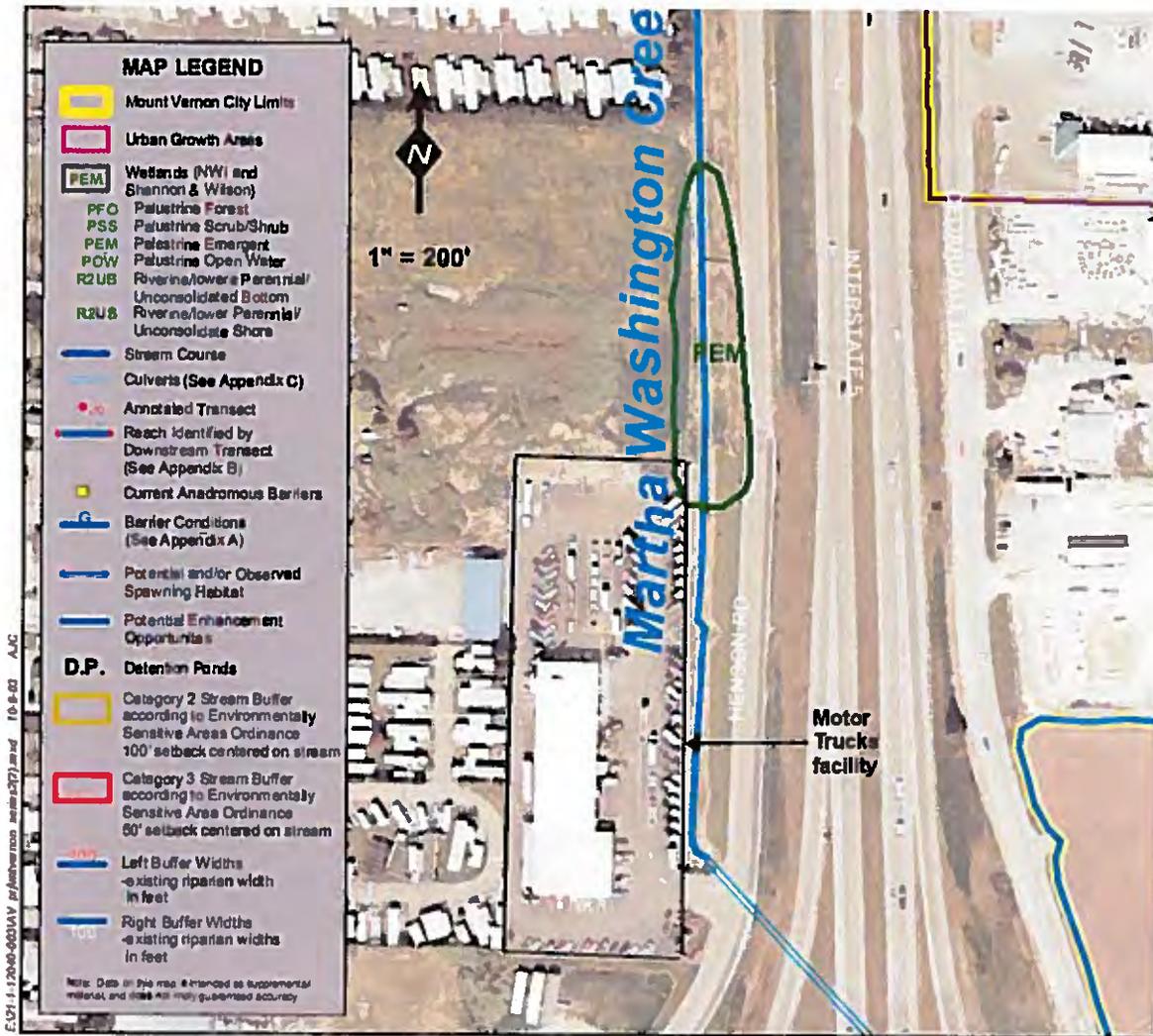


Figure 1. Martha Washington Creek, as characterized by Lee (2007)

3.2 GENERAL OBSERVATIONS

Mowed grass characterizes the land between the top of bank and Henson Road on the east side of the creek. The stream gradient is less than 1%. On the west side of the creek, the truck lot begins at the top of the bank, behind a metal fence.

The stream channel is well defined with steep banks that rise about 10 feet to the top of bank on the west bank and about 5-8 feet to the top of bank on east bank (Photo 8). Two cross-sections of the stream channel, taken at either end of the creek (see Site Map 3 for specific locations), are shown in Figure 2.

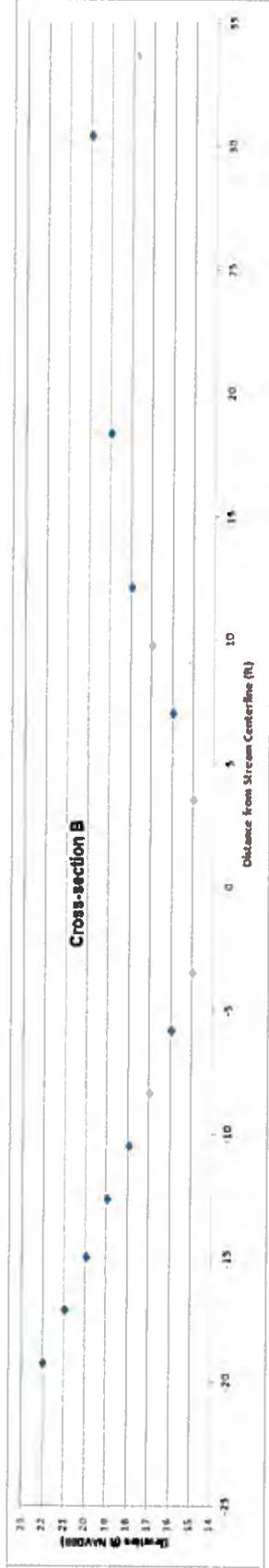
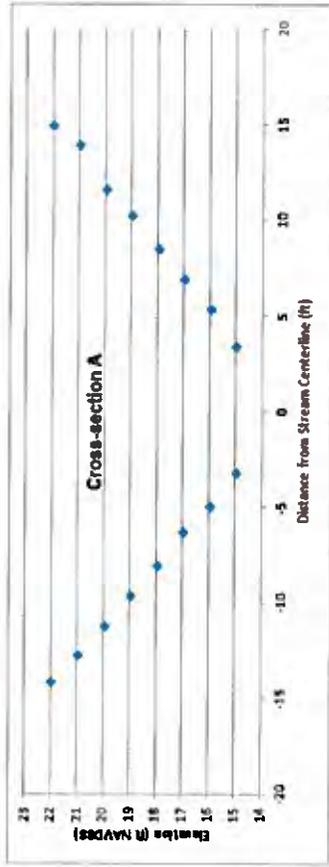


Figure 2. Stream cross-sections

These cross-sections indicate that the shape and elevations of the west bank are similar at either end of the creek, while the east bank is steeper at the southern end compared to the northern end.

The stream channel is open and surrounded by grassy vegetation with no understory or shrub layer. According to Motor Trucks representative Tim Darces, who was present briefly during the site visit, approximately 900 native shrubs were planted during the last several years. They consist primarily of Douglas spirea (*Spirea douglasii*) with some wild rose (*Rosa* sp.). Most of the plantings are enclosed at the base with plant protectors (Photo 8). Mr. Darces reported that a crew was observed conducting vegetation maintenance on these shrubs during the 2013 growing season. None of these shrubs are greater than 4 inches in diameter at breast height, nor are there any other shrubs or trees within the creek basin of this size or greater. Some vegetation existed within the stream channel, primary reed canarygrass (*Phalaris arundinacea*) (Photo 9) and cattails (*Typha latifolia*) (Photo 10).

At the time of the site visit, the wetted width was about six feet at the downstream (southern) end of the reach and eight feet wide at the upstream (northern) end of the reach. Surface water averaged about 6 inches in depth with maximum depths of about 18 inches. The substrate was characterized by silt with a depth of one foot of soft material below the surface of the stream bed. One area near the upstream end of the reach also had some gravel in the substrate. The velocity of the stream was approximately 1 ft/s.

3.3 OHWM DETERMINATION

The upper and lower extremes of the OHWM were assessed to determine corresponding OHWM characteristics on both stream banks. Preliminary observations revealed clearly evident channel patterns with water stains and marks, obvious low-flow wetted width marks, and clear vegetative indicators indicative of OHWM. In addition, extensive sections of the east bank displayed scouring at various high-flow wetted width locations. The channel did not display extensive floodplain features but some drift marks were evident on the planted *Spirea* shrubs. There was no indication that flow has recently exceeded the height of the tall creek banks.

There was a clearly discernible pattern of vegetation and bank scour that provided a clear indication of the position of the OHWM. The OHWM mark occurs at 1 to 4 feet horizontally beyond the wetted width and about 1-3 feet vertically above the wetted-width surface (Site Map 2). The OHWM varied depending on the conditions of the banks and any scour or bank sloughing that has occurred.

Plant indicator status was also used to evaluate vegetation above and below the perceived OHWM. Vegetation that occurred below the OHWM included broad leaf cattail (*Typha latifolia*), reed canarygrass (*Phalaris arundinacea*), American brooklime (*Veronica americana*), and sparse occurrences of soft rush (*Juncus effusus*) and other aquatic herbs such as

watercress (*Rorippa nasturtium-aquaticum*). Vegetation that occurred above the OHWM included bentgrass (*Agrostis stolonifera*), red fescue (*Festuca rubra*), bull thistle (*Cirsium vulgare*), common dandelion (*Taraxacum officinale*), vetch (*Vicia* sp.), dead nettle (*Lamium purpureum*), and bedstraw (*Gallium* sp.).

3.4 HABITAT FUNCTIONS AND VALUES

Habitat functions were generally impaired by stream ditching and lack of canopy forming vegetation, confirming the determinations of Lee (2007). There was little spawning habitat with the exception of a small patch of gravel at the upstream end of the stream. There was no rearing habitat for fish due to channel uniformity. Passage conditions for fish were poor due to the undersized culvert beneath Henson Road. The culvert that passes the mid-point of the creek through Henson Road is also undersized and forms a partial fish passage barrier.

The reach does provide a water quality maintenance function by trapping sediment within proximity to light industrial areas. There was vegetation in portions of the channel below the wetted width that promotes water quality maintenance through nutrient uptake and recycling as well as fine sediment trapping and storage. There was limited to no vegetative cover to provide habitat or temperature moderation. The channel may provide a floodwater attenuation function due to the undersized culvert beneath Henson Road, as water may back up in the channel during high water events.

There was little evidence of any wildlife use of the creek, other than muskrats, which are frequently observed, according to Tim Darces. No muskrats were observed during the site visit, but several burrows were observed near the water's edge.

4 Conclusions

The ecological functions and values of Martha Washington Creek, adjacent to the Motor Trucks facility, are significantly degraded, as documented during the site visit and by Lee (2007). The proposed improvements to the stormwater infrastructure will marginally improve some of these functions and values by: 1) reducing the input of soil currently reaching the stream from stormwater through cracks in the asphalt and 2) reducing the potential erosive power of stormwater discharged to the creek (see Photo 3 for example of such erosion). Although a rock splash pad will be constructed within the creek basin, below the OHWM, at no time will any construction equipment be placed within the creek. Every effort will be made to ensure that no dirt falls into the creek during construction and that no digging takes place in the water. Based on the anticipated improvements to be made to the stormwater infrastructure and the best management practices to be followed during construction, no adverse impacts to the stream are anticipated. Therefore, there is no need to conduct a supplemental stream study for this project.

5 References

- Lee LC. 2007. Assessment of waters/wetland ecosystem conditions & functions. City of Mount Vernon, Washington. Prepared for Planning Commission, City of Mount Vernon. Ecosystem Science & Restoration Services, Seattle, WA; Entrix, Inc., Seattle, WA.
- Olson P, Stockdale E. 2010. Determining the Ordinary High Water Mark on Streams in Washington State. Second Review Draft. Ecology Publication #08-06-001. Washington State Department of Ecology, Shorelands & Environmental Assessment Program, Lacey, WA.

Appendix A. Site Maps

Appendix B. Photos



Photo 1. Culvert at south end of stream



Photo 2. Culvert at mid-point of stream



Photo 3. Southern-most outfall

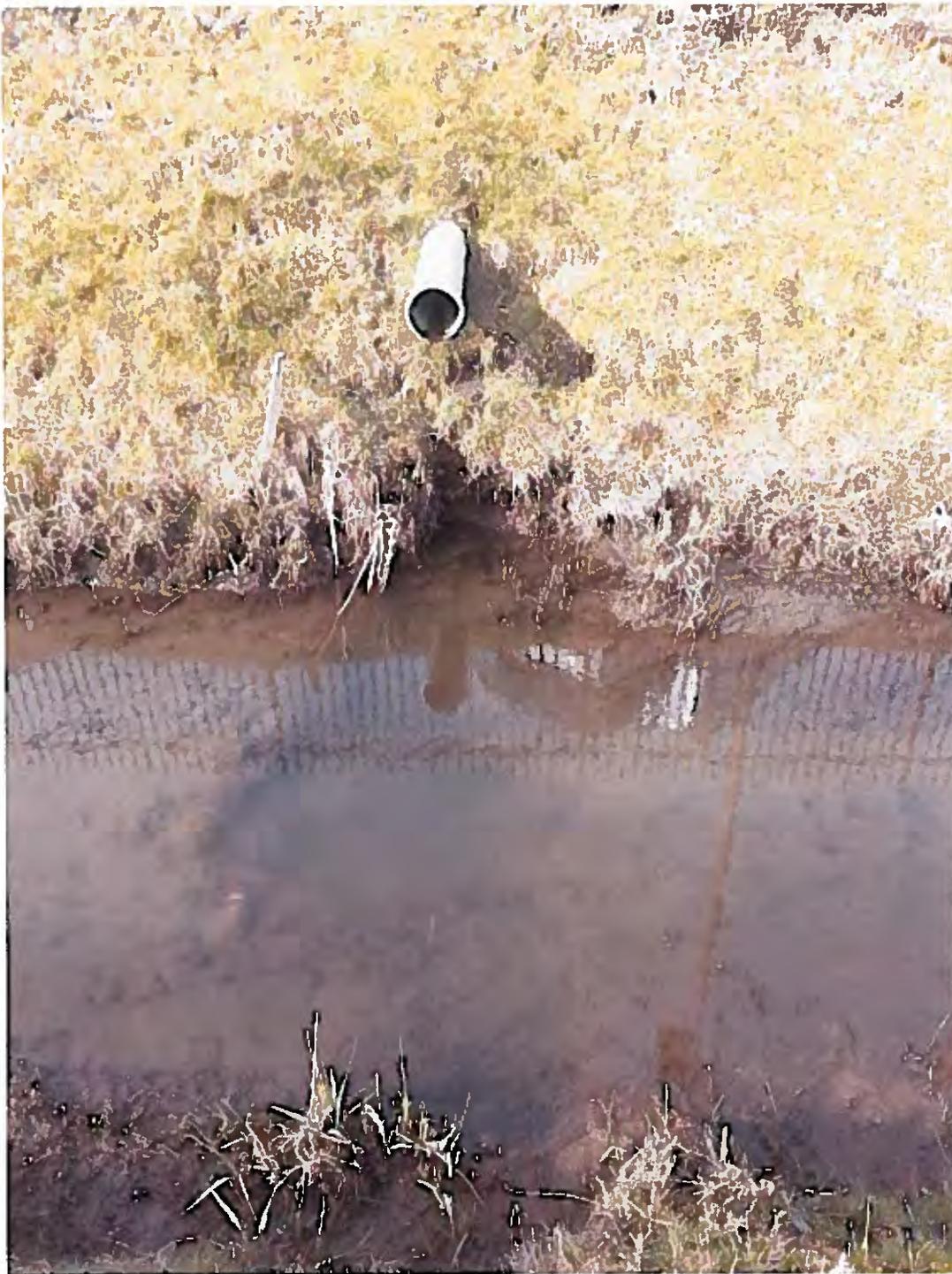


Photo 4. Second outfall (from the south)



Photo 5. Third outfall (from the south)



Photo 6. Fourth outfall (from the south)



Photo 7. Wetland to north of site



Photo 8. Looking north along entire stream reach



Photo 9. Reed canarygrass growing within stream channel



Photo 10. Cattails growing within stream channel

**APPENDIX B
PLANNING STUDY ON ADULT USES**

SITE 51

SURVEY IN SECTION 29 ,TWP. 34 N.,R. 4 E.,W.M.

SHORT PLAT NUMBER 30-77
DATE 5-18-77

CONSENT

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED SUBVIDERS, HEREBY CERTIFY THAT THIS SHORT PLAT IS MADE AS THEIR FREE AND VOLUNTARY ACT AND DEED

Anne Richards
ANNE RICHARDS

Sara J Aitken
SARA J AITKEN

Dean Kelley
DEAN KELLEY GENERAL PARTNER
INTERSTATE 5 ASSOCIATES, A GENERAL PARTNERSHIP

ACKNOWLEDGMENTS

STATE OF WASHINGTON } SS
COUNTY OF SKAGIT }
ON THIS 9th DAY OF MAY, 1977, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED
ANNE RICHARDS AND DEAN KELLEY

TO ME KNOWN TO BE THE INDIVIDUALS DESCRIBED IN AND WHO EXECUTED THE WITHIN INSTRUMENT, AND ACKNOWLEDGED THAT THEY SIGNED AND SEALED THE SAME AS THEIR FREE AND VOLUNTARY ACT AND DEED FOR THE PURPOSES THEREIN MENTIONED.
WITNESS MY HAND AND OFFICIAL SEAL HERETO AFFIXED THE DAY AND YEAR ABOVE WRITTEN.

John L. McSwain, Jr.
NOTARY PUBLIC
RESIDING AT Mount Vernon, WA

STATE OF WASHINGTON } SS
COUNTY OF SKAGIT }
ON THIS 11th DAY OF MAY, 1977, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED
SARA J AITKEN

TO ME KNOWN TO BE THE INDIVIDUAL DESCRIBED IN AND WHO EXECUTED THE WITHIN INSTRUMENT, AND ACKNOWLEDGED THAT SIGNED AND SEALED THE SAME AS FREE AND VOLUNTARY ACT AND DEED FOR THE PURPOSES THEREIN MENTIONED.
WITNESS MY HAND AND OFFICIAL SEAL HERETO AFFIXED THE DAY AND YEAR ABOVE WRITTEN

Barbara Suecun
NOTARY PUBLIC
RESIDING AT, WA

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THIS SHORT PLAT AND THE ROADS WITHIN HAVE BEEN SURVEYED AND MONUMENTED AND THAT ALL DISTANCES AND BEARINGS ARE ACCURATE.

Donald R Semrau
DONALD R SEMRAU, L.S.
RADER AND LEONARD & ASSOC, INC
ENGINEERS AND LAND SURVEYORS
612 EAST FAIRHAVEN
BURLINGTON, WASHINGTON 98233
CERTIFICATE NO. 7673
DATE 5/18/77

APPROVALS

THE WITHIN AND FOREGOING SHORT PLAT IS APPROVED IN ACCORDANCE WITH THE PROVISIONS OF THE SKAGIT COUNTY SHORT PLAT ORDINANCE THIS 14th DAY OF MAY, 1977

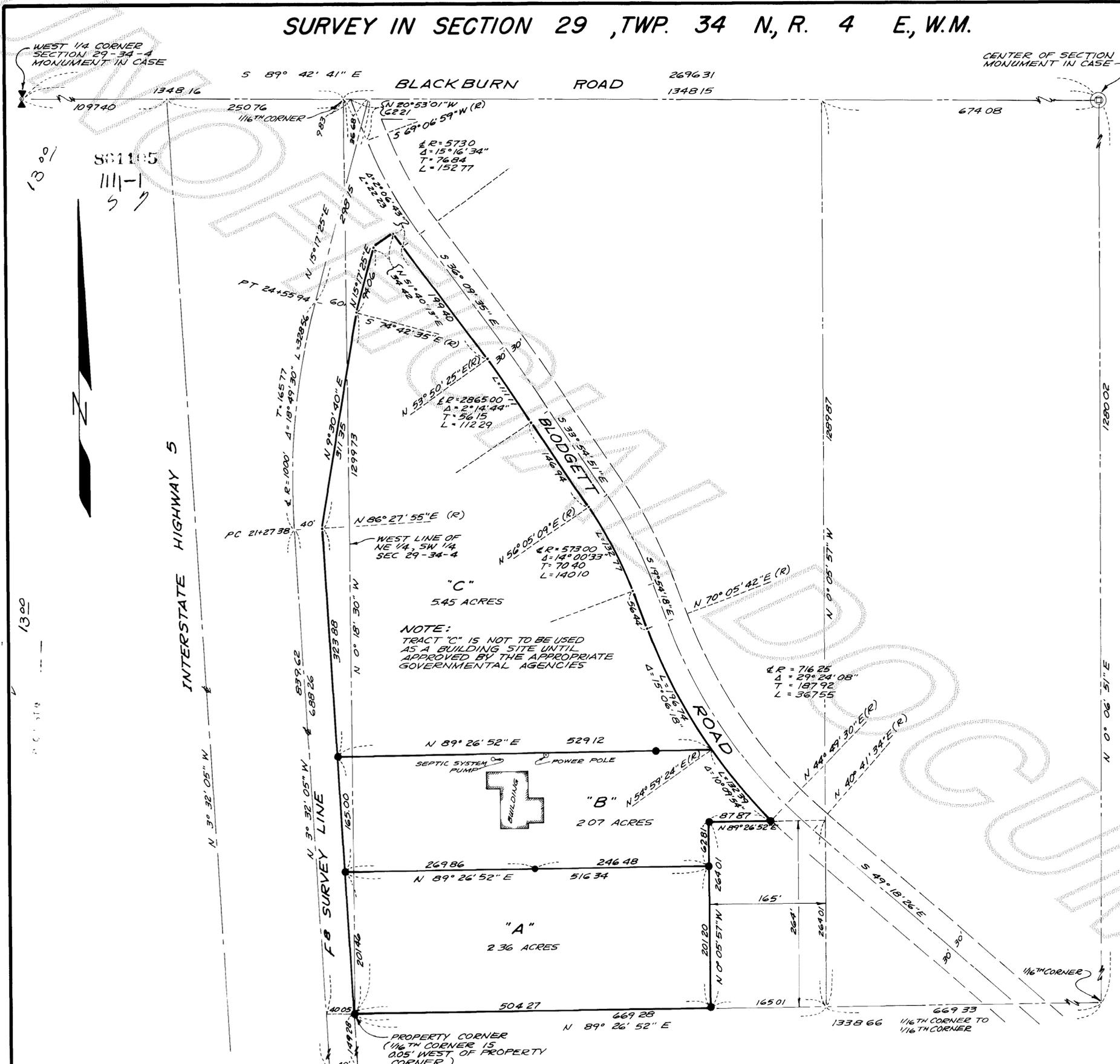
Robert C. Schofield
SHORT PLAT ADMINISTRATOR COUNTY ENGINEER

AUDITOR'S CERTIFICATE

FILED FOR RECORD THIS 21st DAY OF July, 1977, AT 1:30 P.M. IN BOOK 3 OF SHORT PLATS AT PAGE 87 IN THE REQUEST OF RADER AND LEONARD & ASSOC, INC

Janice Henry
SKAGIT COUNTY AUDITOR
BY *Jandra J. Stranger*
DEPUTY

SCALE: 1" = 100'
MERIDIAN: ASSUMED
JOB No. 77064



NOTE:
TRACT "C" IS NOT TO BE USED AS A BUILDING SITE UNTIL APPROVED BY THE APPROPRIATE GOVERNMENTAL AGENCIES

LEGAL DESCRIPTION

THAT PORTION OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., LYING WESTERLY OF BLODGETT ROAD AND EASTERLY OF THE STATE HIGHWAY, EXCEPT THAT PORTION THEREOF LYING WITHIN THE SOUTH 264 FEET OF THE EAST 165 FEET OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION.

NOTES:

- ALL MAINTENANCE AND CONSTRUCTION OF PRIVATE ROADS ARE THE RESPONSIBILITY OF THE LOT OWNERS AND THE RESPONSIBILITY OF MAINTENANCE SHALL BE IN DIRECT RELATIONSHIP TO USAGE OF ROAD
- SHORT PLAT NUMBER AND DATE OF APPROVAL SHALL BE INCLUDED IN ALL DEEDS AND CONTRACTS
- ZONING - RESIDENTIAL & COMMERCIAL
- SEWAGE DISPOSAL - INDIVIDUAL SEPTIC SYSTEMS
- WATER - L.U.D. NO. 1
- DENOTES IRON ROD SET

177 11 21 FH 1:27

910 Cleveland Avenue
Mount Vernon, WA
98273

City Of Mount Vernon Building Inspection Record

For Inspection call: (360)
336-6243 24 Hour notice
required

Owner Name KIM YOUNG-SOO

Site Address 2224 S Old Hwy 99

Lot

Parcel Number P28105

Contractor Owner

() -

Permit Number: S10-025

F.I.R.M Designation:

Date Issued 08/23/2010

Street Setback Front:

Street Setback Rear:

Size of Building:

Size of Deck

Street Setback Left:

Street Setback Right

Size of Garage:

Size of Porch

Work Description:

Sewer Cap.

Type of Permit:

Building

No

Plumbing

No

Type of Const

Mechanical

No

Sign

No

1. FOUNDATION

Property lines must be staked

Inspection:	Date	By
Temp Erosion Control	_____	_____
Setbacks	_____	_____
Footing Reinforcement	_____	_____
Wall & Reinforcement	_____	_____
Slab w/ insulation	_____	_____
Ground Work Plumbing	_____	_____
Hold Downs	_____	_____

2. UNDERFLOOR FRAMING

Before Floor Sheathing is Placed

Underfloor	_____	_____
Perimeter Drainage	_____	_____

3. SHEARWALL/BRACING PANELS

Shear Wall Nailing	_____	_____
Bracing Panels	_____	_____

4. PLUMBING/HEAT/VENTILATION

Prior to Framing

Rough Plumbing	_____	_____
Rough Heat & Vent Duct	_____	_____
Fireplace Chase	_____	_____
Exhaust Fan	_____	_____
Water Heater (electric)	_____	_____

5. FRAMING

All Prior Corrections to Be Made
WA St Electrical Approval Required

Framing	_____	_____
---------	-------	-------

6. INSULATION

All Framing Corrections Must Be Done

Attic - Ceiling	_____	_____
Floor	_____	_____
Wall Insulation	_____	_____

OTHER INFORMATION

Special site considerations
Variance information
Inspector Notes

Conditions: _____

7. DRYWALL

Inspection:	Date	By
Interior Shear Walls	_____	_____
Wall Board Nailing	_____	_____
Rated Separation Walls	_____	_____

8. FIRE INSPECTIONS

Fire Suppression System	_____	_____
Fire Alarm Acceptance Test	_____	_____
Hood/Duct Acceptance Test	_____	_____

9. MECHANICAL

Gas Fireplace	_____	_____
Gas Furnace	_____	_____
Gas Hot Water Heater	_____	_____
Gas Piping	_____	_____

10. IMPROVEMENTS

Water Line	_____	_____
Sewer Line	9-24-10	17
Driveway	_____	_____
Irrigation System (back flow)	_____	_____
Siding Final	_____	_____
Parking Striping / Signage	_____	_____
Sidewalk / Curb Cut	_____	_____

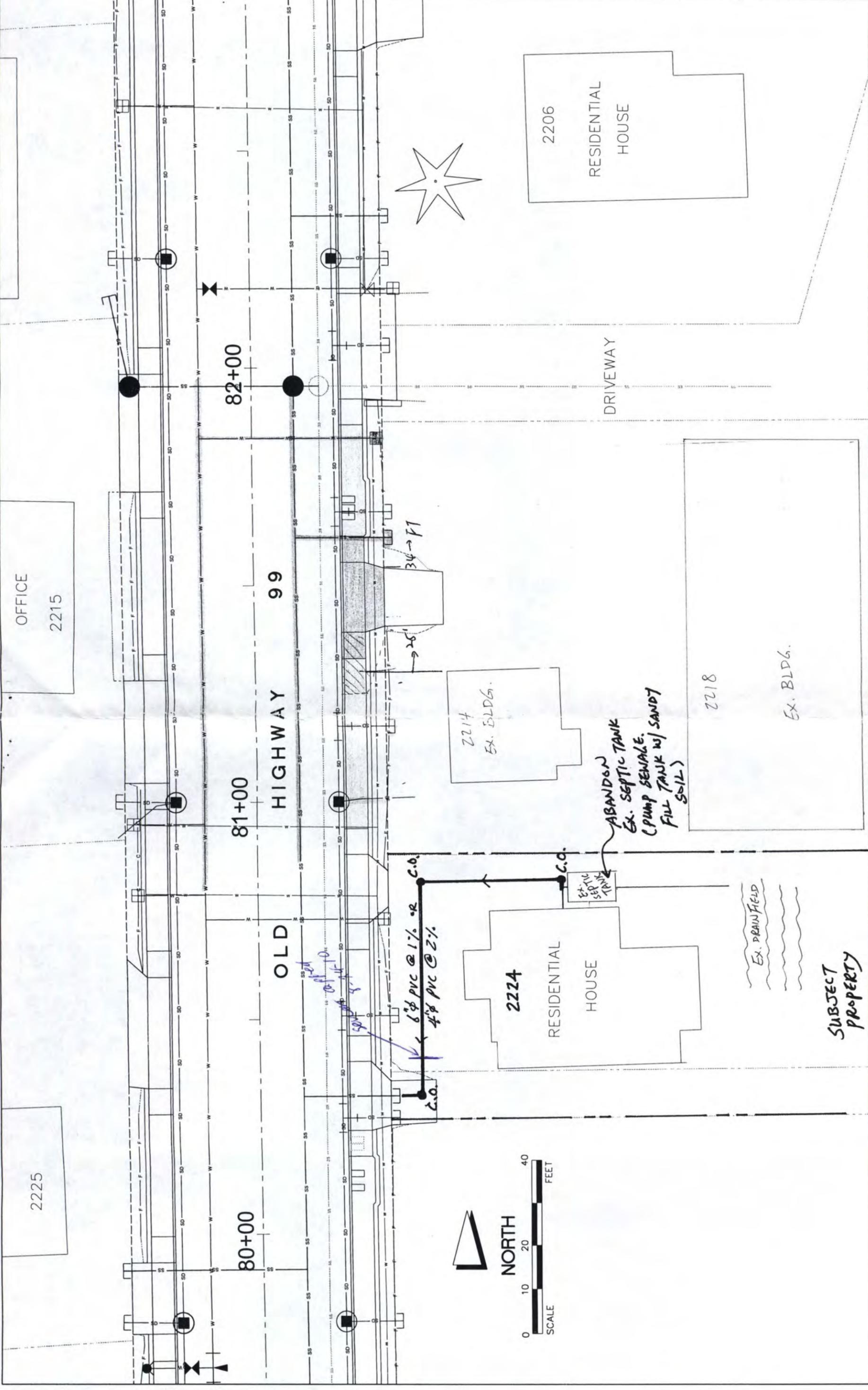
11. FINAL

All Corrections Must Have been Made

Insulation Certification	_____	_____
Final Mechanical - NREC	_____	_____
Engineering Dept. Final	_____	_____
Fire Dept. Final	_____	_____
Architect/Engineer sign off	_____	_____
Flood Certification	_____	_____
Landscaping (street trees)	_____	_____
Roofing Final	_____	_____
Final For Occupancy	_____	_____

Plans: None Pulled Attached Unable to locate Be

sewer capped, house will be torn down



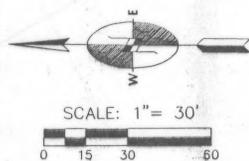
C:\Users\Young-S00\My Documents\Projects\Highway 99\Highway 99.dwg Mon Jun 04 11:22:23 2001

<p>Leonard, Boudinot & Skodje Inc. PROFESSIONAL ENGINEERS & LAND SURVEYORS 6003 1st Ave. SW, Suite 100, Box 12888 Seattle, WA 98148 TEL: 206-328-0751 FAX: 206-328-3881</p>	<p>CITY OF MOUNT VERNON, WASHINGTON SECTION 32, TOWNSHIP 34, N. RANGE 4, E. W.M.</p>	<p>SCALE: 1"=20' DRAWING NAME: YOUNG-S00 JOB NUMBER: 00078 DATE: JUNE 2001</p>	<p>HIGHWAY 99/ANDERSON ROAD IMPROVEMENTS KIM YOUNG-SOO PROPERTY</p>	<p>PARCEL NO. 42</p>
	<p>SUBJECT PROPERTY</p>			

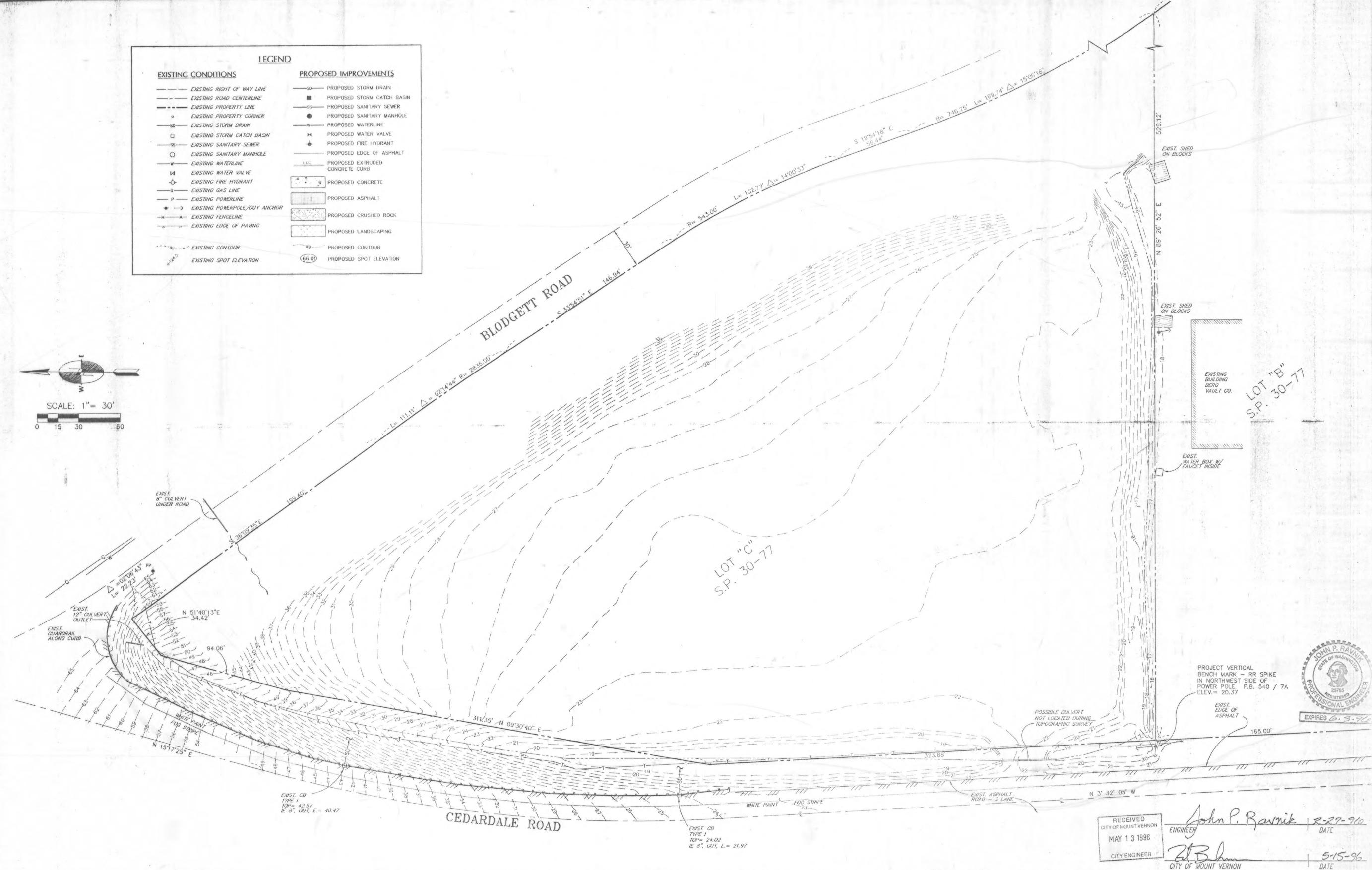
SITES

**ALONG BLODGETT NORTH OF
ANERSON
(PRO 96-08)**

LEGEND	
EXISTING CONDITIONS	PROPOSED IMPROVEMENTS
--- EXISTING RIGHT OF WAY LINE	--- PROPOSED STORM DRAIN
--- EXISTING ROAD CENTERLINE	■ PROPOSED STORM CATCH BASIN
--- EXISTING PROPERTY LINE	--- PROPOSED SANITARY SEWER
o EXISTING PROPERTY CORNER	● PROPOSED SANITARY MANHOLE
--- EXISTING STORM DRAIN	--- PROPOSED WATERLINE
□ EXISTING STORM CATCH BASIN	⊕ PROPOSED WATER VALVE
--- EXISTING SANITARY SEWER	⊕ PROPOSED FIRE HYDRANT
○ EXISTING SANITARY MANHOLE	--- PROPOSED EDGE OF ASPHALT
--- EXISTING WATERLINE	--- PROPOSED EXTRUDED CONCRETE CURB
⊕ EXISTING WATER VALVE	--- PROPOSED CONCRETE
⊕ EXISTING FIRE HYDRANT	--- PROPOSED ASPHALT
--- EXISTING GAS LINE	--- PROPOSED CRUSHED ROCK
--- EXISTING POWERLINE	--- PROPOSED LANDSCAPING
⊕ EXISTING POWERPOLE/GUY ANCHOR	--- PROPOSED CONTOUR
--- EXISTING FENCELINE	(66.0) PROPOSED SPOT ELEVATION
--- EXISTING EDGE OF PAVING	
--- EXISTING CONTOUR	
--- EXISTING SPOT ELEVATION	



EBN 24
 EXISTING CONDITIONS PR 3/4-5
 MT. VERNON TOWING, CEDARDALE 1/6



RECEIVED
 CITY OF MOUNT VERNON
 MAY 13 1996
 CITY ENGINEER

John P. Ravnik
 ENGINEER
 2/27-96
 DATE

[Signature]
 CITY ENGINEER
 CITY OF MOUNT VERNON
 5-15-96
 DATE

NO.	DATE	REVISIONS	BY	APVD
1	4/11/96	P.U.D. REVISIONS	JPH	JPR
2	5/1/96	REVIEW BY CITY OF MOUNT VERNON ENGINEERING DEPARTMENT	JPH	JPR

Leonard, Boudinot & Skodje Inc.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 603 South First Street, P.O. Box 1228
 Mount Vernon, WA 98273
 Tel: 360-336-5751 Fax: 360-336-3981

SHEET DESCRIPTION
EXISTING CONDITIONS

SCALE: 1" = 30'
 DRAWN BY: DS
 DESIGNED BY: JPR
 CHECKED BY: JPR
 FIELD BOOK/PAGE: 540/6
 DATE: FEBRUARY 1996

MOUNT VERNON TOWING
 FOR
AXTHELM AND SWETT

DRAWING NO.
 95274 /V1
 JOB NO.
 95274
 SHEET
 1 OF 6

J:\95274\ENGINEERING\SET Mt. Feb 26 16:19:13 1996

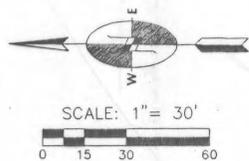
DRAINAGE STRUCTURES TABLE		
C.B.# 1 TYPE 1 - 48" SOLID 30" DIA. C.I. TOP TOP= 23.10 IE 15" IN, N= 17.89 IE 15" OUT, S= 17.89 SEE DETAIL, SHEET 4/6	C.B.#6 TYPE 1L - SOLID TOP TOP= 24.20 IE 8" IN, E= 19.08 IE 8" IN, NE= 20.88 IE 8" OUT, N.W.= 19.08 IE 4" IN, N= 21.00	OIL/WATER SEPARATOR VAULT 450 GAL./MIN. CAPACITY TOP= 24.95 IE 6" IN, E= 21.81 IE 6" OUT, W= 21.31
C.B.# 2 TYPE 1L - STD. GRATE TOP= 22.80 IE 8" IN, S.E.= 18.15 IE 8" IN, S= 18.15 IE 12" OUT, N.W.= 18.15	C.B.#7 TYPE 1 - STD. GRATE TOP= 23.00 IE 8" OUT, W= 19.82 IE 8" IN, E= 19.82 IE 6" RD IN, S= 20.00	4" x 6" UTILITY VAULT # 660-SA W/ 12" RISER #64-R-12 OR EQUAL
C.B.#3 TYPE 1 - STD. GRATE TOP= 22.00 IE 8" OUT, N= 19.15 IE 8" IN, S.E.= 19.15	C.B.#8 TYPE 1 - STD. GRATE TOP= 23.00 IE 8" IN, S= 20.38 IE 8" OUT, W= 20.38	
C.B.#4 TYPE 1 - STD. GRATE TOP= 23.50 IE 8" OUT, N.W.= 20.55 IE 8" IN, E= 20.55 IE 4" RD, IN, N= 21.50	C.B.#9 TYPE 1 - STD. GRATE TOP= 23.50 IE 8" OUT, N= 21.08	
C.B.#5 TYPE 1 - STD. GRATE TOP= 23.50 IE 8" OUT, W= 21.20 IE 4" RD, IN, N= 21.50	C.B.#10 TYPE 1 - STD. GRATE TOP= 24.0 IE 6" OUT, N= 22.00 INSTALL OIL/WATER SEPARATOR TEE SEE DETAIL, SHEET 4/6	

STORM DRAINAGE NOTES

- CONTRACTOR TO LOCATE DOWNSPOUTS PER ARCHITECTURAL PLAN AND CONNECT TO 4" ROOF DRAIN LINE.
- DO NOT CONNECT ROOF DRAINS OR FOOTING DRAINS TO UPSTREAM SIDE OF OIL / WATER SEPARATOR VAULT.
- DO NOT CONNECT FOOTING DRAINS INTO ROOF DRAIN (R.D.) SYSTEM, ONLY INTO STORM DRAIN (S.D.) SYSTEM.

EROSION CONTROL NOTES

- INSTALL SILT FENCE ALONG THE WEST AND SOUTH SIDES OF DEVELOPED AREA, PER SILT FENCE DETAIL LOCATED ON SHEET 4 OF 6. MAINTAIN FENCE DURING CONSTRUCTION AND REMOVE AND CLEAN UP LATER.



BLACKBURN ROAD

BLODGETT ROAD

CEDARDALE ROAD

OFF-SITE ROAD IMPROVEMENTS:

AS REQUIRED BY THE CITY OF MOUNT VERNON ENGINEERING DEPARTMENT, A 2" CLASS B ASPHALT OVERLAY SHALL BE DONE ON THE FULL WIDTH OF CEDARDALE ROAD FROM THE SOUTH PROPERTY LINE OF THE MOUNT VERNON TOWING SITE, NORTH, ACROSS BLODGETT ROAD, TO THE SOUTHERLY SIDE OF BLACKBURN ROAD. PRIOR TO PERFORMING THIS WORK, THE CONTRACTOR SHALL CONDUCT A SITE REVIEW MEETING WITH THE CITY OF MT. VERNON ENGINEERING DEPARTMENT TO CONFIRM LOCATION OF ALL WORK INCLUDING GRINDS, OVERLAY, AND STRIPING.

AT ALL END POINTS OF OVERLAY, THE MATCHING JOINT SHALL BE CONSTRUCTED BY GRINDING 6" WIDE, 1" DEEP, ACROSS THE ENTIRE ROAD, TO CONSTRUCT A BUTT JOINT. THE EXISTING ASPHALT SURFACE SHALL BE THOROUGHLY CLEANED AND DRY PRIOR TO PLACEMENT OF NON-WOVEN GEOTEXTILE FABRIC DESIGNED FOR ASPHALT OVERLAYS AND SUBSEQUENT 2" ASPHALT OVERLAY. ALL STRUCTURES FLUSH WITH THE EXISTING ASPHALT SHALL BE RAISED TO MATCH THE FINISHED SURFACE. ALL STRIPING SHALL BE REPLACED WITH THE SAME PATTERN AND COLOR AS EXISTING. ALL SURFACE JOINTS SHALL BE SEALED WITH HEAT-APPLIED CSS1 AND SAND.

EXIST. CB
TYPE 1
TOP= 42.57
IE 8", OUT, E= 40.47

EXIST. CB
TYPE 1
TOP= 24.02
IE 8", OUT, E= 21.97

AT THE SITE ENTRANCE, EXCLUDED CONCRETE CURB (E.C.C.) IS TO BE FULLY STRIPPED FROM SITE TO THE EDGE OF CEDARDALE ROAD. DISPLACE AT THE LOW POINT IN E.C.C. ELEV. 22.0. A 4" GAP SHALL BE PROVIDED FOR DRAINAGE.

POSSIBLE CULVERT NOT LOCATED DURING TOPOGRAPHIC SURVEY TO BE REMOVED

30 LF 15" SD S=0.005
ELEV= 16.88
IE IN= 17.03
5' x 5' x 12" QUARRY SPALL SPLASH PAD AT INLET AND OUTLET (TYP.)

SOUTH END OF 2" ASPHALT OVERLAY ON CEDARDALE ROAD.



John P. Ravnik 2-27-96
ENGINEER DATE
Z. Behm 5-15-96
CITY OF MOUNT VERNON DATE

NO.	DATE	REVISIONS	BY	APVD
1	4-17-96	ADD REVISIONS	JPR	JPR
2	5-7-96	REVIEW BY CITY OF MOUNT VERNON ENGINEERING DEPARTMENT	JPR	JPR



Leonard, Boudinot & Skodje Inc.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
603 South First Street, P.O. Box 1228
Mount Vernon, WA 98273
Tel: 360-336-5751 Fax: 360-336-3981

SHEET DESCRIPTION
STORM DRAINAGE AND SURFACING PLAN

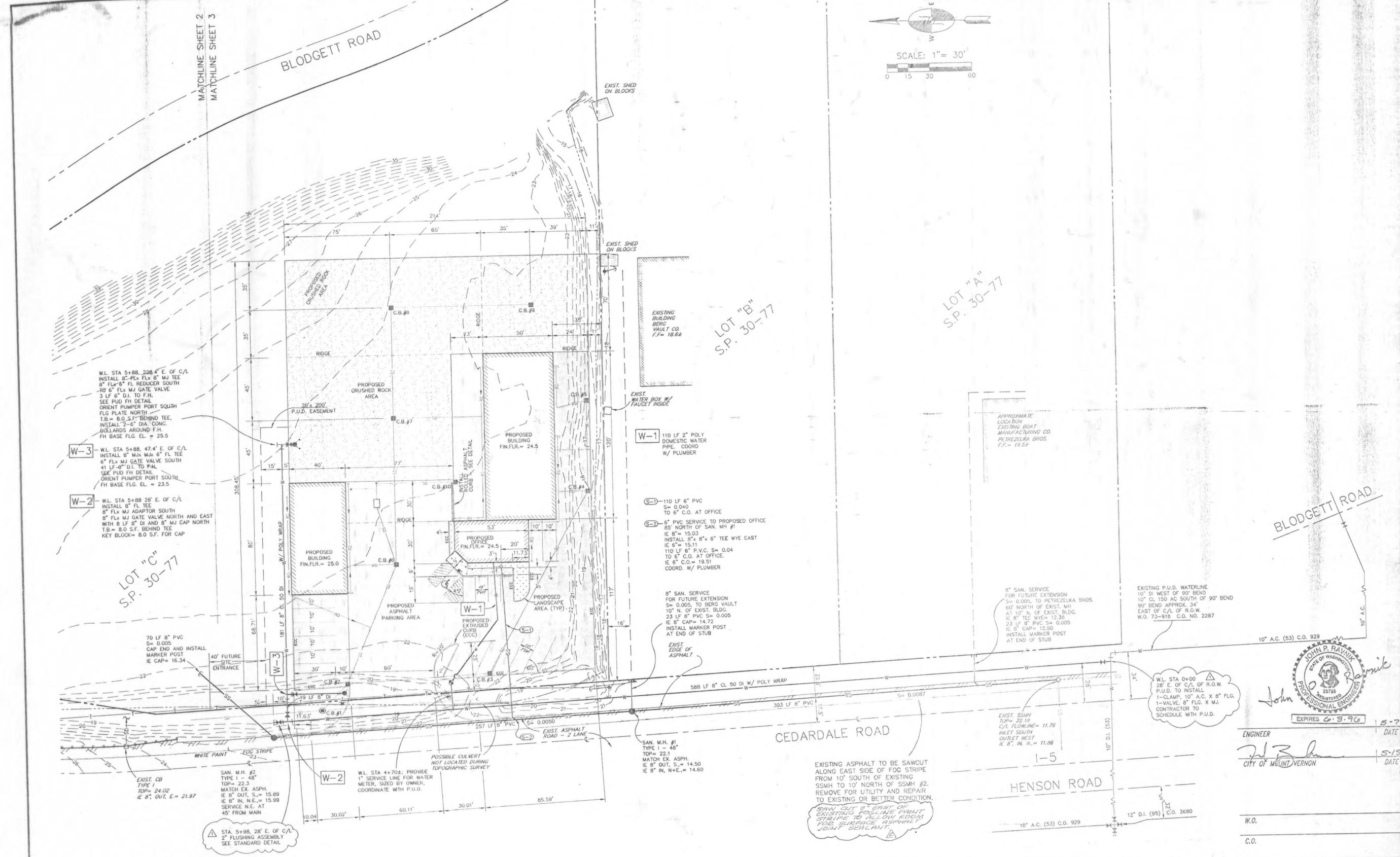
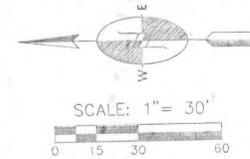
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DRAWN BY: DS
DESIGNED BY: JPR
CHECKED BY: JPR
FIELD BOOK/PAGE: 540/6
DATE: FEBRUARY 1996

MOUNT VERNON TOWING FOR AXTHELM AND SWETT

DRAWING NO. 95274 /V2
JOB NO. 95274
SHEET 2 OF 6

EPI 24
STORM DRAINAGE SURFACING PR 2/6-6
MR. VERNON TOWING - CEDARDALE

EPH 24
 EPH FILE CORP. IRVINE, CA
 SUBMITTE DIMENSIONS
 PR 36-8
 MT. VERNON TOWING



NO.	DATE	REVISIONS	BY	APVD
4-17-96		P.U.D. REVISIONS	JPH	JPR
5-7-96		REVIEW BY CITY OF MOUNT VERNON ENGINEERING DEPARTMENT	JPH	JPR

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 Mount Vernon, WA 98273
 Tel: 360-336-5751 Fax: 360-336-3981

SHEET DESCRIPTION
 OFFSITE UTILITY IMPROVEMENTS
 AND
 ONSITE DIMENSIONAL LAYOUT

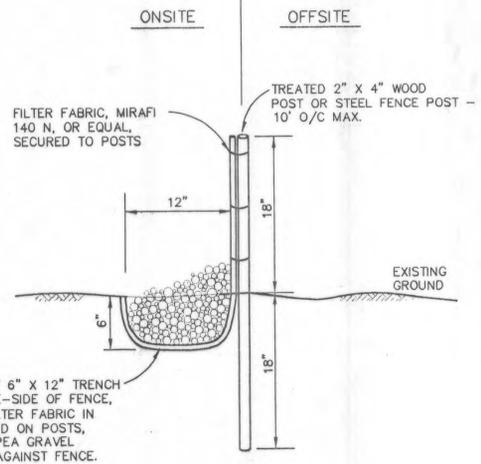
SCALE: 1" = 30'
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MOUNT VERNON TOWING
 FOR
 AXTHELM AND SWETT

DRAWING NO. 95274 / 1
 JOB NO. 95274
 SHEET 3 OF 6

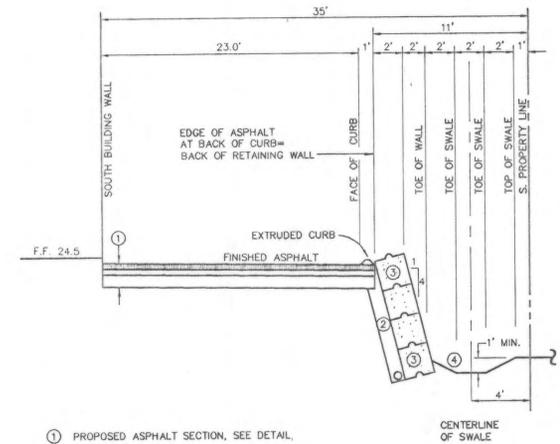
John P. Ravnik
 JOHN P. RAVNIK
 STATE OF WASHINGTON
 PROFESSIONAL ENGINEER
 25795
 REGISTERED
 EXPIRES 6-3-96
 ENGINEER
 DATE 5-15-96
 CITY OF MOUNT VERNON

ULLA USEZALPH Thu Apr 16 09:14:00 1996



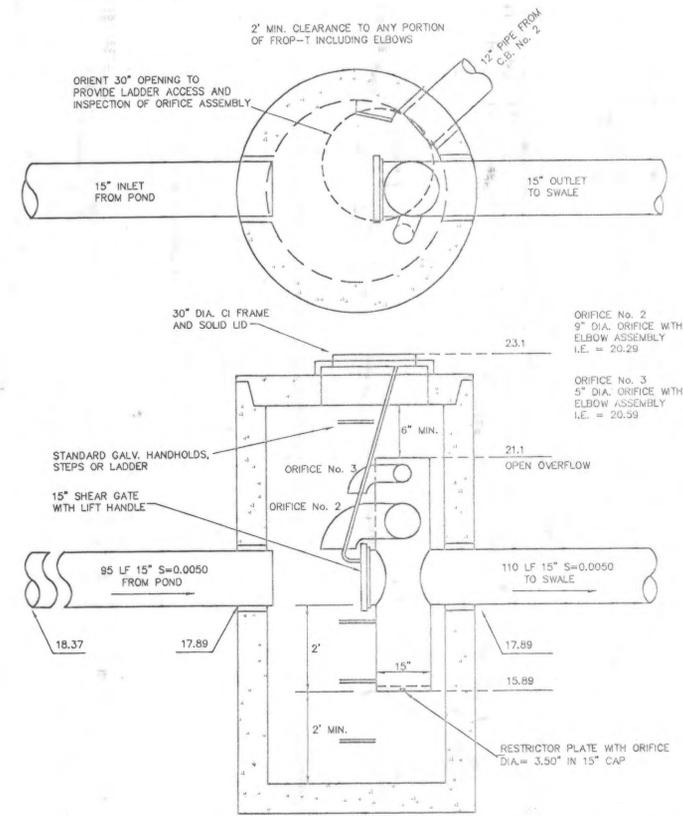
CONSTRUCT 6" X 12" TRENCH ALONG SITE-SIDE OF FENCE, INSTALL FILTER FABRIC IN TRENCH AND ON POSTS, FILL WITH PEA GRAVEL MOUNDED AGAINST FENCE.

SILT FENCE DETAIL
NOT TO SCALE

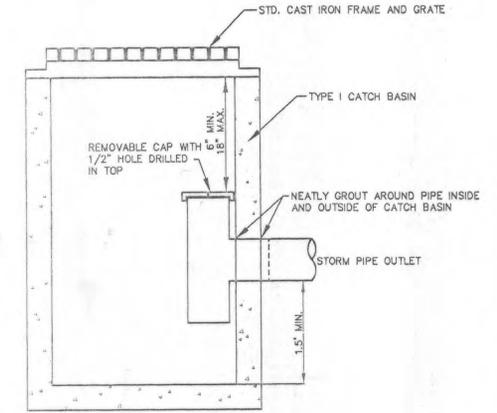


- PROPOSED ASPHALT SECTION, SEE DETAIL.
- FILL TO 12" BEHIND ECOLOGY BLOCK WALL WITH WASHED DRAIN ROCK, 1" - 3" SIZE. INSTALL PERFORATED DRAIN AT BACK TOE OF WALL, EXTEND TO DISCHARGE INTO SWALE.
- CONCRETE ECOLOGY BLOCK WALL, FOUR BLOCKS HIGH, PER PLAN, AND IN CONFORMANCE WITH THE ASSOCIATED ROCKERY CONTRACTORS' STANDARD ROCK WALL CONSTRUCTION GUIDELINES.
- REGRADE / RECONSTRUCT EXISTING DITCH TO PROPOSED SWALE PER PLAN FLOWLINE (R.L) ELEVATIONS. SEED, FERTILIZE AND MULCH SWALE AS SPECIFIED. INSTALL TEMPORARY QUARRY SPALL CHECK DAMS, 6" HIGH, AT 50' INTERVALS ALONG SOUTH PROPERTY LINE.

ASPHALT, WALL, SWALE, S. PROPERTY LINE SECTION A-A
NOT TO SCALE

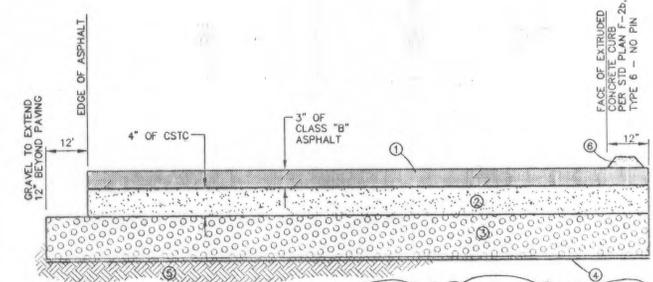


CONTROL STRUCTURE CB No. 1, TYPE T-48"
NOT TO SCALE



- OIL/WATER SEPARATORS SHALL BE INSTALLED ON ALL OUTLET PIPES FROM PROPOSED CATCH BASIN NUMBER 10.
- TEE AND CAP SHALL BE OF THE SAME SIZE AND MATERIAL AS THE OUTLET PIPE. TEE SHALL BE INSTALLED AGAINST CATCH BASIN WALL.

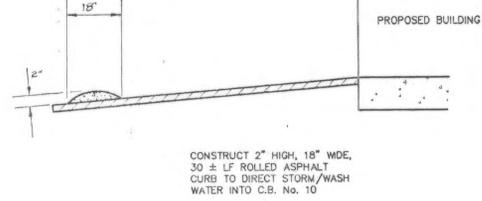
OIL / WATER SEPARATOR DETAIL
NOT TO SCALE



ASPHALT SECTION NOTES

- 3" CLASS B ASPHALT
 - 4" CRUSHED SURFACING TOP COURSE
 - 12" STRUCTURAL FILL
 - GEOTEXTILE FABRIC
- ALL ASPHALT SHALL BE CLASS B CONFORMING TO SECTION 5-04 OF THE 1994 STANDARD SPECIFICATIONS, COMPACTED TO A MINIMUM OF 92% RICE DENSITY. WHERE PROPOSED ASPHALT ADJUTS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT FULL DEPTH AND TACK COATED IMMEDIATELY BEFORE PAVING. ALL SURFACE JOINTS SHALL BE SEALED WITH CSS 1 AND SAND, APPLIED WITH HEAT.
 - CRUSHED SURFACING TOP COURSE SHALL CONFORM TO SECTION 9-03.9(3) OF THE 1994 STANDARD SPECIFICATIONS, COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 TESTING. ALL CRUSHED SURFACING SHALL BE SPRAYED WITH SOIL RESIDUAL HERBICIDE, A MAXIMUM OF 24 HOURS PRIOR TO PAVING, ACCORDING TO SECTION 5-04.3(5) OF THE 1994 STANDARD SPECIFICATIONS.
 - STRUCTURAL FILL, A MINIMUM OF 12 INCH COMPACTED DEPTH, SHALL SUPPORT ALL PAVEMENT AREAS. STRUCTURAL FILL SHALL CONFORM TO GRAVEL BORROW REQUIREMENTS, SECTION 9-03.14 OF THE 1994 STANDARD SPECIFICATIONS. THE PERCENTAGE PASSING THE #200 SIEVE SHALL NOT EXCEED 5%. STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 TESTING.
 - GEOTEXTILE FABRIC SHALL BE PLACED ON THE PREPARED EXCAVATED SUBGRADE UNDER ALL ASPHALT AND CRUSHED ROCK AREAS. GEOTEXTILE FABRIC SHALL MEET THE FOLLOWING REQUIREMENTS: NON-WOVEN, ROT PROOF, APPARENT OPEN SIZE (AOS) #10 SIEVE, PERMEABILITY 0.5 SEC -1, PUNCTURE STRENGTH 90 LB., TEAR STRENGTH 85 LB., GRAB STRENGTH 200 LB., AND MAXIMUM TENSILE ELONGATION 20%. FABRIC SHALL BE STRETCHED AS TIGHT AS POSSIBLE BY HAND ON THE PREPARED SUBGRADE. PEGS, PINS, OR THE MANUFACTURER'S RECOMMENDED METHOD SHALL BE USED TO HOLD THE FABRIC IN PLACE WHILE THE GRAVEL MATERIAL IS PLACED. JOINTS SHALL BE OVERLAPPED A MINIMUM OF TWO FEET.
 - THE EXCAVATED SUBGRADE SHALL BE FREE OF TOPSOIL, ORGANICS, AND OTHER DELETERIOUS MATERIAL, COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 TESTING, PREPARED CONFORMING TO SECTION 2-09.3(1) OF THE 1994 STANDARD SPECIFICATIONS.
 - EXTRUDED CONCRETE CURB SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE PLANS, BEARING FULLY ON THE COMPLETED ASPHALT SURFACE AND BONDED USING CONCRETE SLURRY OR EPOXY. ALL CURBS SHALL BE IN STRAIGHT LINES AND PLACED ACCORDING TO THE RADIIUS ON THE PLANS.
 - WITHIN LIMITS OF CRUSHED ROCK AREAS, CONSTRUCT SAME AS SECTION SHOWN, LESS ASPHALT.

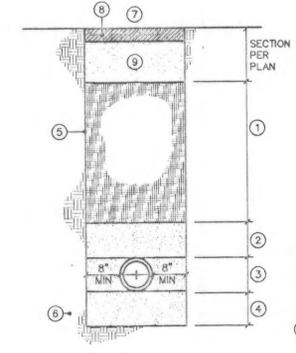
ASPHALT CROSS SECTION DETAIL
NOT TO SCALE



ROLLED ASPHALT CURB DETAIL
NOT TO SCALE

ALL ASPHALT PAVING WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MOUNT VERNON'S "STANDARD SPECIFICATIONS POLICY". CONTRACTOR SHALL OBTAIN COPY AND REVIEW, PRIOR TO PAVING.

ALL TRENCH PAVEMENT REPAIR WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MOUNT VERNON STANDARD PLAN No. 44, ON SHEET 5 OF 6.



TYPICAL UTILITY TRENCH DETAIL
NOT TO SCALE

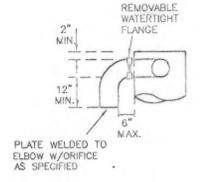
TRENCH NOTES

- GRAVEL FILL, PLACED IN LOOSE LIFTS NOT EXCEEDING 8" IN DEPTH & COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY. GRAVEL BORROW AS SPECIFIED, FOR ALL TRENCHES WITHIN CONCRETE, ASPHALT, CRUSHED ROCK AND CONSTRUCTION TRAFFIC AREAS.
- 4" OF SAND, BUCKSHOT OR GRAVEL 100% PASSING THE 1/4" SCREEN TO BE HAND COMPACTED ABOVE CROWN OF PIPE
- HAND COMPACTED SAND, BUCKSHOT OR GRAVEL 100% PASSING THE 1/4" SCREEN TO BE TAMPED AROUND & UNDER THE PIPE. THICKNESS EQUALS DIAMETER OF PIPE.
- 6" OF SAND, BUCKSHOT OR GRAVEL 100% PASSING 1/4" SCREEN, HAND COMPACTED.
- TRENCH LINE.
- UNDISTURBED EARTH.
- RESTORATION SHALL BE IN ACCORDANCE WITH GENERAL NOTE-1.
- CLASS "B" ASPHALT
- CRUSHED SURFACING TOP COURSE

GENERAL NOTES:

- NOTE - AREAS OUTSIDE OF ASPHALT SHALL BE RESTORED WITH FINAL COMPACTION AND THE TOP OF TRENCH CONSTRUCTED TO CONFORM TO THE PROPOSED IMPROVEMENTS.

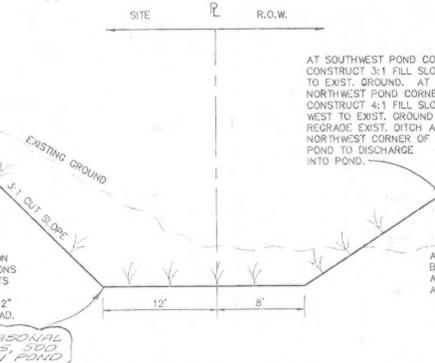
ELBOW RESTRICTOR DETAIL
NOT TO SCALE



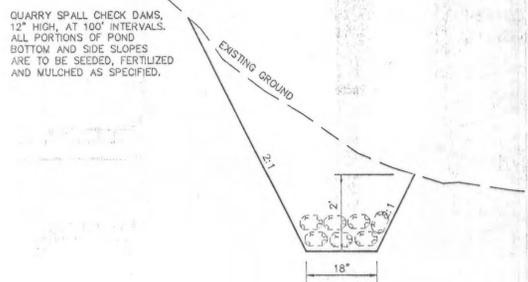
ALL METAL PARTS TO BE ALUMINUM, ALUMINIZED STEEL, OR STAINLESS STEEL.

DEPENDING ON SEASONAL WEATHER CONDITIONS, SOID MAY BE REQUIRED IN POND BOTTOMS AT DISCRETION OF CITY ENGINEER

DETENTION POND CROSS SECTION C-C
NOT TO SCALE



INTERCEPTOR DITCH SECTION B-B
NOT TO SCALE



QUARRY SPALL CHECK DAMS, 12" HIGH, AT 100' INTERVALS. ALL PORTIONS OF POND BOTTOM AND SIDE SLOPES ARE TO BE SEEDED, FERTILIZED AND MULCHED AS SPECIFIED.



ENGINEER John P. Ravnik 2-27-96 DATE

WJL CITY OF MOUNT VERNON 5-15-96 DATE

EASH FILE CORP. IRVINE, CA
DETAILS
PR 96-8
4/16
MT VERNON TOWING

NEWS05276ST Tue Feb 27 11:02:32 1996

NO.	DATE	REVISIONS	BY	APVD
1	4-17-96	P.L.D. REVISIONS	JPH	JPR
2	5-7-96	REVIEW BY CITY OF MOUNT VERNON ENGINEERING DEPT.	JPH	JPR



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SHEET DESCRIPTION

DETAILS

SCALE: AS NOTED
DRAWN BY: DS
DESIGNED BY: JPR
CHECKED BY: JPR
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MOUNT VERNON TOWING
FOR
AXTHELM AND SWETT

DRAWING NO. 95274 /VA
JOB NO. 95274
SHEET 4 OF 6

